

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC08-035

Submitted: 6/19/08

PROJECT DESCRIPTION: Planned Development Rezoning from LI Light Industrial and R-M Multiple Family Residence Zoning Districts to A(PD) Planned Development Zoning District to allow the relocation of one existing National Register eligible house, the demolition of five existing structures and the construction of up to 50 residential units and approximately 5,350 square feet of commercial/retail space on a 1.09 gross acre site.

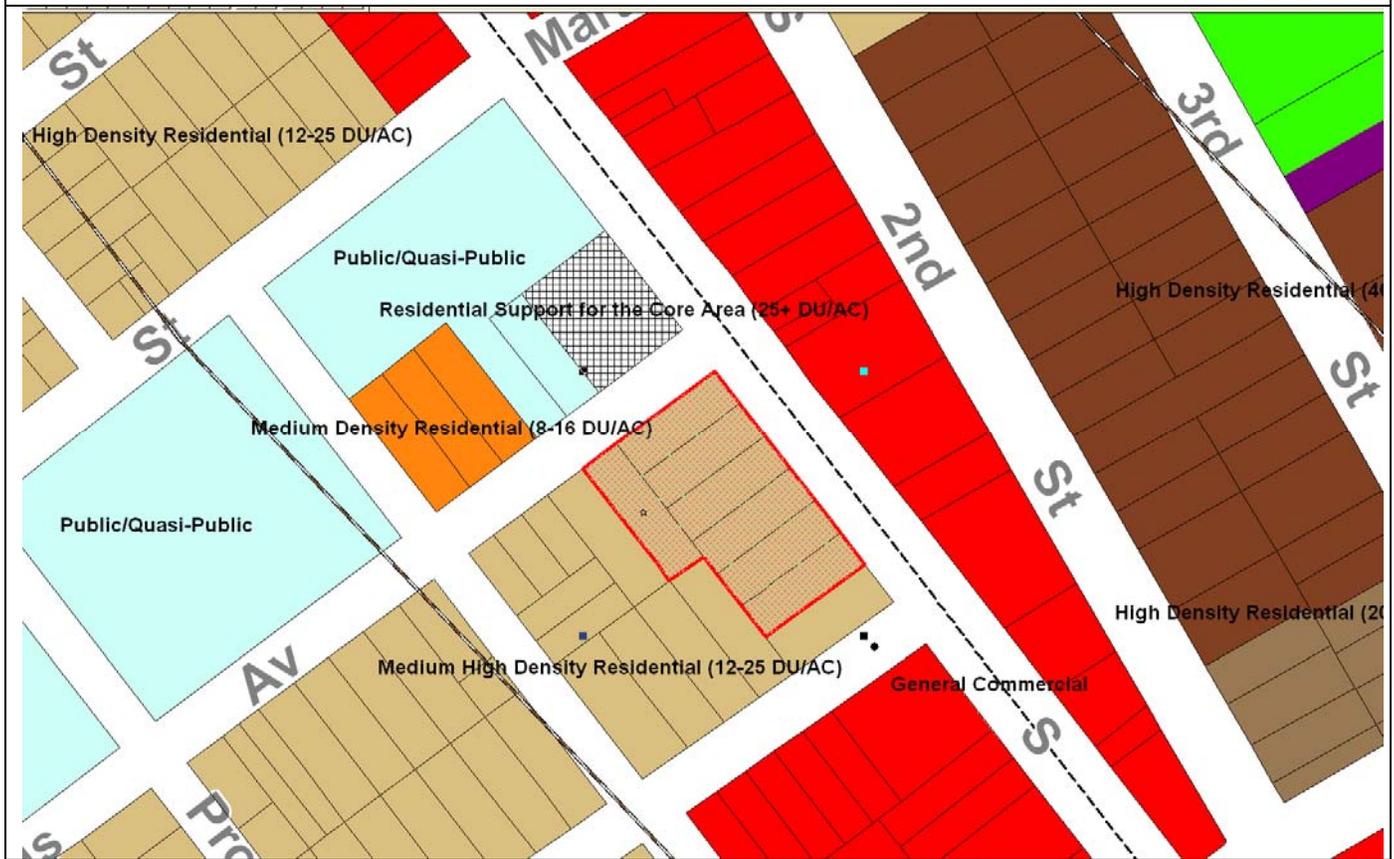
Zoning	LI Light Industrial and R-M Multiple Family Residence
General Plan	Medium High Density Residential (12-25 DU/AC)
Council District	3
Annexation Date	Original City 1850
SNI	Washington
Historic Resources	Eligible National Register and Structures of Merit
Redevelopment Area	Monterey Corridor
Specific Plan	N/A

LOCATION: Southwest corner of Edwards Avenue and S. First Street (955-987 S. First St.)

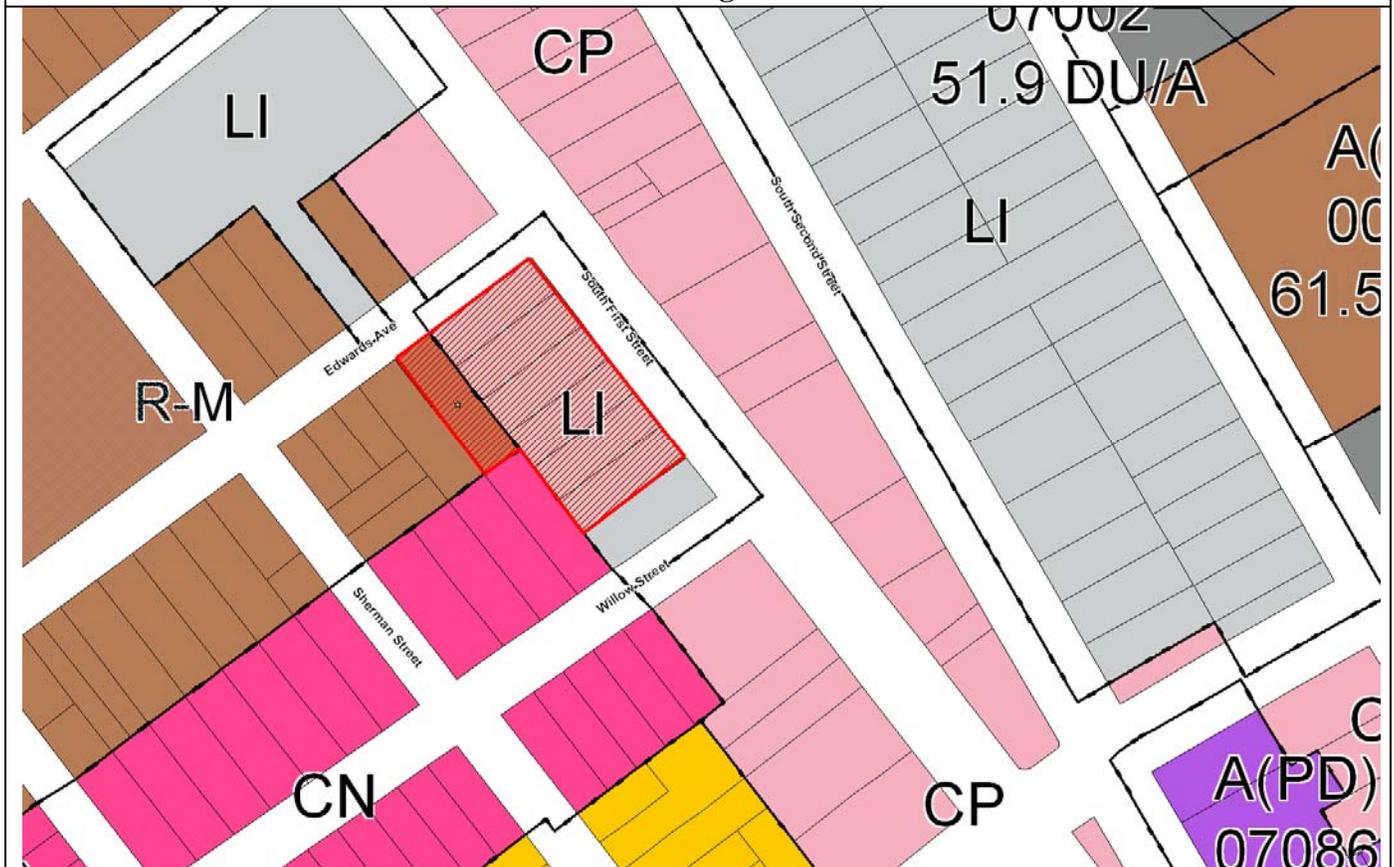
Aerial Photo



General Plan



Zoning



RECOMMENDATION

Planning staff recommends approval of the proposed Planned Development Rezoning for the following reasons:

1. The proposed project is consistent with the San José 2020 General Plan Land Use/Transportation Diagram designation of Medium High Density Residential (12-25 DU/AC) with the application of the Discretionary Alternate Use Policy (Residential Increases Along Major Transportation Corridors).
2. The proposed project furthers the objectives of the San José 2020 General Plan housing and growth management Goals and Policies.
3. The proposed project furthers the objectives of the San José 2020 General Plan with respect to intensification and revitalization of uses along transit corridors.
4. The proposed project is compatible with the surrounding land uses.
5. The proposed project substantially conforms to applicable policies of the City's Residential Design Guidelines and Commercial Design Guidelines.
6. The proposed project conforms to the requirements of CEQA.

BACKGROUND

The applicants, Dean and David Hanson are proposing a Planned Development Rezoning on a 1.09 gross acre site located at the southwest corner of Edwards Avenue and South First Street, to allow the development of up to 50 attached residential units, one relocated single-family house and 5,350 square feet of commercial retail uses. The subject site is surrounded by a residential neighborhood directly to the west and commercial development to the north, south, and east along South First Street. The project is located in the Downtown Frame Area and within the Guadalupe Transit Corridor (TOD).

The site is currently developed with a commercial structure and five single-family residences, and two billboards. The proposed Rezoning would allow for the demolition of five structures, two of which were identified as Structures of Merit, and the on-site relocation and rehabilitation of one single family house identified as eligible for the National Register of Historic Places within the adjacent compatible residential neighborhood. The neighborhood was recommended for designation by the Historic Landmarks Commission as the Guadalupe/Washington Conservation Area, to be considered by the City Council at a June 2, 2009 hearing. Two billboards are also proposed to be removed as part of this project. A Planned Development Zoning is required because the project is designed in a configuration and at a density that is not supported by any of the City's conventional zoning districts.

Project Description

The proposal consists of 5,350 square feet of ground floor retail space fronting on South First Street with an at-grade common parking garage located behind. The garage has access from Edwards Avenue. Above the retail and parking garage, are three-story attached residential units. A small portion of the project includes two-story townhouse units on the podium garage. The National Register eligible single-family residence will be relocated to rear of the project site, fronting on Edwards Street, within the compatible residential neighborhood.

ENVIRONMENTAL REVIEW

An Initial Study was prepared for the project and a Mitigated Negative Declaration (MND) was circulated for public review by the Director of Planning on March 24, 2009. The Director of Planning, Building and Code Enforcement adopted said Negative Declaration on May 14, 2009. The primary issues addressed in the environmental review were the historic status of the existing structures; noise related impacts due to construction noise and existing noise levels; and traffic. The Initial Study and Mitigated Negative Declaration for the project are available online at <http://www.sanjoseca.gov/planning/eir/MND.asp>. No significant comments were received on the MND.

Historic

A historic report, entitled “955-987 South First Street Project Historic Resources Assessment” has been completed by qualified historical consultants Archives and Architecture. The assessment concludes that while the site has properties associated with early residential development patterns and later commercial development patterns along South First Street, there is not an identified consistent pattern of development in the vicinity that provides a larger unified context of historically associated resources. This . Because of this overlap of historic property development patterns; there is no characteristic grouping of historic properties within the project site. Specifically, the residential properties on this block are now fairly isolated from the greater residential neighborhood to the west and do not represent a cohesive sampling of residential development along South First Street. Because the commercial corridor has not been the subject of a prior survey of historic resources. It can not be determined from a property-specific investigation such as this one, whether this corridor meets the minimum requirements for designation as a historic district. The assessment found that while the Liguori House, the Curtner Cycle Sales building and the Finnermore-Andricos House are currently listed on the Historic Resources Inventory as Identified Structures (IS), with further research and evaluation they do not appear to individually qualify for listing as Structures of Merit. The mission revival style Liguori Meats building and neoclassical style Cribari House do, however, appear to individually qualify for listing as Structures of Merit.

Most significantly, the evaluation prepared for the Oldham-Long House notes that the house is “a distinctive eclectic Craftsman residential design with Mission Revival influence [appearing individually] eligible for the National Register listing under Criterion C and the California Register according to Criterion 3, [and as a Candidate City Landmark] as the design is a distinctive representative of eclectic residential design of the early twentieth century.”

Building	Location	Historical Significance (adjusted totals)
Liguori House	955 South First Street	Not Eligible for City Inventory
Liguori Meats	957 South First Street	Mission Revival Structure of Merit
Curtner Cycle Sales	959 South First Street	Not Eligible for City Inventory
Finnermore-Andricos House	961 South First Street	Not Eligible for City Inventory
Oldham-Long House	985-985½ South First Street	Craftsman/Mission Revival Eligible National Register
Paul and Mary Cribari House	987 South First Street	Neoclassical Structure of Merit
Source: Archives and Architecture, 2009.		

Relocation Analysis

The project proposes the demolition of all structures on the site, with the exception of the Oldham-Long House, found eligible for the National Register of Historic Places, which is proposed for relocation with a new accessory structure on a portion of the site on Edwards Avenue adjoining an older residential neighborhood. The house meets the primary criteria for *Consideration B* of the National Register for relocation because it is significant for its architectural design. A detailed Relocation Analysis (4.4) included in the assessment finds that the older adjacent residential neighborhood is compatible in terms of front yard setbacks, scale, spatial relationships and character with the relocated historic house. The relocated historic house will be separated from the new mixed-use development with appropriate setbacks, step-backs and landscaping, specified in the General Development Plan for the Planned Development Rezoning. While a local Structure of Merit is not considered to be a significant historical resource for the purposes of CEQA, the project proposes to incorporate standard measures that would address their loss. The proposed measures of relocation advertisement, non-HABS documentation and salvage will lessen the loss of local history and preserve historical information.

The Draft Mitigated Negative Declaration was referred to the Historic Landmarks Commission for review and comment at the April 1, 2009 meeting. The Commission adjourned due to a lack of a quorum and did not provide comment on the document.

Noise

The City's short-term and long-term noise level goals for open space are 60 dBA DNL and 55 dBA DNL respectively. The General Plan states that "...the Downtown Core Area, the area around San José International Airport and areas adjacent to major roadways have been identified as special noise impact areas. Because of the nature of these special areas, it may be impossible to attain the desired outdoor noise level of 55 dBA DNL or even 60 dBA DNL in the near term without eliminating the beneficial attributes of the exterior spaces. Examples of such situations are exterior balconies that face major roadways, rear yard areas, and urban parks."

Potential impacts to onsite residential units would occur from noise generation by traffic on South First Street and by aircrafts associated with the Mineta San José International Airport. To reduce potential impacts related to exterior sound levels, the noise assessment recommends constructing 42-inch-high, acoustically effective railings at all balconies of the project. While the resulting noise exposures would be up to 67 dB DNL in the most impacted balconies, the exterior noise level in the majority of the common areas will be 65 dB DNL or less. Compliance with the 60 dB DNL standard of the City of San José Noise Element cannot be achieved at all of the exterior living areas of the project, since aircraft flyovers are primary sources of noise at the site.

With standard construction techniques and the use of sound control windows, the project will achieve interior noise exposures for compliance with the 45-dB DNL standards of the City of San José Noise Element. In addition, this project will include mechanical ventilation, which will allow the windows to remain closed and will reduce the noise levels. This will ensure that interior noise levels do not exceed 45 dBA.

Traffic

The project was analyzed for potential traffic impacts. Project-related traffic was distributed throughout the neighborhood. Because of the size of the proposed project, only one localized intersection was studied. The affected intersection remains consistent, operating at a Level of Service (LOS) A. The results of the analysis indicate that project traffic would not have a significant impact on the study

intersection and that the project is in conformance with the City of San José Transportation Level of Service Policy (Council Policy 5-3). Therefore, the proposed project would not require new traffic signs or signals at intersections within the vicinity of the project site.

ANALYSIS

The analysis section of this report focuses on the following key topics: 1) conformance to the General Plan and 2) conformance to the Residential Design Guidelines.

General Plan Conformance

Residential Increases Along Major Transportation Corridors Discretionary Alternate Use Policy

The subject site is designated as Medium High Density Residential (12-25 DU/AC) on the General Plan Land Use Transportation Diagram. Because the project is located within the Guadalupe Corridor Transit-Oriented Development Corridor, the increased density of 46.8 DU/AC can be found to be in conformance with the General Plan through application of the “Residential Density Increases Along Major Transportation Corridors” Alternate Discretionary Use Policy. Under this policy residential development should have a minimum density of 17 DU/AC and a maximum density of 65 DU/AC.

The policy regarding Residential Density Increase along Major Transportation Arterials states: *In order to encourage the production of housing and the utilization of existing or proposed mass transit facilities, higher density residential (minimum of 17 DU/AC and maximum of 65 DU/AC) or residential/commercial mixed-use development may be allowed on residentially designated lands only if the following criteria are met:*

1. *The project is within a 2,000 foot radius of a passenger rail station, within the Downtown Frame Area, within 500 feet of The Alameda (north to Shasta/Lenzen Avenues), or within a Transit-Oriented Development Corridor or Station Area Node.* The project is within the Guadalupe Transit Corridor.
2. *The project includes an attached residential product.* The project proposes 50 attached residential units.
3. *The project exceeds minimum City design standards and is of exceptional quality.* The project is of exceptional design and meets the standards of the Residential Design Guidelines, which is further discussed below in the “Project Design” section of this report.
4. *The project is designed to integrate with the existing neighborhood and does not impair the viability or character of the neighborhood.* The project has been designed so that the higher density uses are sited towards South First Street, while stepping down and proposing courtyards and/or two-story townhouse units at a scale similar to that of the existing adjacent neighborhood to the west.
5. *Neighborhood serving commercial uses; if any; are well integrated into the residential development, with vertical mixed use encouraged.* Ground floor retail is proposed along the project frontage on South First Street with residential units above. The project proposes both residential and commercial building entries along South First Street.
6. *The project complies with the Transportation Level of Service Policy.* The project would create a minimal increase in daily trips from the site and not cause any significant level of service impacts, therefore is in conformance with the Transportation Level of Service (LOS) Policy.

Major Strategies, Goals and Policies

The project conforms to the San José 2020 General Plan Housing Major Strategy, which seeks to provide a variety of housing opportunities, the Growth Management Major Strategy, which encourages infill development within urbanized areas to achieve the most efficient use of urban facilities and services, and the Urban Conservation/Preservation Major Strategy which encourages preservation to contribute visual evidence to a sense of community that grows out of the roots of San José's past.

This project would provide housing opportunities that would provide residential support for the Monterey Corridor Redevelopment Project Area, and is located next to a bus stop that serves the Downtown and Frame Area. These aspects conform to Residential Land Use Policy #3, which states: "Higher residential densities should be distributed throughout the community. Locations near commercial and financial centers, employment centers, rail transit stations and along bus transit routes are preferable for higher density housing..."

Residential Land Use Goal #22 states: "High density residential and mixed residential/commercial development located along transit corridors should be designed to: Create a pleasant walking environment to encourage pedestrian activity, particularly to the nearest transit stop; Maximize transit usage; Allow residents to conduct routine errands close to their residence; Integrate with surrounding uses to become a part of the neighborhood rather than an isolated project." As discussed in the section for Land Use/Transportation Diagram Conformance and Project Design of this report, the project is designed to encourage pedestrian activity and to integrate with existing and planned surrounding land uses. Further, the project provides ground level commercial space which would create additional retail opportunities in the vicinity of the proposed high density housing.

The San José 2020 General Plan Urban Conservation/Preservation Major Strategy states that at a strategic level, preservation activities contribute visual evidence to a sense of community that grows out of the roots of San José's past. As a subset of that strategy, the Historic, Archaeological and Cultural Resources (HACR) Goals include policies for the preservation of historically and archaeologically structures of varying significance in order to promote a greater sense of historic awareness and community identity, and to enhance the quality of urban living.

The Historic Resources Assessment provided updated historical evaluations of the properties on the site in order to consider their preservation in the development review process. While the significant resource will be preserved by relocation on-site, the less significant resources are proposed for demolition in order to accommodate the increased density along a Major Transportation Corridor (Guadalupe Corridor). Standard Measures will be incorporated at the time of demolition to address the loss of Structures of Merit.

Conformance to the Residential Design Guidelines

The primary issue evaluated for this section is conformance to the Transit Oriented Development chapter of the Residential Design Guidelines (Guidelines) and provision of open space.

Components of Transit Oriented Development (TOD)

The Guidelines articulate the following components of transit oriented development, stating that "every site within a TOD area, regardless of size, should contribute to the following:" Project design details will be effectuated through the Planned Development Permit process.

Neighborhood compatibility with surrounding uses and neighborhoods through building massing and orientation. Specifically, the Guidelines recommend the following aspects be incorporated into the project:

- *Apply appropriate setbacks and building separations where different housing types abut or face one another within a TOD node or corridor.* This project fronts on two streets, each with a different character and scale. This change in character is most evident between South First Street, which is a commercial-oriented, major arterial street, and Edwards Avenue, which is a small scale, single-family residential street.

The project has been designed be compatible with the character of all of these streets by keeping the higher density, mixed use product closer to South First Street, while proposing courtyards on top of the podium and lower scale townhouse units abutting existing residential uses to the rear of the site. It is anticipated that some of the adjoining residential properties to the west may redevelop with higher density residential uses since these site have General Plan designation of Medium High Density Residential (12-25 DU/AC).

- *Mirror buildings on the perimeter of new and existing development: back-to-back, side-to-side or, where a street or open space intervenes, face-to-face.* As discussed above, the rear of the project is designed to mirror the lower scale residential neighborhood to the east with second through four story units oriented towards South First Street and rear units set back 32 feet from the rear property line. As previously stated, some of the adjoining residential properties to the west may redevelop with more intensive residential uses.

The project mirrors the scale of the existing adjacent commercial and mixed-uses along South First Street, aligning the commercial base with the existing commercial storefront at the corner of Willow Street. Anticipated development along this transit corridor would support continued pedestrian oriented retail or mixed use development, similar to that which is proposed with this project.

- *Create interesting and varied building facades that reinforce street activity, visual interest and “eyes on the street”.* Create changes in elevations and facade planes at intervals approximately every 30 feet. The project proposes ground level retail with varied setbacks along South First Street and on the corner of Edwards Avenue to create pedestrian activity and “eyes on the street” on the project street frontage.

Mixed-use, high density residential buildings with minimal or no front setback. This project provides ground floor retail with residential units above on South First Street and on the corner of Edwards Avenue, with an overall residential density of 46.8 DU/AC. The project is designed to provide little to no setback along South First Street, keeping in character with the transit corridor, while maintaining a smaller building scale at the rear to conform to the character of the residences behind the site on Edwards Avenue and Willow Street.

Ground Floor Retail or commercial office space adjacent to transit and located along principal pedestrian paths, highly visible to all transit modes. The project proposes commercial uses on the ground floor, highly visible to pedestrians. The main entrances of the proposed ground floor retail are oriented towards South First Street, with minimal setbacks that are adequate for outdoor displays or seating to foster a pedestrian oriented environment. Access to the parking garage is also provided on Edwards Avenue, which allows the project to provide a continuous building frontage on South First Street.

The guidelines recommend retail tenant space depths of 35 feet as a minimum. The project is in substantial conformance in that the smallest such space is 33 feet deep with much of the retail spaces providing a 50-foot depth that is closer to the recommended industry standard. The guidelines also recommend that retail space provide an 18-foot ceiling. The project proposes about 13 feet. In this case, given the small site size and relationship of the retail space with the parking garage, full compliance with this guideline would have resulted in a podium height interface next to adjacent residential that would be taller than desirable. Therefore, staff feels that the project as proposed is appropriate.

Improved pedestrian access using smaller blocks, pedestrian paseos, multiple building entrances, and dedicated pedestrian and bike paths. This site is just over one acre in size, therefore the provision of pedestrian paseos and breaking up the block into smaller blocks would not be practical; however, the building is highly articulated and multiple building entrances are provided along the project street frontage for the commercial and residential components of the site.

Improved streetscapes, including widened sidewalks and pedestrian scale street lighting, signage, and landscaping. The project would provide sidewalks in line with the City standards for the South First Street transit corridor (10 foot right-of-way with tree wells), which provides ample space for pedestrian activity.

Parking located behind buildings, including alternative parking solutions such as shared parking, and lower parking to occupancy ratios, and increase bicycle parking. Parking for the project would be provided per the ratio called for in the Residential Design Guidelines, minus a 10% reduction because the project site is within a transit corridor. 79 parking spaces (52 tandem) for the residential uses are proposed. Each set of two tandem parking spaces will be assigned to a single unit and will therefore provide slightly more than the 1.8 spaces that would otherwise be required for a two bedroom unit.

The parking requirement for the commercial component of the project is 21 spaces. This is based on a parking ratio of 1:200 minus a 10% reduction because the project site is within a transit corridor. Six (6) on-site parking spaces (non-tandem) for the retail uses are provided within the podium garage. From a practical standpoint, the garage parking spaces designated for the retail uses would most likely be used for employee parking and customers would most likely park along South First Street. The project site has a significant amount of street frontage that has the potential to yield 17 parking spaces along the curb.

At the Planned Development Permit stage, there may be an opportunity to consider an alternating parking arrangement (shared parking) between the residential and commercial uses. Since the street frontages have a pedestrian-friendly scale (i.e. not expressways or arterial streets with fast moving traffic, Staff feels that it would be appropriate to provide some “credit” for on-street parking towards meeting the overall commercial parking requirements. It should be noted that the parking requirements for the Willow Street NBD, located just one parcel to the south, has a parking requirement of only 1:400.

The Guidelines recommend one bicycle parking space for every two units, which equates to a minimum of 25 spaces for this project. A separate bicycle storage facility is indicated within the garage, providing ample bicycle parking for the proposed project.

Open Space

The project provides a minimum of 60 square feet of private open space in the form of a balcony or patio for each two bedroom unit as recommended by the Guidelines, with 40 square feet of private open space for each one bedroom unit. The project far exceeds the minimum of 100 square feet of common open

space per unit recommended by the Guidelines, which equates to a minimum of 5,000 square feet for this project.

PUBLIC OUTREACH

A community meeting was held at the Washington NAC meeting on September 11, 2008 with a typical attendance of approximately 20 people, where community members expressed concerns with neighborhood safety in proposed recessed entries along South First Street and demolition of historic structures. The revised project addressed concerns and returned to the Washington NAC meeting on October 9, 2008, at which time community members were largely supportive of the project.

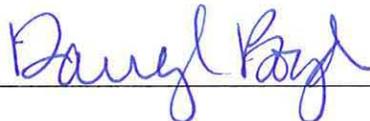
In conformance with the Public Outreach Policy, the property owners and occupants within a 1000-foot radius were sent public hearing notices for the Intent to Adopt a Mitigated Negative Declaration, Planning Commission hearing and City Council hearing. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

CONCLUSION

Planning staff recommends approval of the subject Planned Development Rezoning because it would allow the development of well-designed mixed use development that furthers General Plan Goals and Policies, is compatible with neighborhood character, and meets the provisions of the Residential Design Guidelines

Project Manager: Sally Zarnowitz

Approved by:



Date: 5/19/09

Owner/Applicant:	Attachments:
José Montero, Owner 4065 Ashbrook Circle San José CA 95124	Development Standards Final Public Works Memorandum Written Comments Plans
Dean and David Hanson, Developer 99 Colton Street San Francisco CA 94103	
Kelly Melendez, MAK Studio 99 Colton Street San Francisco CA 94103	

PDC08-035
South First Street Apartments
Development Standards
Revised 5/20/09

The following notes are to be incorporated on the final General Development Plan upon City Council Approval. These notes supercede all other notes currently identified on said plan(s).

Permitted Use

- 1) Residential: Up to 50 multi-family attached residential units and one relocated single-family detached historic house. Conditional and special uses of the R-M Residence District (R-1-8 District for the historic house) may be considered with a Planned Development Permit Amendment. The project shall comply with the City's Inclusionary Housing Ordinance (affordable housing)
- 2) Commercial uses shall conform to the CP-Commercial Pedestrian Zoning District standards. (Conditional and special uses of this district may be considered with a Planned Development Permit Amendment)

Maximum Building Height/Stories

Commercial & attached units: 56 feet maximum/4 stories
(38 feet maximum for townhouses/recreation rooms
within 30 feet of westerly perimeter property line)

Single-family detached house (historic): 30 feet/2.5 stories

Perimeter Setbacks (Commercial/Attached Units)

Front: First St.	0 feet
Edwards St.	7 feet
Rear: Garage/Podium/courtyard walls:	7 feet
Building less than 38 feet in height	10 feet
Other attached units/commercial uses	30 feet
Interior Side:	10 feet

(Note: While the historic house is not proposed to be on a separate parcel at this time, it may be subdivided from the attached unit component of the project provided that adequate easements are in place between said house and the attached units to comply with fire code regulations and to provide a 20 foot deep rear yard for the single-family house.)

Perimeter Setbacks (Relocated Single-Family Historic House)

Front: 17 feet
Rear: 10 feet
Side: 5 feet

Additions shall conform to R-1-8 standards

Required Parking

Commercial: Vehicular parking is required per Zoning Ordinance Table 20-200 as amended. Currently the code requires 1:200 (space per net square foot) with a 10% reduction allowed since the project is in a TOD corridor. Tandem parking spaces may not be used. The project may count curbside parking spaces along the project frontage and/or utilize an alternating parking arrangement (shared parking) with the residential component of the project as deemed appropriate at the PD Permit stage.

Attached Residential Units: Parking for attached units shall be provided in accordance with the Residential Design Guidelines as noted below. An additional 10% reduction is allowed since the project is in a TOD corridor.

Studio units:	1.4 per unit
1 Bedroom units	1.5 per unit
2 Bedroom units	1.8 per unit with non-tandem spaces
2 Bedroom units	2.0 per unit with tandem spaces

Bicycle parking is required at a ratio of one (1) bicycle space per four (4) residential units.

Single-Family Detached House: 1 covered space/detached garage, 1 driveway apron space.

Minimum Open Space (Attached Units)

Private: 60 square feet per unit (50% of the units may have min. of 40 square feet provided that an equivalent increase in the common open is provided)

Common: 100 square feet per unit of usable open space

General Notes

Water Pollution Control Plant Notice

Pursuant to part 2.75 of chapter 15.12 of the San José Municipal Code, no vested right to a building permit shall accrue as the result of the granting of any land development approvals and applications when and if the city manager makes a determination that the cumulative sewage treatment demand on the San José – Santa Clara water plant will cause the total sewage treatment demand to meet or exceed the capacity of the San José – Santa Clara water pollution control plant to treat such sewage adequately and within the discharge standards imposed on the city by the state of California regional water control board for the San Francisco Bay region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approving authority.

Street Trees

The Public right-of-way shall be planted with street trees as directed by the City Arborist.

Private Infrastructure Standards

Private infrastructure standards will meet or exceed City's Common Interest Development Standards.

Post-Construction Storm Water Treatment Controls

The city's national pollutant discharge system (NPDES) permit compliance requires this project to incorporate post-construction mitigation measures to control the discharge of pollutants into the storm drainage system to the maximum extent practical. Planned development permit plans for this project shall include design details of all post construction storm water treatment controls proposed for the project to the satisfaction of the Director of Planning.

Park Impact Fees & Parkland Dedication Ordinance

The applicant shall comply with the requirements of the Park Impact Ordinances, pursuant to Ordinance 24172 (Chapter 14.25 of Title 14 of the San José, Municipal Code) and the project shall comply with the Parkland Dedication Ordinance.

Environmental Mitigation

Geology and Soils

- Erosion: A City-approved Erosion Control Plan will be developed and implemented prior to approval of a grading permit or Public Works clearance with such measures as (1) the timing of grading activities during the dry months, if feasible; (2) temporary and permanent planting of exposed soil; (3) temporary check dams; (4) temporary sediment basins and traps; or (5) temporary silt fences.
- Seismic Shaking: The proposed structures on the site shall be designed and constructed in conformance with the Uniform Building Code guidelines for Seismic Zone 4 to avoid or minimize potential damage from seismic shaking on the site.
- Liquefaction and Expansive Soils: The soil and foundation report submitted to the City addressing the potential hazard of liquefaction and expansive soils will be submitted to, and reviewed and approved by, the City Geologist, prior to issuance of a grading permit or Public Works clearance. The investigation should be consistent with the guidelines published by the California Geologic Survey (Special Publication 117).

Hydrology and Water Quality

- A Notice of Intent and Stormwater Pollution Prevention Plan that addresses both construction and post-construction periods and specifies erosion and sediment control measures, waste disposal controls, maintenance responsibilities, and non-stormwater management controls, will be submitted to the RWQCB and maintained onsite, to comply with the stormwater discharge requirements of the NPDES General Permit.

- Stormwater treatment control measures will be hydraulically sized prior to issuance of a development permit in conformance with the provisions of the City's Post-Construction Urban Runoff Management Policy and to adopted Santa Clara Valley Pollution Prevention Program NPDES Permit C.3 provisions to the satisfaction of the Director of Public Works.

Air Quality

The following construction practices shall be implemented during all phases of construction for the proposed project to prevent visible dust emissions from leaving the site.

- Water all active construction areas at least twice daily and more often during windy periods to prevent visible dust from leaving the site, active areas adjacent to existing land uses shall be kept damp at all times or shall be treated with non-toxic stabilizers or dust palliatives.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
- Pave, apply water at least three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- Sweep daily (or more often, if necessary, preferably with water sweepers) all paved access roads, parking areas, and staging areas at construction sites to prevent visible dust from leaving the site; water sweepers shall vacuum up excess water to avoid runoff-related impacts to water quality.
- Sweep streets daily (or more often, if necessary, preferably with water sweepers), if visible soil material is carried onto adjacent public streets.
- Suspend excavation and grading activities when winds or instantaneous gusts exceed 25 mph.
- Limit the area subject to excavation grading and other construction activity at any one time.

Biological Resources

Trees:

- Any tree that is removed will be replaced by the addition of one or more new trees at the ratios shown in Table 1.

Table 1: Tree Replacement Ratios

Diameter of Tree To Be Removed	Type of Tree To Be Removed			Minimum Size of Each Replacement Tree
	Native	Non-Native	Orchard	
18 inches or greater	5:1	4:1	3:1	24-inch box
12-17 inches	3:1	2:1	None	24-inch box
Less than 12 inches	2:1	1:1	None	15-gallon container

- The species and exact number of trees to be planted will be determined at the development permit stage, in consultation with the City Arborist and the Department of Planning, Building, and Code Enforcement.
- Replacement trees are to be above and beyond standard landscaping; required street trees do not count as replacement trees.
- In the event the project site does not have sufficient area to accommodate the required tree mitigation, one or more of the following measures will be implemented, to the satisfaction of the Director of Planning, Building, and Code Enforcement, at the development permit stage.
 - The size of a 15-gallon replacement tree may be increased to a 24-inch box and count as two replacement trees.
 - An alternative site(s) may be identified for tree planting. Alternative sites may include local parks or schools or the installation of trees on adjacent properties for screening purposes to the satisfaction of the Director of Planning, Building, and Code Enforcement.
 - A donation of \$300.00 per mitigation tree will be paid to Our City Forest or San José Beautiful for in-lieu-of offsite tree planting in the community. These funds will be used for tree planting and maintenance of planted trees for approximately 3 years. A donation receipt for offsite tree planting will be provided to the Planning Project Manager prior to issuance of a development permit.

Cultural Resources

Structure of Merit Demolition: Standard Measures

Because historic resources are irreplaceable, General Plan Policy states that their preservation should be a key consideration in the development review process. While demolition of a Structure of Merit is not a significant environmental impact, Standard Measures to address the loss of these historic resources that add to the historic fabric of the City of San Jose Historic Resources Inventory are identified below.

Building	Location	Historical Significance
Liguori Meats	957 South First Street	Mission Revival Structure of Merit
Oldham-Long House	985-985½ South First Street	Craftsman/Mission Revival Eligible National Register
Paul and Mary Cribari House	987 South First Street	Neoclassical Structure of Merit

Source: Archives and Architecture, 2009.

Professional Qualifications

- The documentation is to be conducted by a qualified consultant meeting the professional qualification standards of the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation.

Department of Parks and Recreation, Primary Record (DPR A) and Building, Structure, and Object (DPR 523B) Forms

- The bound and electronic copy of the Historic Report and/or DPR forms for the Structures/Site

Non-HABS Archival Photo-Documentation

- Cover sheet - The documentation shall include a cover sheet identifying the following: photographer, address of building, common or historic building name, date of construction, date of photographs and description of photographs.
- Camera - A 35 mm camera.
- Lenses - May include normal focus length, wide angle and telephoto (no soft focus).
- Filters - Photographer's choice. Use of a pola screen is encouraged.
- Film - Must use black and white film; tri-X, Plus-X, or T-Max film is recommended.
- View - Perspective view- front and other elevations. All photographs shall be composed to give primary consideration to the architectural and/or engineering features of the structure with aesthetic considerations necessary, but secondary.
- Lighting - Sunlight is usually preferred for exteriors, especially of the front facade. Light overcast days, however, may provide more satisfactory lighting for some structures. A flash may be needed to cast light into porch areas or overhangs.
- Technical - All areas of the photograph must be in sharp focus.

Submission of Photo-Documentation

Evidence that the documentation for addresses 955,957,959,961, and 987 South First Street, including the original prints and negatives, has been submitted to History San José (Attention: Jim Reed, 1650 Senter Road, San José, CA 95112-2599, (408) 287-2290), shall be submitted to the Historic Preservation Officer prior to the approval of the Planned Development Permit.

Evidence that the documentation, including the original prints and negatives, has been submitted to History San José (Attention: Jim Reed, History San José, 1650 Senter Road, San José, CA 95112-2599, (408) 287-2290), shall be submitted to the Historic Preservation Officer. Digital photos may be provided as a supplement to, but not in place of, the above photo-documentation. The above shall be accompanied by a transmittal stating that the documentation is submitted in fulfillment of standard measures for the loss of the structure of merit, which shall be named and the address stated.

Relocation: Prior to issuance of Public Works clearance, the structure(s) shall be advertised for relocation. The project applicant shall provide evidence that the structure has been retained and advertised for relocation by placing an advertisement in a newspaper of general circulation, posting on a website, and onsite posting for 30 days.

Salvage: If relocation is not successful, prior to issuance of Public Works Clearance, the structure and site shall be retained and advertised for salvage by placing an advertisement in a newspaper of general circulation, posting on a website, and onsite posting for 30 days.

Discovery of Unknown Resources

If a potentially significant cultural resource is encountered during subsurface earthwork activities, all construction activities within a 50-foot radius of the find shall cease until a qualified archaeologist determines whether the resource requires further study. Any previously undiscovered resources found during construction shall be recorded on appropriate Department of Parks and Recreation (DPR) forms and evaluated for significance in terms of CEQA criteria. Potentially significant cultural resources consist of but are not limited to stone, bone, wood, and shell artifacts; fossils; and features including hearths, structural remains, and historic dumpsites.

If human remains are encountered during earth-disturbing activities within the project area, all work in the adjacent area shall stop immediately and the Santa Clara County Coroner's office shall be notified. If the remains are determined to be Native American in origin, both the Native American Heritage Commission (NAHC) and any identified descendants shall be notified by the coroner and recommendations for treatment solicited (CEQA Guidelines Section 15064.5; Health and Safety Code Section 7050.5; Public Resources Code Sections 5097.94 and 5097.98).

MITIGATION MEASURES:

Implementation of the following mitigation measures will reduce potential impacts to cultural resources to less than significant levels:

- Relocate the house located at 985 South First Street to Edwards Avenue (as noted on the plans), and meet the Secretary of Interior Standards.

- The building located at 985-985½ South First Street would require further documentation in the form of HABS or HABS type of documentation proportionate with the level of significance of the building prior to relocation. Prior to approval of the Planned Development Permit, evidence that the HABS or HABS documentation has been submitted to History San José (Attention: Jim Reed, History San José, 1650 Senter Road, San José, CA 95112-2599, (408) 287-2290), shall be submitted to the Historic Preservation Officer.

Hazards and Hazardous Materials

Implementation of the following mitigation measures would mitigate the impact described above to a less than significant level:

- Prior to the issuance of a demolition permit, a visual inspection/pre-demolition survey, and possible sampling, will be conducted by a qualified professional, in conformance with state and local laws, before the building is demolished, to determine the presence of asbestos-containing materials and/or lead-based paint.
- All potentially friable asbestos-containing materials shall be removed in accordance with National Emissions Standards for Hazardous Air Pollutants (NESHAP) guidelines prior to building demolition or renovation that may disturb the materials. All demolition activities will be undertaken in accordance with Cal/OSHA standards, contained in Title 8 of the California Code of Regulations (CCR), Section 1529, to protect workers from exposure to asbestos. Materials containing more than 1 percent asbestos are also subject to Bay Area Air Quality Management District (BAAQMD) regulations.
- During demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, California Code of Regulations 1532.1, including employees training, employee air monitoring, and dust control. Any debris or soil containing lead-based paint or coatings will be disposed of at landfills that meet acceptance criteria for the waste being disposed.
- Prior to issuance of a grading permit, soil technicians and operators must be aware of any underground storage tanks, buried debris, or other potential adverse environmental condition that may be discovered in the property. If any one of these conditions is encountered, then the soil engineer must be notified and the specific condition appropriately remedied in accordance with the local, County, and state requirements.
- Any deep excavations that would be created during site development such as the removal of basements, septic tanks, foundations, trees, should be left open for further adequate geotechnical investigation, unless their immediate backfill is necessary.
- The presence of any unusual odor, or suspicious materials during demolition and/or mass grading operations should be reported immediately to the Soil Engineer, the San Jose Building Division, and the property owner.

- Any paint containers, water sealers, basements, cement pads, appliances, trash, refused lumber, cabinets, transite pipe, abandoned septic tank, paved parking lot, utility boxes, etc. should be carefully removed offsite prior to the demolition and/or grading operations of the subject property. All of the removed items should be disposed according to local, County, and state regulations.

Hydrology and Water Quality

Implementation of the following mitigation measures, consistent with NPDES Permit and City Policy requirements, will reduce potential construction impacts to surface water quality to less than significant levels:

- A Storm Water Pollution Prevention Plan (SWPPP) in compliance with the local NPDES permit shall be developed and implemented, including
 - Site description
 - Erosion and sediment controls
 - Waste disposal
 - Implementation of approved local plans
 - Proposed post-construction controls, including description of local post-construction erosion and sediment control requirements
 - Best Management Practices (BMPs) such as the use of infiltration of runoff onsite, first flush diversion, flow attenuation by use of open vegetated swales and natural depressions, stormwater retention or detention structures, oil/water separators, porous pavement, or a combination of these practices for both the construction- and post-construction-period water quality impacts
 - Non-stormwater management
- The project shall comply with applicable provisions of the following two City Policies: Post-Construction Urban Runoff Management Policy (6-29) and Post-Construction Hydromodification Management Policy (8-14).
- Prior to the issuance of a grading permit, the project shall comply with State Water Resources Control Board's NPDES General Construction Activities Permit, to the satisfaction of the Director of Public Works, as follows:
 - The applicant shall develop, implement, and maintain a Storm Water Pollution Prevention Plan (SWPPP) for controlling stormwater discharges associated with construction activity.
 - The applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board.
- Prior to the issuance of a Planned Development Permit, the applicant must provide details of specific best management practices (BMPs) including, but not limited to, bioswales, disconnected downspouts, landscaping to reduce impervious surface area, and inlets stenciled, "No Dumping - Flows to Bay" to the satisfaction of the Director of Planning, Building and Code Enforcement.

- The project shall comply with Provision C.3 of NPDES permit Number CAS0299718, which provides enhanced performance standards for the management of stormwater of new development.
- The project shall comply with applicable provisions of the following City Policies: (1) Post-Construction Urban Runoff Management Policy (6-29), which establishes guidelines and minimum BMPs for all projects, and (2) Post-Construction Hydromodification Management Policy (8-14), which provides for numerically sized (or hydraulically sized) TCMs.

Noise

Implementation of the following mitigation measures would also reduce potential construction impacts on noise to less than significant levels:

- Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, for any onsite or offsite work within 500 feet of any residential unit. Construction outside of these hours may be approved through a development permit based on a site-specific construction noise mitigation plan and a finding by the Director of Planning, Building and Code Enforcement that the construction noise mitigation plan is adequate to prevent noise disturbance of affected residential uses.
- The contractor shall use “new technology” power construction equipment with state-of-the-art noise shielding and muffling devices. All internal combustion engines used on the project site shall be equipped with adequate mufflers and shall be in good mechanical condition to minimize noise created by faulty or poorly maintained engines or other components.

**DRAFT
MITIGATED NEGATIVE DECLARATION**

The Director of Planning, Building and Code Enforcement has reviewed the proposed project described below to determine whether it could have a significant effect on the environment as a result of project completion. "Significant effect on the environment" means a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by the project including land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance.

NAME OF PROJECT: PDC08-035 - South First Street Mixed Use

PROJECT FILE NUMBER: PDC08-035

PROJECT DESCRIPTION: Planned Development Rezoning from LI Light Industrial and R-M Multiple Family Residence Zoning Districts to A(PD) Planned Development Zoning District to allow up to 50 residential units and 5,350 square feet of commercial/retail and subsequent permits on a 1.08 gross acre site.

PROJECT LOCATION & ASSESSORS PARCEL NO.: Southwest corner of Edwards Avenue and South First Street; 264-37-061, 264-37-062, 264-37-063, 264-37-064, 264-37-065 and 264-37-066.

COUNCIL DISTRICT: 3

APPLICANT CONTACT INFORMATION: MAK Studio, Attn: Kelly Melendez, 99 Colton Street, San Francisco, CA 94103, (415)861-5646

FINDING

The Director of Planning, Building & Code Enforcement finds the project described above will not have a significant effect on the environment in that the attached initial study identifies one or more potentially significant effects on the environment for which the project applicant, before public release of this draft Mitigated Negative Declaration, has made or agrees to make project revisions that clearly mitigate the effects to a less than significant level.

MITIGATION MEASURES INCLUDED IN THE PROJECT TO REDUCE POTENTIALLY SIGNIFICANT EFFECTS TO A LESS THAN SIGNIFICANT LEVEL

I. AESTHETICS – The project will not have a significant impact on this resource, therefore no mitigation is required.

II. BIOLOGICAL RESOURCES – The following measures shall be implemented into the project to prevent impacts to biological resources:

Trees: Any tree that is removed will be replaced by the addition of one or more new trees at the ratios shown in Table 1.

Table 1: Tree Replacement Ratios

Diameter of Tree To Be Removed	Type of Tree To Be Removed			Minimum Size of Each Replacement Tree
	Native	Non-Native	Orchard	
18 inches or greater	5:1	4:1	3:1	24-inch box
12-17 inches	3:1	2:1	None	24-inch box
Less than 12 inches	2:1	1:1	None	15-gallon container

The species and exact number of trees to be planted will be determined at the development permit stage, in consultation with the City Arborist and the Department of Planning, Building, and Code Enforcement. Replacement trees are to be above and beyond standard landscaping; required street trees do not count as replacement trees.

In the event the project site does not have sufficient area to accommodate the required tree mitigation, one or more of the following measures will be implemented, to the satisfaction of the Director of Planning, Building, and Code Enforcement, at the development permit stage.

- The size of a 15-gallon replacement tree may be increased to a 24-inch box and count as two replacement trees.
- An alternative site(s) may be identified for tree planting. Alternative sites may include local parks or schools or the installation of trees on adjacent properties for screening purposes to the satisfaction of the Director of Planning, Building, and Code Enforcement.
- A donation of \$300.00 per mitigation tree will be paid to Our City Forest or San José Beautiful for in-lieu-of offsite tree planting in the community. These funds will be used for tree planting and maintenance of planted trees for approximately 3 years. A donation receipt for offsite tree planting will be provided to the Planning Project Manager prior to issuance of a development permit.

III. CULTURAL RESOURCES – The following measures shall be implemented into the project to prevent impacts to cultural resources:

- Relocation of the National Register eligible house located at 985 South First Street, to Edwards Avenue (as noted on the plans), in conformance to the Secretary of the Interior’s Standards.
- The building located at 985 South First Street would require further documentation in the form of HABS or HABS-type of documentation proportionate with the level of significance of the building prior to relocation. Prior to approval of the Planned Development Permit, evidence that the HABS documentation has been submitted to History San Jose (Attention: Jim reed, History San Jose, 1650 Senter Road, San Jose CA 95112-2599, (408) 287-2290), shall be submitted to the Historic Preservation Officer.

IV. GEOLOGY AND SOILS – The project will not have a significant impact on this resource, therefore no mitigation is required.

V. HAZARDS AND HAZARDOUS MATERIALS – Implementation of the following mitigation measures would mitigate the impact described above to a less than significant level:

- Prior to the issuance of a demolition permit, a visual inspection/pre-demolition survey, and possible sampling, will be conducted by a qualified professional, in conformance with state and local laws, before the building is demolished, to determine the presence of asbestos-containing materials and/or lead-based paint.
- All potentially friable asbestos-containing materials shall be removed in accordance with National Emissions Standards for Hazardous Air Pollutants (NESHAP) guidelines prior to building demolition or renovation that may disturb the materials. All demolition activities will be undertaken in accordance with Cal/OSHA standards, contained in Title 8 of the California Code of Regulations (CCR), Section 1529, to protect workers from exposure to asbestos. Materials containing more than 1 percent asbestos are also subject to Bay Area Air Quality Management District (BAAQMD) regulations.
- During demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, California Code of Regulations 1532.1, including employees training, employee air monitoring, and dust control. Any debris or soil containing lead-based paint or coatings will be disposed of at landfills that meet acceptance criteria for the waste being disposed.
- Prior to issuance of a grading permit, soil technicians and operators must be aware of any underground storage tanks, buried debris, or other potential adverse environmental condition that may be discovered in the property. If any one of these conditions is encountered, then the soil engineer must be notified and the specific condition appropriately remedied in accordance with the local, County, and state requirements.
- Any deep excavations that would be created during site development such as the removal of basements, septic tanks, foundations, trees, should be left open for further adequate geotechnical investigation, unless their immediate backfill is necessary.
- The presence of any unusual odor, or suspicious materials during demolition and/or mass grading operations should be reported immediately to the Soil Engineer, the San Jose Building Division, and the property owner.
- Any paint containers, water sealers, basements, cement pads, appliances, trash, refused lumber, cabinets, transite pipe, abandoned septic tank, paved parking lot, utility boxes, etc. should be carefully removed offsite prior to the demolition and/or grading operations of the subject property. All of the removed items should be disposed according to local, County, and state regulations.

VI. LAND USE AND PLANNING – The project will not have a significant impact on this resource, therefore no mitigation is required.

VII. MINERAL RESOURCES – The project will not have a significant impact on this resource, therefore no mitigation is required.

VIII. NOISE – Implementation of the following mitigation measures would also reduce potential noise impacts to less than significant levels:

- To reduce exterior noise impacts, the applicant shall construct 42-inch high acoustically effective air-tight railings, per specifications in Appendix D of the Noise Report dated August 20, 2008. Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, for any

IX. POPULATION AND HOUSING – The project will not have a significant impact on this resource, therefore no mitigation is required.

X. **PUBLIC SERVICES** – The project will not have a significant impact on this resource, therefore no mitigation is required.

XI. **RECREATION** – The project will not have a significant impact on this resource, therefore no mitigation is required.

XII. **TRANSPORTATION / TRAFFIC** – The project will not have a significant impact on this resource, therefore no mitigation is required

XIII. **UTILITIES AND SERVICE SYSTEMS** – The project will not have a significant impact on this resource, therefore no mitigation is required.

XIV. **MANDATORY FINDINGS OF SIGNIFICANCE** – The project will not substantially reduce the habitat of a fish or wildlife species, be cumulatively considerable, or have a substantial adverse effect on human beings, therefore no additional mitigation is required.

PUBLIC REVIEW PERIOD

Before 5:00 p.m. on **April 15, 2009**, any person may:

Review the Draft Mitigated Negative Declaration (MND) as an informational document only; or Submit written comments regarding the information, analysis, and mitigation measures in the Draft MND. Before the MND is adopted, Planning staff will prepare written responses to any comments, and revise the Draft MND, if necessary, to reflect any concerns raised during the public review period. All written comments will be included as part of the Final MND.

Joseph Horwedel, Director
Planning, Building and Code Enforcement

Circulated on: 3/24/09


Deputy

Adopted on: 5/14/09


Deputy

MND/JAC 8/26/05

TO: Licinia McMorrow
Planning and Building

FROM: Ebrahim Sohrabi
Public Works

**SUBJECT: FINAL RESPONSE TO
DEVELOPMENT APPLICATION**

DATE: 10/29/08

PLANNING NO.: PDC08-035
DESCRIPTION: Planned Development Rezoning from LI Light Industrial and R-M Multiple Family Residence Zoning Districts to A(PD) Planned Development Zoning District to allow up to 50 residential units and 4000 sq. ft of commercial/retail on a 1.08 gross acre site
LOCATION: southwest corner of Edwards Avenue and South 1st Street
P.W. NUMBER: 3-14627

Public Works received the subject project on 10/27/08 and submits the following comments and requirements.

Project Conditions:

Public Works Clearance for Building Permit(s) or Map Approval: Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.

1. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
2. **Transportation:** An in-house traffic analysis was performed for this project. The proposed use generations 40 AM and 48 PM peak hour trips. We conclude that the subject project will be in conformance with the City of San Jose Transportation Level of Service Policy (Council Policy 5-3). Therefore, a determination of a negative declaration can be made with respect to traffic impacts.
3. **Site Design:** Proposed private entry doors and structures shall not swing open or encroach into public right-of-way.
4. **Grading/Geology:**
 - a) A grading permit is required prior to the issuance of a Public Works Clearance.

- b) If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.
 - c) Because this project involves a land disturbance of one or more acres, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.
 - d) The Project site is within the State of California Seismic Hazard Zone. A soil investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CDMG Special Publication 117) and the Southern California Earthquake Center ("SCEC" report). A recommended depth of 50 feet should be explored and evaluated in the investigation.
5. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) that include site design measures, source controls, and stormwater treatment controls to minimize stormwater pollutant discharges. Post-construction treatment control measures, shown on the project's Stormwater Control Plan, shall meet the numeric sizing design criteria specified in City Policy 6-29.
- a) The project's preliminary Stormwater Control Plan and numeric sizing calculations have been reviewed. At PD stage, submit the final Stormwater Control Plan and numeric sizing calculations.
 - b) Final inspection and maintenance information on the post-construction treatment control measures must be submitted prior to issuance of a Public Works Clearance.
 - c) A post construction Final Report is required by the Director of Public Works from a Civil Engineer retained by the owner to observe the installation of the BMPs and stating the all post construction storm water pollution control BMPs have been installed as indicated in the approved plans and all significant changes have been reviewed and approved in advance by the Department of Public Works.
6. **Flood: Zone D**
- a) The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
7. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.

8. **Parks:** In accordance with the Parkland Dedication and Park Impact Ordinances (SJMC 19.38/14.25), the park impact fee will be due for any additional living units that are built.
9. **Street Improvements:**
 - a) Applicant shall be responsible to remove and replace curb, gutter, and sidewalk damaged during construction of the proposed project.
 - b) Remove and replace broken or uplifted curb, gutter, and sidewalk along project frontages.
 - c) The proposed storm main extension from project site to Willow Street shall be 15" RCP.
 - d) Close unused driveway cut(s).
 - e) Proposed driveway width to be 26' conforming to City Standards.
 - f) An encroachment permit from Cal Trans is required for all work performed along South 1st St.
 - g) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
10. **Complexity Surcharge:** Based on established criteria, the public improvements associated with this project have been rated medium complexity. An additional surcharge of 25% will be added to the Engineering & Inspection (E&I) fee collected at the street improvement stage.
11. **SNI:** This project is located within the Washington SNI area. Public improvements shall conform to the approved EIR and neighborhood improvement plan.
12. **Sanitary:** Sanitary lateral on First Street shall be 6" VCP.
13. **Storm:** Applicant will be required to extend Storm main from Willow Street to the North in order to serve this project.
14. **Electrical:** Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
15. **Street Trees:**
 - a) The locations of the street trees will be determined at the street improvement stage. Street trees shown on this permit are conceptual only.
 - b) Contact the City Arborist at (408) 277-2756 for the designated street tree.
 - c) Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Street trees shall be installed in cut-outs at the back of curb. Obtain a DOT street tree planting permit for any proposed street tree plantings.

- d) Replace any missing street trees in empty tree wells or park strips along South First Street and match existing trees per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Obtain a DOT street tree planting permit for any proposed street tree plantings.
 - e) Show all existing trees by species and diameter that are to be retained or removed. Obtain a street tree removal permit for any street trees that are over 6 feet in height that are proposed to be removed.
16. **Utilities:** All new utilities, joint trench, pull boxes and cabinets shall be installed within the project site. At the PD Permit stage, provide a conceptual utility plan. A public service easement (PSE) may be required and no permanent structures can be built within the easement area.
17. **Private Streets:** Per Common Interest Development (CID) Ordinance, all common infrastructure improvements shall be designed and constructed in accordance with the current CID standards.
18. **Referrals:** This project should be referred to the Valley Transportation Authority and Cal Trans.

Please contact the Project Engineer, Vivian Tom, at (408)535-6819 if you have any questions.



Ebrahim Sohrabi
Senior Civil Engineer
Development Services Division



ES:VT:jk

6000_29154932066.DOC

From: Kevin Fish [mailto:roosterville1@yahoo.com]
Sent: Wednesday, April 15, 2009 11:34 AM
To: Lev, Hadasa
Subject: Kevin R. Fish - destruction of buildings

Hello, Hadasa Lev:

I am deeply bothered by any idea of destruction of old buildings that are historic, meaning those that are on or qualify for the National Historic Registry. I read the environmental review for PDC08-035, which suggests destruction of some buildings, including some historic buildings: the 1909 Oldham-Long House and the 1910 Paul and Mary Cribari House. I am concerned about destruction of historic structures since I earned college degrees in history.

Perhaps somebody can address the Commission or the Commission can do research about these particular buildings, especially by emphasizing their historical significance. I do not believe in merely stating facts, since that is trivial pursuits. What is the role of these people who lived in those houses, in terms of San Jose history? Also, is there any relationship with other parts of the United States?

Merely placing a sign on a building that says, for example, this was Dr. Bascom's house, is mere trivial pursuits, not history. The cause and effect/significance of Dr. Bascom's work must be emphasized, including any statewide or national significance. One can also note the annexations of parts of cities, such as San Jose's annexations of Willow Glen in the 1930's and Alviso in 1968, but the state and national significance of these events must also be emphasized; in fact, part of this perspective would include the history of urban beautification.

When I talk about causes and significance in history, regarding these matters or anything else, I have in mind the idea of historical facts. As Edward Hallett Carr stated in lectures in 1961, facts of past events are raw data, but historical facts are those regarded by historians as major historical events, and those that have significance. Historians thus interpret facts. Carr also noted that the liberal journalist C. P. Scott said, "Facts are sacred, opinion is free." Carr's lectures were published in book form in What Is History? (1961), but this was revised in 1987, after his death in 1982.

Thank you for your consideration.

Sincerely,
Kevin R. Fish
(408) 971-0811

Randazzo Enterprises, Inc.

13550 Blackie Road ~ Castroville, Ca. 95012

Phone (831) 633-4420 ~ Fax (831) 633-4588 ~ Email randazzoent@aol.com

CA License # 471936 A, B, C-8 & C-21, ASB, HAZ

FAX TRANSMITTAL

DATE: April 10, 2009
TO: Sally Zarnowitz ~ City of San Jose Planning Building Department
FROM: Carolee Caballo ~ Randazzo Enterprises, Inc.
SUBJECT: **Public Hearing Information**
PROJECT: **PDC-08-035 - Demo of 5 Buildings**

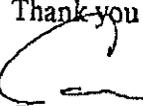
Good Afternoon,

I need some information please on a project that will be happening.

- a. PDC-08-035 - Demolition of five buildings.
- b. Location - southwest corner of Edwards Ave and South 1th Street.
- c. Owner is: Emillo Barriga and Jose Montero.

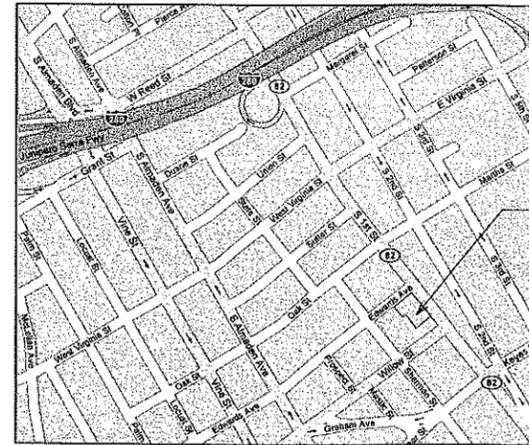
I need a phone number or address of the owners, being that we are interested in this project.

Thank you and have a good day,


Carolee Caballo
Contract Administrator
Randazzo Enterprises, Inc.

Our goals are safety and satisfied customers.

408-292-6055



LOCATION MAP Scale: 1" = 500'

SHEET INDEX

- 1 TITLE SHEET, GENERAL INFORMATION
- 2 LAND USE PLAN
- 3 CONCEPTUAL SITE PLAN
- 4 CONCEPTUAL GRADING AND DRAINAGE PLAN
- 4A-1 CONCEPTUAL STORMWATER BMP EXHIBIT
- 4A CONCEPTUAL STORMWATER CONTROL PLAN
- 5a CONCEPTUAL BUILDING PLAN - STREET / PARKING LEVEL
- 5b CONCEPTUAL BUILDING PLAN - PODIUM / 1st LEVEL RESIDENTIAL
- 5c CONCEPTUAL BUILDING PLAN - 2nd LEVEL RESIDENTIAL
- 5d CONCEPTUAL BUILDING PLAN - 3rd LEVEL RESIDENTIAL
- 5e CONCEPTUAL BUILDING PLAN - ROOF PLAN and EXTERIOR ELEV.
- 5f CONCEPTUAL EXTERIOR ELEVATIONS
- 6 CONCEPTUAL LANDSCAPE ARCHITECTURAL PLAN
- 7 SURVEY OF EXISTING CONDITIONS

SITE INFORMATION

Lot Acreage Gross: 47,538 s.f. or 1.09 Acres
Lot Acreage Net: 47,538 s.f. or 1.09 Acres
Total Footprint of Buildings: 33,852 sf or 71% of Site Area
Total Area Devoted to Landscape @ Grade: 7,929 sf or 16.7% of Site Area
Housing Density: 46.8 Units per net acre
Housing Type: Apartment Flats and Townhouse Style
Construction commencement anticipated for the summer of 2010 with completion of construction to occur winter of 2011.

HOUSING UNIT CALCULATIONS

Unit Type	Unit Area*	Unit Description	Street Level	Podium Level	Residential Level 2	Residential Level 3	Total	Total Unit Areas	
A	768	1 Bedroom, 1 Bathroom	0	6	6	7	19	14,592 sf	
B	804	2 Bedroom, 2 Bathroom	0	8	8	7	23	18,492 sf	
C	1,043	2 Bedroom, 2 Bathroom	0	2	2	2	6	6,258 sf	
D	1,378	2 Bedroom, 2 Bathroom, Townhouse	0	2	0	0	2	2,756 sf	
	±1,200	(RELOCATED HOME)	1	0	0	0	1	±1,200 sf	
TOTAL COUNT			1	18	16	16	51	UNITS TOTAL	43,298 sf

* Average Net Unit Area

Unit Mix: 19 (1) Bedrooms or 37%
32 (2) Bedrooms or 63%
Parking Ratio: SEE PARKING TABULATION SHEET 5c

NON-RESIDENTIAL BUILDING AREA CALCULATIONS

	Street Level	Podium Level	Residential Level 2	Residential Level 3	Total	% of site area
Residential Leasing / Lobby Area	1,244	0	0	0	1,244	
Commercial / Retail Area	5,350	0	0	0	5,350	
Residential Common Area (hallways, stairs, elevator lobby)	280	2,965	2,983	2,661	8,889	
Utility Areas (garbage/recycling, storage, electrical closets)	830	307	271	353	1,760	
Area of proposed off-street parking (covered and uncovered):	22,560	0	0	0	22,560	47.5%
Multi-Purpose Gym Area	0	1,042	0	0	1,042	



VIEW FROM SOUTH FIRST STREET AND EDWARDS

So. 1st Street, San Jose
GENERAL DEVELOPMENT PLAN
EXHIBIT C

STAMP

Title Sheet

PRINTING	DATE
PD ZONING SUBMITTAL SET	06/19/08
RESPONSE TO COMMENTS	10/20/08
RESPONSE TO 2nd COMMENTS	01/23/09
PD ZONING 2nd SUBMITTAL	03/23/09
PD ZONING 3rd SUBMITTAL	05/14/09

REVISIONS	DATE

Title Sheet

SCALE	VARIABLES
JOB NO.	1st STREET, SJ - 0808

S. FIRST ST.
(PUBLIC STREET)

251'-5"

178'-6"

RETAIL TERRACE 1
(PUBLIC USE 700 SF)

COMMERCIAL/RETAIL
(PUBLIC USE 640'S 3,804 SF)

LOBBY
(PUBLIC USE 1,342 SF)

COMMERCIAL/RETAIL
(PUBLIC USE 640'S 1,247 SF)

RETAIL TERRACE
(PUBLIC USE 1,247 SF)

101' 10" WIDE
(PRIVATE USE 1,534 SF)

COMMERCIAL BUILDING

LOADING AREA
TRASH ENCLOSURE
ATTACHED TO THE BUILDING
(PRIVATE USE, 374 SF)

EDWARDS AVE
(PUBLIC STREET)

UTILITY STAIR ACCESS
(PRIVATE USE, 545 SF)

PRIVATE USE, 615 SF

OFF-STREET PARKING, 2
STALLS (PRIVATE USE,
887 SF)

OFF-STREET PARKING AREA
84 UNIFORM PARKING STALLS, 1 HC STALL
(5 RETAIL EMPLOYEE STALLS, 29 RESIDENTIAL STALLS)
(PRIVATE USE, 22,560 SF)

UTILITY STAIR ACCESS
(PRIVATE, 231 SF)

PARKING LOT

UTILITY (PRIVATE, 60 SF)

RELOCATED HOME
(PRIVATE USE, ±1,135 SF)

RESIDENT'S YARD
(PRIVATE USE)

ACCESSORY RESIDENCE

RESIDENCE

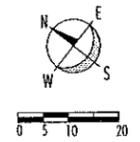
RESIDENCE

RESIDENCE

RESIDENCE

CONCEPTUAL SITE PLAN

1/16" = 1'-0"



- PRIVATE OPEN SPACE
- PUBLIC OPEN SPACE
- OFF-STREET PARKING AREA, PRIVATE USE
- PUBLIC USE INTERIOR SPACE
- UTILITY, INTERIOR SPACE PRIVATE USE

GENERAL SITE PLAN NOTES:
BUILDING USE: THE MAIN BUILDING SHALL CONSIST OF MIXED COMMERCIAL/RETAIL WITH PRIVATE PARKING AND UTILITY/SERVICE AREAS AT THE GROUND LEVEL. THE 2ND THRU 4th FLOOR ARE DEDICATED TO PRIVATE RESIDENTIAL TENANT USE. THE SECONDARY BUILDING IS A SINGLE FAMILY RESIDENCE CURRENTLY LOCATED ON LOT 5 AND SHALL BE RELOCATED AS SHOWN
FOR EXISTING CONDITIONS SUCH AS LOT LINES, TREES, BUILDINGS, TOPOGRAPHY, ETC, SEE THE SITE SURVEY, SHEET 7.

Melendez and Koo Studio
1643 Mission Street Ste 501 San Francisco, CA 94103
tel : 415.861.5646 fax: 415.861.5641

- CONSULTANTS
- ARCHITECTURE:
HURTIG ENGINEERS
2951 EL CAMINO REAL
PALO ALTO, CALIFORNIA 94306
PH (650) 326-0440
FX (650) 326-0546
- CIVIL/SURVEYING ENGINEERS:
UNTERWOOD AND KOSKUNOLLA, INC.
1650 DAWLARD ROAD, SUITE #114
SAN JOSE, CALIFORNIA 95131
PH (408) 453-1222
FX (408) 453-1202
- LANDSCAPE ARCHITECTURE:
PLA DESIGN
444 17th STREET
OAKLAND, CA 94612
PH (510) 465-1284
FX (510) 465-1254

So. 1st Street, San Jose
GENERAL DEVELOPMENT PLAN
EXHIBIT C

DATE	REVISIONS
06/19/08	
10/20/08	
01/23/09	
03/23/09	
05/14/09	

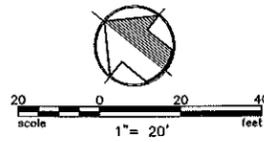
Conceptual Site Plan

SCALE 1/16" = 1'-0"
JOB NO. 1st STREET, SJ - 0808

SHEET NUMBER

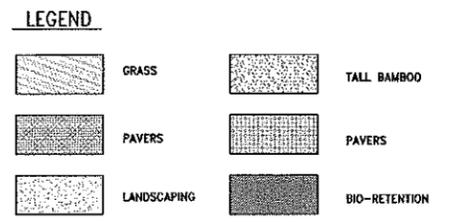
Name & Location of Receiving Water Body	Quadrangle River
Pollutants & pollutant source areas, including loading docks, food service areas, refuse areas, outdoor processes and storage, vehicle cleaning, repair or maintenance, fuel dispensing.	See plan for parking lot and trash enclosure is located within parking garage. No other source areas on site.
Existing natural hydrologic features (depressions, rames of watercourses, etc.) and significant natural resources.	None.
Project within flood elevation?	Flood Zone D is an unshaded area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
Existing and proposed trees, specifying size, species, condition and disposition.	See Landscape Plans for information on proposed trees.
Drainage flows and overland release flows	See plan for arrows.
Existing and proposed topographic contours with drainage areas and sub areas delineated and arrows showing flow direction.	See plan and also legend.
Types of paving materials.	Specifications and details will be provided on the improvement plans.
Details of pervious pavement and grass treatment on roof.	See plan.
Separate drainage areas depending on complexity of drainage network.	See Pervious & Impervious Surfaces Comparison chart on this sheet.
For each drainage area, specify types of impervious area (roof, plaza, sidewalk, streets, parking, etc.) and area of each.	SCMs include non-stormwater discharges, waste handling & disposal, building & grounds maintenance, parking maintenance, housekeeping practices, pool maintenance, landscape maintenance, drainage system maintenance.
Location, size, and identification of types of source control measures, water quality treatment control measures and best management practices.	BMPs are to be regularly maintained (mowed and cleared of debris), catch basins inspected and cleaned at least once per year, prior to the commencement of rainy season (October 15th).
Detailed maintenance plan and maintenance schedule for all proposed SCMs and TCMs.	Treatment will be 100% landscaping including green roof. Details will be on the Improvement Plans.
Details of all proposed water quality treatment measures.	See plan and also legend for location/size of planting areas. See Landscape Plans for information on proposed plant material.
Location, size, and identification of proposed landscaping/plant material.	done.
Ensure consistency with Grading & Drainage Plan & Landscape Plan.	done.
Calculations illustrating water quality treatment control measures meet numerical standards set forth in Post-Construction Urban Runoff Management Policy No. 6-29.	See Table on this Sheet.
Licensed certification that the specific TCMs meet the requirements in Post-Construction Urban Runoff Management Policy 6-29.	Plan is stamped by licensed civil engineer.

CALCULATION FOR STORMFILTER : CIA = (0.85)(0.2)(1.1) = 0.19 CFS
 KRISTAR CF-48UF-4 = 0.223 CFS CAPACITY
 (SEE DETAIL 1/4A1)

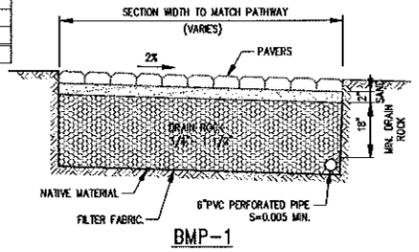


	Existing Conditions (sq.ft.)	%	Proposed Conditions* (sq.ft.)	%	Difference (sq.ft.)	%
Site (acres)	1,091					
Site (sq.ft.)	47,538					
Roof	12,000	25%	23,240	49%	11,240	24%
Sidewalks/Patios/Paths	945	2%	3,423	7%	2,478	5%
Parking/Driveways	4,436	9%	420	1%	-4,016	-8%
Green Roof	0	0%	10,360	22%	10,360	22%
Pervious Sidewalk/Paver	0	0%	4,957	10%	4,957	10%
Landscaping	30,157	63%	5,138	11%	-25,019	-53%
Total	47,538	100%	47,538	100%	0	0%
Impervious Surfaces	17,381	37%	27,083	57%	9,702	20%
Pervious Surfaces	30,157	63%	20,455	43%	-9,702	-20%
Total	47,538	100%	47,538	100%	0	0%

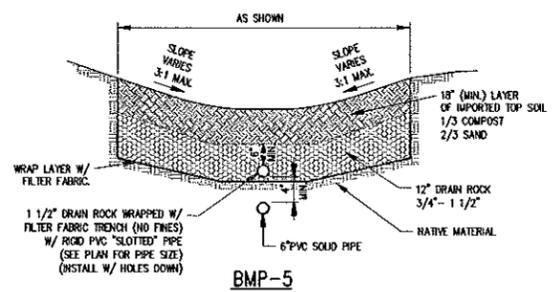
Catchment Label	Hardscape Area (SF)	Landscape Area (SF)	Total Area (SF)	Total Area (acres)	Bio-Retention Area (SF)	Bio-Retention Req'd Area (SF)
A1	824	615	1439	0.033	450	33
A2	4850	0	4850	0.111	TREATED BY MECHANICAL DEVICE	194
A3	2749	844	3593	0.082	116	110
A4	1237	365	1602	0.037	54	50
A5	2536	1117	3653	0.084	136	102
A6	4649	0	4649	0.107	TREATED BY MECHANICAL DEVICE	186
A7	3426	0	3426	0.079	TREATED BY MECHANICAL DEVICE	137
A8	3238	0	3238	0.074	TREATED BY MECHANICAL DEVICE	130
A9	2368	2725	5093	0.117	100	95
A10	186	375	561	0.013	30	8
A11	279	169	448	0.010	21	11
B1	5809	896	6705	0.154	235	233
B2	0	1007	1007	0.023	0	0
B3	6291	0	6291	0.144	TREATED BY MECHANICAL DEVICE	252
B4 & B5	0	58	58	0.001	0	0
C	211	713	924	0.021	625	9
TOTAL	38653	8884	47537	1.091	1767	1550



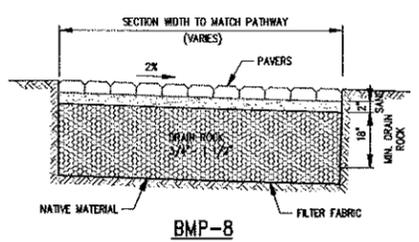
- (BMP-1) PAVERS OVER BIO-RETENTION (SEE DETAIL 1)
- (BMP-2) EROSION CONTROL FEATURES DURING CONSTRUCTION (NOT SHOWN ON THIS DRAWING)
- (BMP-3) PERVIOUS PAVEMENT PAVERS ON PODIUM THE STORM DRAIN PIPE AND TREATED AT THE BIO-RETENTION
- (BMP-4) BIO-RETENTION - (SEE DETAIL 2)
- (BMP-5) PARKING GARAGE DRAINS TO SANITARY SEWER SYSTEM (SEE SHEET 4)
- (BMP-6) THE AREA DRAINS IN PODIUM LEVEL ARE TREATED BY MECHANICAL DEVICE
- (BMP-7) PAVERS (SEE DETAIL 3)
- (BMP-8) STORM TREATMENT SYSTEM KRISTAR CF-48UF-4 (SEE DETAIL 1/4A1)



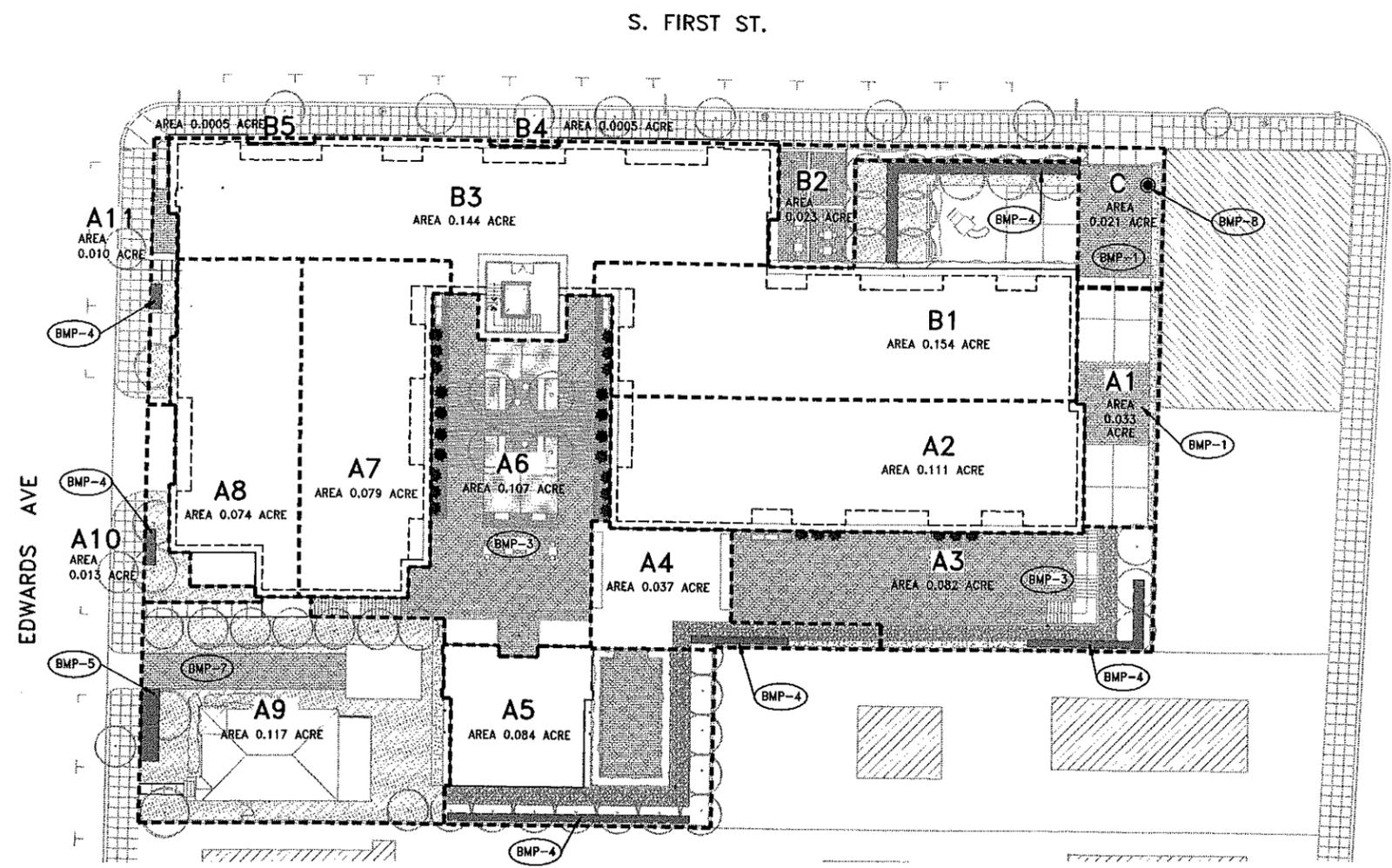
1 IMPLEMENTING PERVIOUS PAVEMENT
SCALE: N.T.S.



2 BIO-RETENTION
SCALE: N.T.S.



3 IMPLEMENTING PERVIOUS PAVEMENT
SCALE: N.T.S.



Preliminary/ Not For Construction
 This document is released for interim review and shall not be used for any other purpose.
 By: P.E.#: 26429
 Date:

Non-Stormwater Discharges

* Stencil or demarcate storm drains, where applicable, to prevent illegal disposal of pollutants. Storm drain inlets should have messages such as "Dump No Waste Drains to Stream" stenciled or demarcated next to them to warn against ignorant or intentional dumping of pollutants into the storm drainage system.

Illicit Connections

* Locate discharges from the industrial storm drainage system to the municipal storm drain system through review of "as-built" piping schematics.

* Isolate problem areas and plug illicit discharge points.

Visual Inspection and Inventory

* Inventory and inspect each discharge point during dry weather.

* Keep in mind that drainage from a storm event can continue for a day or two following the end of a storm and groundwater may infiltrate the underground stormwater collection system. Also, non-stormwater discharges are often intermittent and may require periodic inspections.

Waste Handling & Disposal

Cover storage containers with leak proof lids or some other means. If waste is not in containers, cover all waste piles (plastic tarps are acceptable coverage) and prevent stormwater run-on and runoff with a berm. The waste containers or piles must be covered except when in use.

* Use drip pans or absorbent materials whenever grease containers are emptied by vacuum trucks or other means. Grease cannot be left on the ground. Collected grease must be properly disposed of as garbage.

* Check storage containers weekly for leaks and to ensure that lids are on tightly. Replace any that are leaking, corroded, or otherwise deteriorating.

* Sweep and clean the storage area regularly. If it is paved, do not hose down the area to a storm drain.

* Dispose of rinse and wash water from cleaning waste containers into a sanitary sewer if allowed by the local sewer authority. Do not discharge wash water to the street or storm drain.

* Transfer waste from damaged containers into safe containers.

* Take special care when loading or unloading wastes to minimize losses. Loading systems can be used to minimize spills and fugitive emission losses such as dust or mist. Vacuum transfer systems can minimize waste loss.

Controlling Litter

* Post "No Littering" signs and enforce anti-litter laws.

* Provide a sufficient number of litter receptacles for the facility.

* Clean out and cover litter receptacles frequently to prevent spillage.

Waste Collection

* Keep waste collection areas clean.

* Inspect solid waste containers for structural damage regularly. Repair or replace damaged containers as necessary.

* Secure solid waste containers; containers must be closed tightly when not in use.

* Do not fill waste containers with washout water or any other liquid.

* Ensure that only appropriate solid wastes are added to the solid waste container. Certain wastes such as hazardous wastes, explosives, fluorescent lamps, pesticides, etc., may not be disposed of in solid waste containers (see chemical/hazardous waste collection section below).

* Do not mix wastes; this can cause chemical reactions, make recycling impossible, and complicate disposal.

Building & Grounds Maintenance

Cover storage containers with leak proof lids or some other means. If waste is not in containers, cover all waste piles (plastic tarps are acceptable coverage) and prevent stormwater run-on and runoff with a berm. The waste containers or piles must be covered except when in use.

* Use drip pans or absorbent materials whenever grease containers are emptied by vacuum trucks or other means. Grease cannot be left on the ground. Collected grease must be properly disposed of as garbage.

* Check storage containers weekly for leaks and to ensure that lids are on tightly. Replace any that are leaking, corroded, or otherwise deteriorating.

* Sweep and clean the storage area regularly. If it is paved, do not hose down the area to a storm drain.

Parking Maintenance

Keep the parking and storage areas clean and orderly. Remove debris in a timely fashion.

* Allow sheet runoff to flow into biofilters (vegetated strip and swale) and/or infiltration devices.

* Utilize sand filters or oleophilic collectors for oily waste in low quantities.

* Arrange rooftop drains to prevent drainage directly onto paved surfaces.

* Design lot to include semi-permeable hardscape.

* Discharge soapy water remaining in mop or wash buckets to the sanitary sewer through a sink, toilet, clean-out, or wash area with drain.

Surface Cleaning

* Use dry cleaning methods (e.g., sweeping, vacuuming) to prevent the discharge of pollutants into the stormwater conveyance system if possible.

* Establish frequency of public parking lot sweeping based on usage and field observations of waste accumulation.

* Sweep all parking lots at least once before the onset of the wet season.

* Follow the procedures below if water is used to clean surfaces:

- Block the storm drain or contain runoff.

- Collect and pump wash water to the sanitary sewer or discharge to a pervious surface. Do not allow wash water to enter storm drains.

- Dispose of parking lot sweeping debris and dirt of a landfill.

* Follow the procedures below when cleaning heavy oily deposits:

- Clean oily spots with absorbent materials.

- Use a screen or filter fabric over inlet, then wash surfaces.

- Do not allow discharges to the storm drain.

- Vacuum/pump discharges to a tank or discharge to sanitary sewer.

- Appropriately dispose of spilled materials and absorbents.

Surface Repair

* Preheat, transfer or lead hot bituminous material away from storm drain inlets.

* Apply concrete, asphalt, and seal coat during dry weather to prevent contamination from contacting stormwater runoff.

* Cover and seal nearby storm drain inlets where applicable (with waterproof material or mesh) and manholes before applying seal coat, slurry seal, etc. Leave covers in place until job is complete and all water from emulsified oil sealants has drained or evaporated. Clean any debris from these covered manholes and drains for proper disposal.

* Use only as much water as necessary for dust control, to avoid runoff.

* Catch drips from paving equipment that is not in use with pans or absorbent material placed under the machines. Dispose of collected material and absorbents properly.

Drainage Systems Maintenance

Catch Basins/Inlet Structures

* Staff should regularly inspect facilities to ensure compliance with the following:

- Immediate repair of any deterioration threatening structural integrity.

- Cleaning before the sump is 40% full. Catch basins should be cleaned as frequently as needed to meet this standard.

Illicit Connections and Discharges

* Look for evidence of illegal discharges or illicit connections during routine maintenance of conveyance system and drainage structures:

- Is there evidence of spills such as paints, discoloring, etc?

- Are there any odors associated with the drainage system?

- Record locations of apparent illegal discharges/illicit connections?

- Track flows back to potential dischargers and conduct aboveground inspections. This can be done through visual inspection of upgradient manholes or alternate techniques including zinc chloride smoke testing, fluorometric dye testing, physical inspection testing, or television camera inspection.

- Eliminate the discharge once the origin of flow is established.

* Stencil or demarcate storm drains, where applicable, to prevent illegal disposal of pollutants. Storm drain inlets should have messages such as "Dump No Waste Drains to Stream" stenciled next to them to warn against ignorant or intentional dumping of pollutants into the storm drainage system.

Illegal Dumping

* Inspect and clean up hot spots and other storm drainage areas regularly where illegal dumping and disposal occurs.

* Establish a system for tracking incidents. The system should be designed to identify the following:

- Illegal dumping hot spots

- Types and quantities (in some cases) of wastes

- Patterns in time of occurrence (time of day/night, month, or year)

- Mode of dumping (abandoned containers, "midnight dumping" from moving vehicles, direct dumping of materials, accidents/spills)

- Responsible parties

* Post "No Dumping" signs in problem areas with a phone number for reporting dumping and disposal. Signs should also indicate fines and penalties for illegal dumping.

Training

* Train crews in proper maintenance activities, including record keeping and disposal.

* Allow only properly trained individuals to handle hazardous materials/wastes.

* Have staff involved in detection and removal of illicit connections trained in the following:

- OSHA-required Health and Safety Training (29 CFR 1910.120) plus annual refresher training (as needed).

- OSHA Confined Space Entry training (Cal-OSHA Confined Space, Title 8 and Federal OSHA 29 CFR 1910.146).

- Procedural training (field screening, sampling, smoke/dye testing, TV inspection).

Spill Response and Prevention

* Investigate all reports of spills, leaks, and/or illegal dumping promptly.

* Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags) or dig up, remove, and properly dispose of contaminated soil.

* Have spill cleanup materials readily available and in a known location.

* Develop procedures to prevent/mitigate spills to storm drain systems. Develop and standardize reporting procedures, containment, storage, and disposal activities, documentation, and follow-up procedures.

* If consistent illegal dumping is observed at the facility:

- Post "No Dumping" signs with a phone number for reporting illegal dumping and disposal. Signs should also indicate fines and penalties applicable for illegal dumping.

Pools and Fountains

* Do not use copper-based algicides. Control algae with chlorine or other alternatives, such as sodium bromide.

* Do not discharge water to a street or storm drain when draining pools or fountains; discharge to the sanitary sewer if permitted to do so. If water is discolored with a neutralizing chemical or by allowing chlorine to dissipate for a few days (do not use the facility during this time), the water may be recycled/reused by draining it gradually onto a landscaped area. Water must be tested prior to discharge to ensure that chlorine is not present.

* Prevent backflow if draining a pool to the sanitary sewer by maintaining an "air gap" between the discharge line and the sewer line (do not seal the connection between the hose and sewer line). Be sure to call the local wastewater treatment plant for further guidance on flow rate restrictions, backflow prevention, and handling special cleaning waste (such as acid wash). Discharge flows should be kept to the low levels typically possible through a garden hose. Higher flow rates may be prohibited by local ordinance.

* Provide drip pans or buckets beneath drain pipe connections to catch leaks. This will be especially pertinent if pool or spa water that has not been dechlorinated is pumped through piping to a discharge location.

* Never clean a filter in the street or near a storm drain.

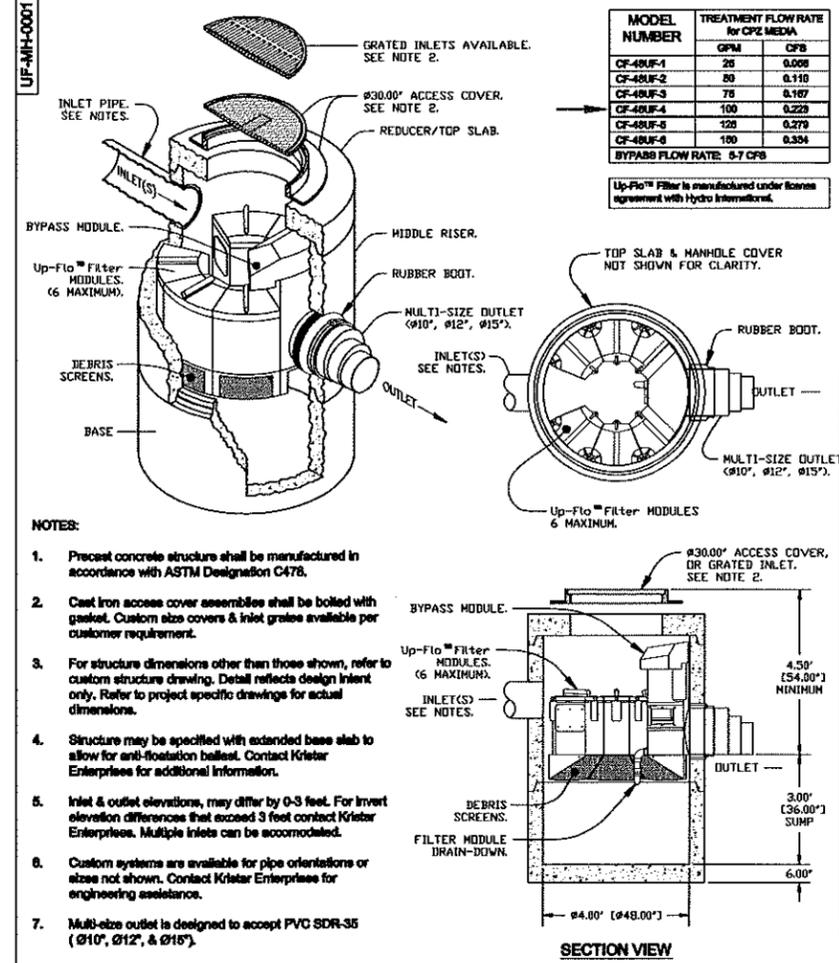
* Rinse cartridge filters onto a dirt area, and spade filter residue into soil.

* Backwash diatomaceous earth filters onto dirt. Dispose of spent diatomaceous earth in the garbage. Spent diatomaceous earth cannot be discharged to surface waters, storm drainage systems, septic systems, or on the ground.

* If there is not a suitable dirt area discharge filter backwash or rinse water to the sanitary sewer if permitted to do so by the local sewerage agency.

Training

* Train personnel regarding proper maintenance of pools, ponds and lakes.



Up-Flo™ Filter
Ø48" MANHOLE CONFIGURATION
6 MODULE MAXIMUM

KriStar Enterprises, Inc.
 300 Sutton Place, Santa Rosa, CA 95407
 Ph: 800.570.8910, Fax: 707.524.8186, www.krstar.com

BRANDING: UFMH-0001
 REV: JPR 12/30/08
 DATE: JPR 4/28/09
 SHEET 1 OF 1

REVISIONS	BY

UNDERWOOD & ROSENBLUM, INC.
 civil engineers and surveyors
 1400 S. Bascom Avenue, Suite 200
 San Jose, CA 95128
 Tel: (408) 433-2222
 Fax: (408) 433-1007



SOUTH FIRST STREET
 SAN JOSE CALIFORNIA

GENERAL DEVELOPMENT PLAN
 EXHIBIT "C"
 STORMWATER BMP EXHIBIT

Date: 2-3-09
 Scale: 1"=20'
 Drawn: RAB
 Checked: DV
 Job: J08040
 Sheet

AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM CALTRANS FOR ANY CONSTRUCTION WORK TO OCCUR IN THE SOUTH 1st STREET RIGHT OF WAY

PROPOSED STREET PARKING
(E) STREET TREE, TREES TO REMAIN/BE REPLACED TO BE COORDINATE WITH CITY ARBORIST
(E) CITY TRASH RECEPTACLE
(E) CITY STREET LIGHTING

PROPOSED NEW CURB CUT FOR FIRE TRUCK ACCESS
(E) STREET LIGHT
(E) LAMP POST

BUS STOP (NO PARKING ZONE)

RETAIL TERRACE 1
720 SF

COMMERCIAL/RETAIL
NET 3,730 SF

COMMERCIAL/RETAIL
NET 1,626 SF

LOBBY
1,200 SF

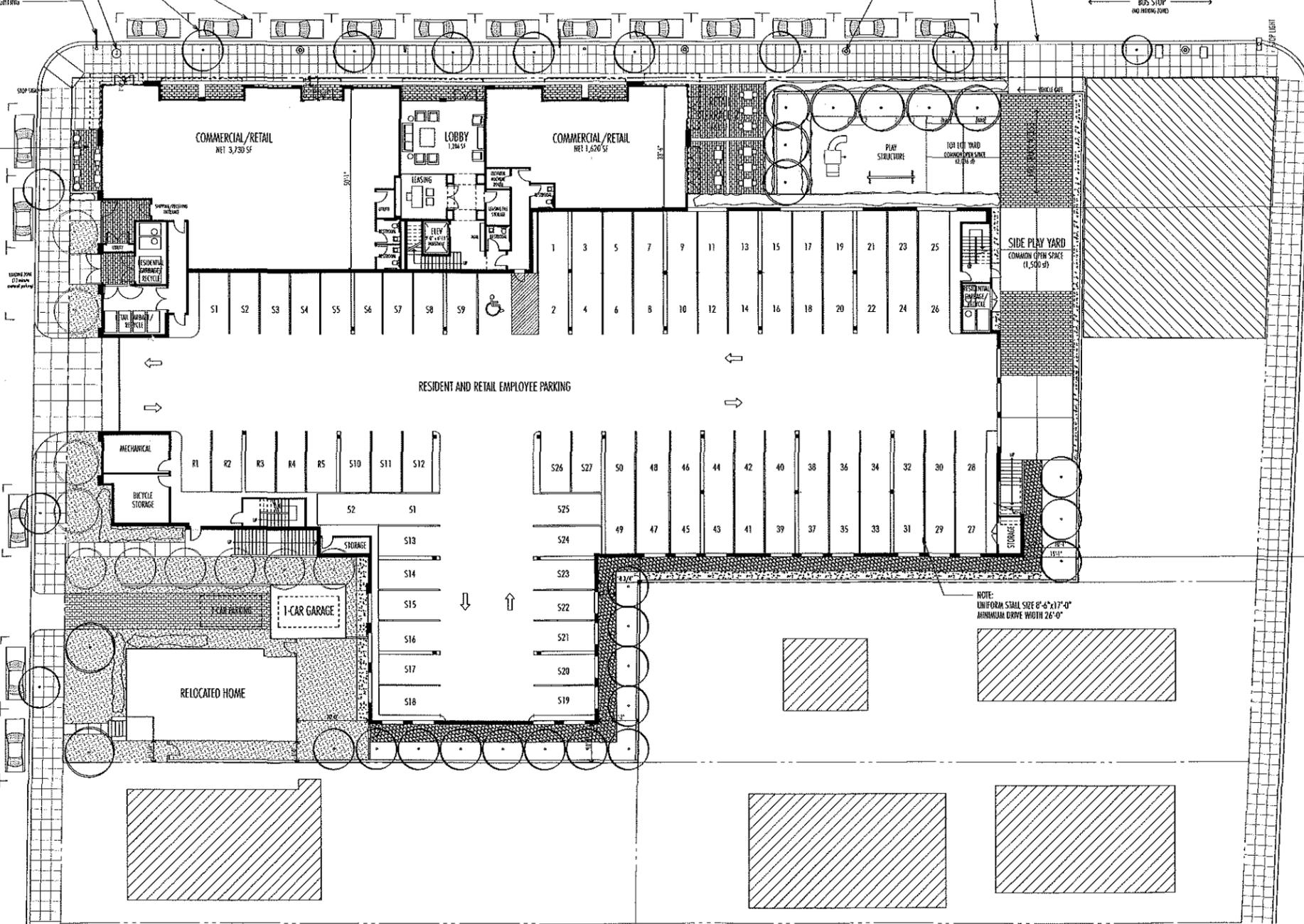
SIDE PLAY YARD
COMMON OPEN SPACE
(1,500 SF)

EDWARDS AVE

S. FIRST ST.

WILLOW STREET

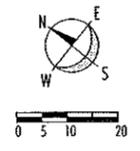
RESIDENT AND RETAIL EMPLOYEE PARKING



NOTE: UNIFORM STALL SIZE 6'-6" x 17'-0"
MINIMUM DRIVE WIDTH 26'-0"

CONCEPTUAL RETAIL/PARKING LEVEL PLAN

1/16" = 1'-0"



PARKING TABULATION

RESIDENTIAL PARKING REQUIRED (GARAGES)	
1 BEDROOMS	19 x 1.4 (non-hardens) = 26.4
2 BEDROOMS	26 x 2 (hardens) = 52
2 BEDROOMS	5 x 1.8 (non-hardens) = 9
50 UNITS	87.4 regular
	8.74 (10% Reduction)
	79 required, 75 provided

RESIDENTIAL PARKING REQUIRED (RELOCATED HOUSE)

1 STALL IN A PRIVATE GARAGE, 1 OR MORE STALLS AVAILABLE ON PRIVATE DRIVEWAY

COMMERCIAL PARKING REQUIRED

5,350 SF x .85 = 4,547 / 200 = 22.73 (10%) = 21 required
5 STALLS PROVIDED IN GARAGE, 17 STREET SPACES = 22 provided

1 UNASSIGNED HC STALL IN THE GARAGE

PRINTING

	DATE
PD ZONING SUBMITTAL SET	06/19/09
RESPONSE TO COMMENTS	10/20/09
RESPONSE TO 2nd COMMENTS	01/23/09
PD ZONING 2nd SUBMITTAL	03/23/09
PD ZONING 3rd SUBMITTAL	05/14/09

REVISIONS

	DATE

Conceptual Building Plan

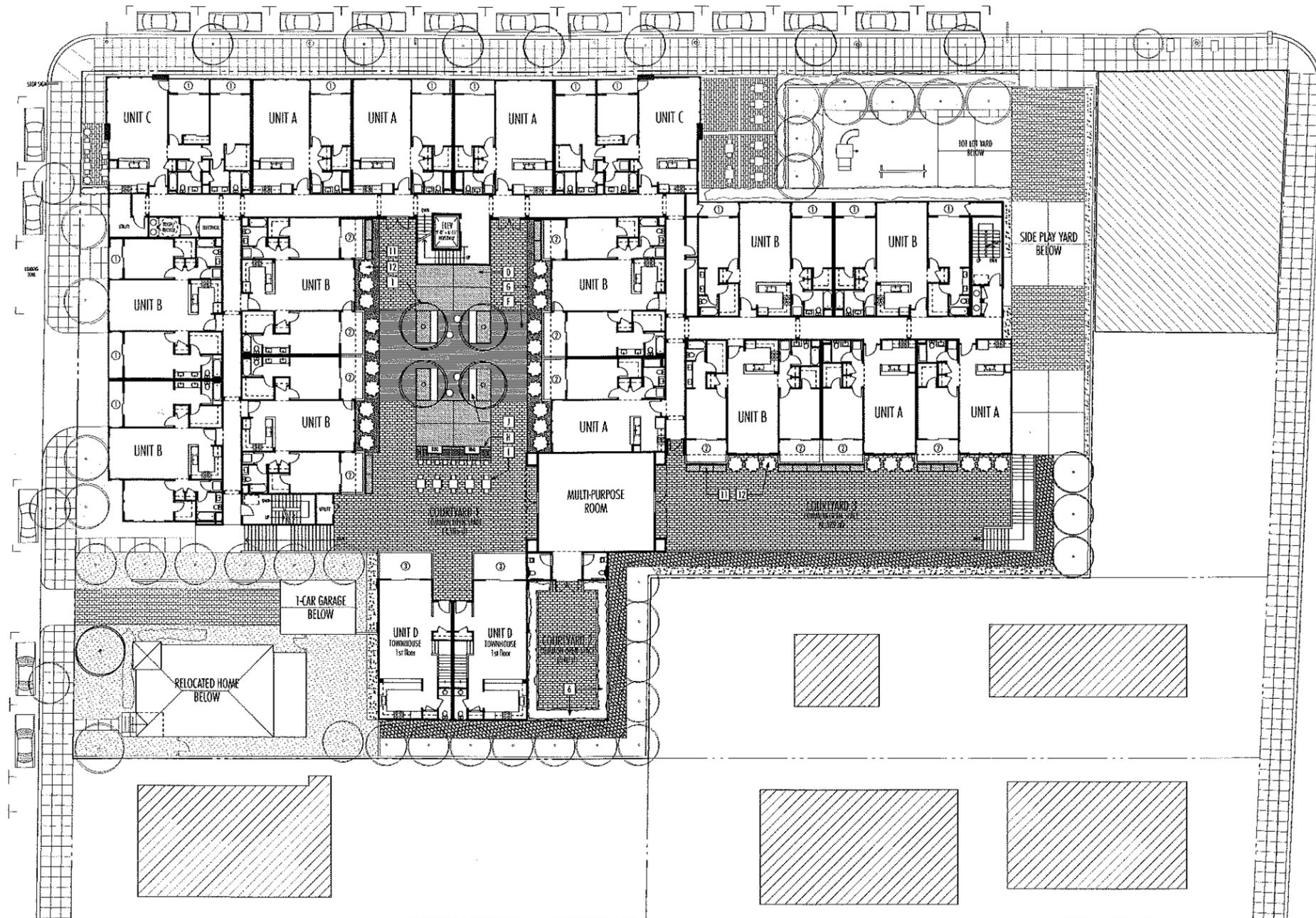
SCALE 1/16" = 1'-0"
JOB NO. 1st STREET, SJ - 0908

SHEET NUMBER **5a**

S. FIRST ST.

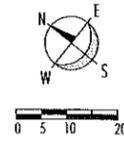
EDWARDS AVE

WILLOW STREET



2nd FLOOR/PODIUM LEVEL PLAN

1/16" = 1'-0"



CONCEPTUAL LANDSCAPE NOTES

- | | |
|--|------------------------------|
| 1] DECIDUOUS FLOWERING SHADE TREE MEDIUM HEIGHT
20'-30' HIGH, ± 20' WIDE SPREAD | A] CRUSHED GRAVEL |
| 2] DECIDUOUS FLOWERING SHADE TREE MEDIUM HEIGHT
20'-30' HIGH, ± 25' WIDE SPREAD | B] DECOMPOSED GRANITE MULCH |
| 3] GROVE OF SLENDER UPRIGHT ACCENT TREES | C] PERVIOUS PAVERS |
| 4] TALL SCREENING SHRUB, CLIPPED TO FORM CONTINUOUS
HEDGE, ± 6'-8' IN HEIGHT | D] SCORED COLORED CONCRETE |
| 5] LOW SHRUB FOUNDATION PLANTING | E] CONCRETE PAVEMENT PATTERN |
| 6] LOW FLOWERING SHRUB | F] DECKING MATERIAL |
| 7] TALL BAMBOO | G] ROCK BED |
| 8] LOW GROUND COVER | H] OUTDOOR COOKING COUNTER |
| 9] VINE ON WALL | I] PATIO FURNISHINGS |
| 10] VINE ON TRELLIS STRUCTURE | J] FIXED BENCH SEATING |
| 11] RECTANGULAR PLANTER BOXES | K] RECYCLED RUBBER MULCH |
| 12] ROUND PLANTERS | |

mak studio

Melendez and Koo Studio
1663 Mission Street, Ste 501 San Francisco, CA 94103
Tel: 415.861.5646 Fax: 415.861.5647

CONSULTANTS
ARCHITECTURE
7751 EL CAMINO REAL
PALO ALTO, CALIFORNIA 94306
PH (650) 326-0440
FX (650) 326-0540

CONSTRUCTION ENGINEERS
ENGINEERS AND ARCHITECTS, INC.
1630 OAKLAND ROAD, SUITE 4114
SAN JOSE, CALIFORNIA 95131
PH (408) 453-1222
FX (408) 453-1207

LANDSCAPE ARCHITECTURE
PDA DESIGN
448 17th STREET
OAKLAND, CA 94612
PH (510) 465-1204
FX (510) 465-1254

So. 1st Street, San Jose
GENERAL DEVELOPMENT PLAN
EXHIBIT C

STAMP

PRINTING	DATE
PRELIMINARY SUBMITTAL SET	06/19/08
RESPONSE TO COMMENTS	10/20/08
RESPONSE TO 2nd COMMENTS	01/23/09
PRELIMINARY 2nd SUBMITTAL	03/23/09
PRELIMINARY 3rd SUBMITTAL	05/14/09

REVISIONS	DATE

Conceptual Building Plan

SCALE: 1/16" = 1'-0"
JOB NO. 1st STREET, S1 - 0908

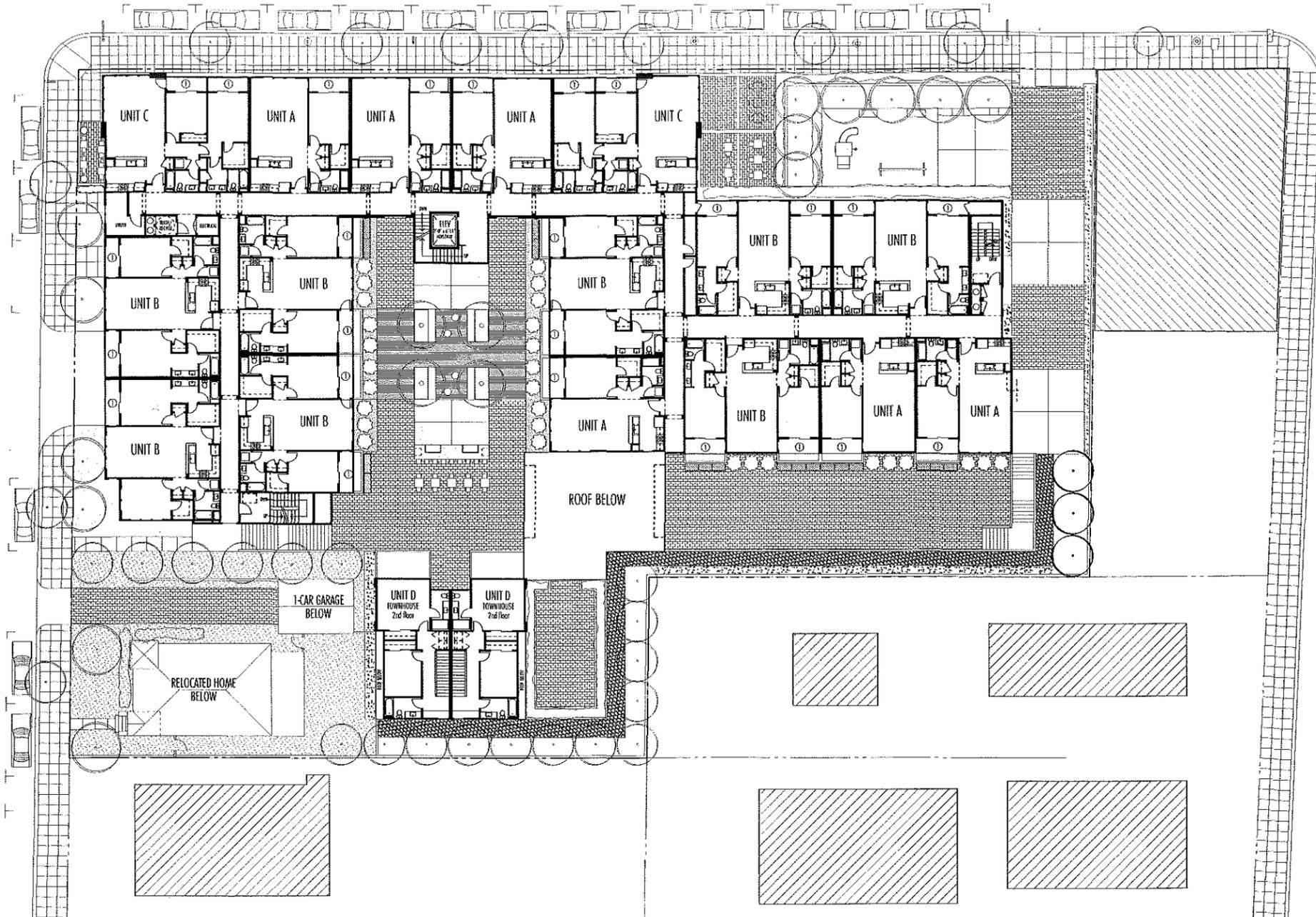
SHEET NUMBER

5b

S. FIRST ST.

EDWARDS AVE

WILLOW STREET



3rd FLOOR RESIDENTIAL PLAN

1/16" = 1'-0"



PRIVATE AND COMMON OPEN SPACE NOTES

① PRIVATE OPEN SPACE, APPROX. 4' X 11' OR 44sf	16	TYPICAL A UNIT	1 x ① = 44 sf PRIVATE OPEN SPACE
② PRIVATE OPEN SPACE, APPROX. 8' X 11' OR 88sf	3	COURTYARD A UNIT	1 x ② = 66 sf PRIVATE OPEN SPACE
③ PRIVATE OPEN SPACE, APPROX. 14'-6" X 7'-3" OR 105sf	17	TYPICAL B UNIT	2 x ① = 88 sf PRIVATE OPEN SPACE
	4	COURTYARD B UNIT	2 x ② = 132 sf PRIVATE OPEN SPACE
	2	CORNER B UNIT	1 x ① = 44 sf PRIVATE OPEN SPACE
	6	TYPICAL C1 UNIT	2 x ① = 88 sf PRIVATE OPEN SPACE
	2	TOWNHOUSE D UNIT	1 x ③ = 105 sf PRIVATE OPEN SPACE
	1	RELOCATED HOUSE, HAS FULL FRONT AND REAR YARDS	
	51	TOTAL UNITS	

COMMON OPEN SPACES INCLUDE:
 TOT LOT YARD = 2,036 sf
 SIDE PLAY YARD = 1,500 sf
 COURTYARD 1 = 4,585 sf
 COURTYARD 2 = 540 sf
 COURTYARD 3 = 2,225 sf
 10,990 sf

mak studio

Melendez and Kuo Studio
 1463 Mission Street Ste 501 San Francisco, CA 94103
 tel : 415.861.5646 fax: 415.861.5641

CONSULTANTS
ARCHITECTS
 ANDREY ENGINEERS
 2795 EL CAMINO REAL
 FOLSOM, CALIFORNIA 94308
 PH (925) 276-0400
 FX (925) 326-0140
CIVIL/SURVEYING ENGINEERS
 UNDERWOOD AND WISENBERG, INC.
 1830 OAKLAND ROAD, SUITE A114
 SAN JOSE, CALIFORNIA 95131
 PH (408) 453-1222
 FX (408) 453-1207
LANDSCAPE ARCHITECTS
 PMA DESIGN
 444 17th STREET
 OAKLAND, CA 94612
 PH (510) 465-1284
 FX (510) 465-1256

So. 1st Street, San Jose
 GENERAL DEVELOPMENT PLAN
 EXHIBIT C

STAMP

PRINTING	DATE
PD ZONING SUBMITTAL SET	05/19/08
RESPONSE TO COMMENTS	10/20/08
RE SPONSE TO 2nd COMMENTS	01/23/09
PD ZONING 2nd SUBMITTAL	03/23/09
PD ZONING 3rd SUBMITTAL	05/14/09

REVISIONS

REVISIONS	DATE

Conceptual Building Plan

SCALE 1/16" = 1'-0"
 JOB NO. 1st STREET, SJ - 0808

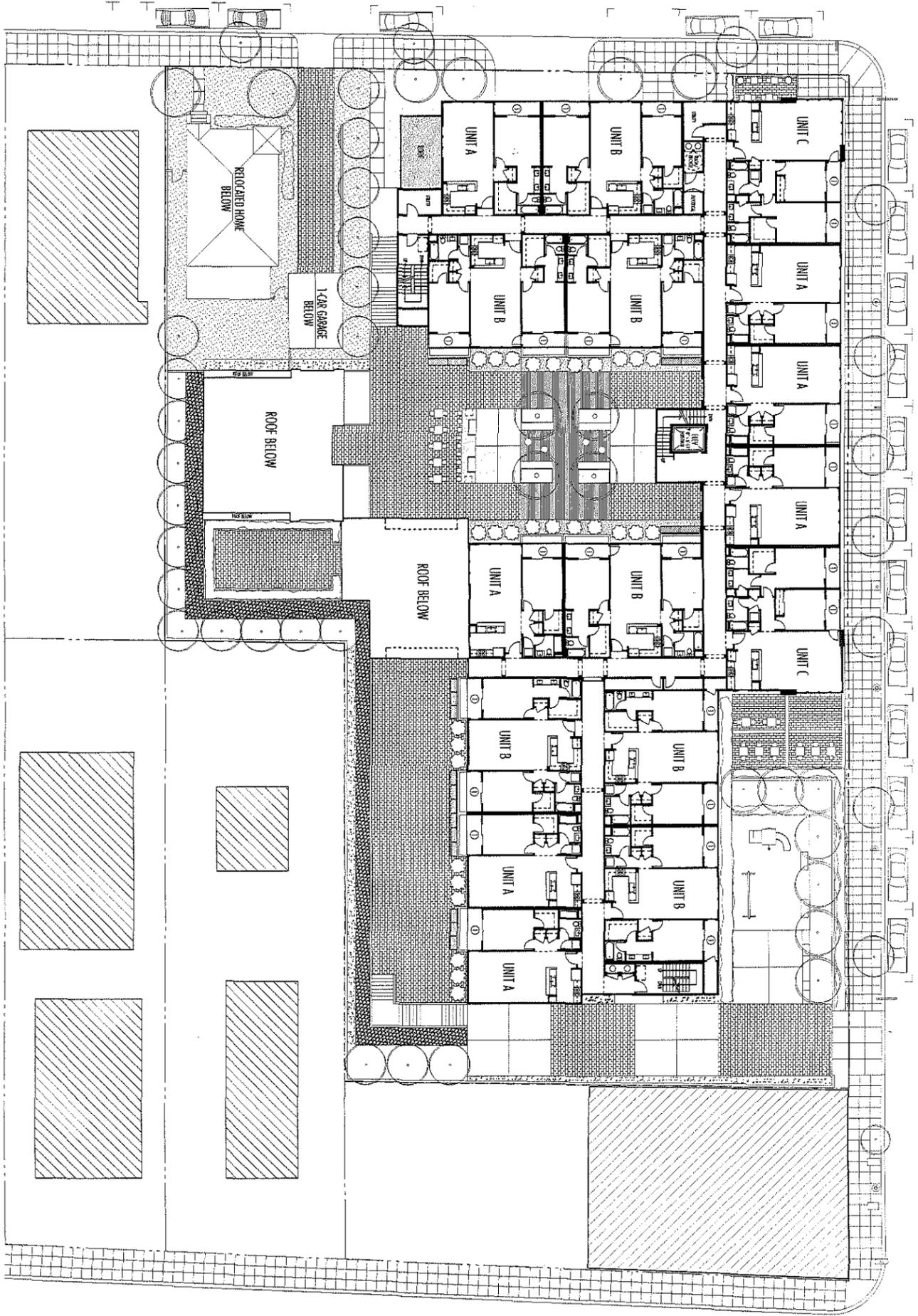
SHEET NUMBER

5c

S. FIRST ST.

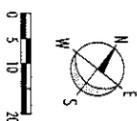
EDWARDS AVE

WILLOW STREET



4th FLOOR RESIDENTIAL PLAN

1/76" = 1'-0"



mak
studio

M. Landez and Kao Studio
1415 WOODS DRIVE, SUITE 501 SAN FRANCISCO, CA 94116
TEL: 415.398.2848 FAX: 415.398.2849

COMPONENTS

CONCEPTUAL ARCHITECTURE
2755 EL CAMINO REAL
FREMONT, CALIFORNIA 94538
PH: (925) 379-0148
FX: (925) 379-0150

ENVIRONMENTAL ENGINEERS
SUNSHINE AND DESIGN, INC.
3000 RIVERVIEW DRIVE, SUITE 100
SAN JOSE, CALIFORNIA 95131
PH: (408) 453-7272
FX: (408) 453-7022

LANDSCAPE ARCHITECTS
SUNSHINE AND DESIGN, INC.
444 17th STREET
OAKLAND, CA 94612
PH: (510) 451-7244
FX: (510) 451-7124

So. 1st Street, San Jose
GENERAL DEVELOPMENT PLAN
EXHIBIT C

REVISION	DATE
IN PLANNING CONSULTING, 501	04/17/08
REVISIONS TO CONCEPTS	10/20/08
REVISIONS TO PLANS/DETAILS	01/22/09
REVISIONS TO PLANS/DETAILS	02/23/09
REVISIONS TO PLANS/DETAILS	05/14/09

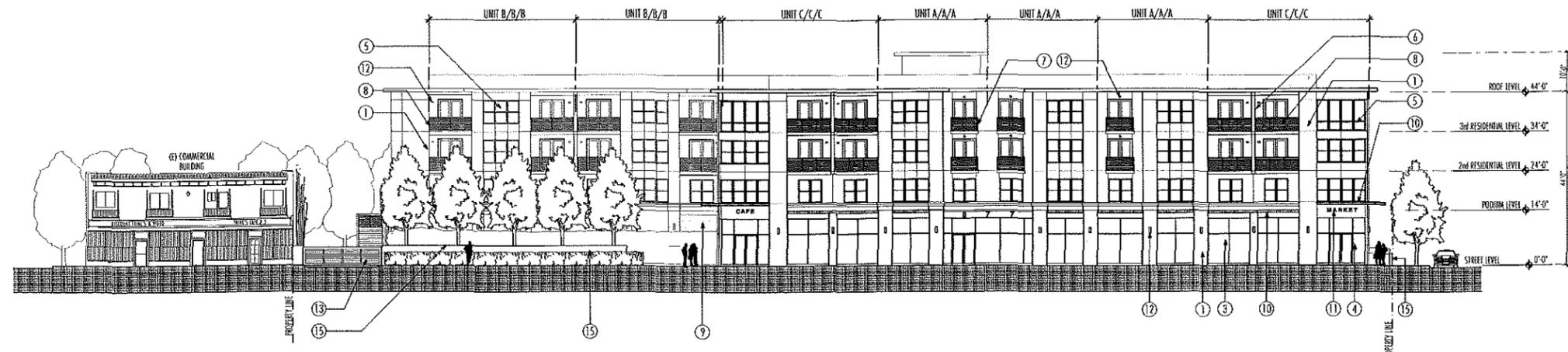
Conceptual Building Plan

SCALE: 1/76" = 1'-0"

JOB NO. 14-07001, S1 - 0808

SHEET NUMBER

5d



SOUTH FIRST STREET, NORTH-EAST ELEVATION SCALE: 1/16" = 1'-0"

3

- ① EXTERIOR CEMENT PLASTER FINISH
- ② METAL SPANDREL PANEL
- ③ ALUMINUM STOREFRONT WINDOWS
- ④ ALUMINUM STOREFRONT DOORS
- ⑤ ALUMINUM FRAME WINDOWS
- ⑥ METAL BALCONY EDGE BAND
- ⑦ METAL JULIET BALCONY
- ⑧ METAL GUARDRAIL
- ⑨ METAL SCREEN AT GARAGE OPENINGS
- ⑩ PAINTED METAL TRELLIS/AWNING
- ⑪ METAL SIGNAGE PER CONSULTANT
- ⑫ LIGHT FIXTURE
- ⑬ HORIZONTAL SLIDING FIRE TRUCK GATE
- ⑭ ROLL UP GARAGE ACCESS GATE
- ⑮ CEMENT PLASTER LANDSCAPE WALL
- ⑯ LANDSCAPE BENCH
- ⑰ LANDSCAPE PLANTER

mak studio

Melendez and Kao Studio
1643 Mission Street Ste 501 San Francisco, CA 94103
tel : 415.861.5648 fax: 415.861.5441

CONSULTANTS
ARCHITECT:
HUNTER ENGINEERS
2251 EL CAMINO REAL
PALO ALTO, CALIFORNIA 94306
PH (415) 326-0140
FX (415) 326-0540

CIVIL/SITEWORK ENGINEERS
UNDERWOOD AND ROSENBERG INC.
1630 OAKLAND ROAD, SUITE 1114
SAN JOSE, CALIFORNIA 95131
PH (408) 433-1222
FX (408) 433-1707

LANDSCAPE ARCHITECT:
TSA DESIGN
444 17th STREET
OAKLAND, CA 94612
PH (510) 465-1284
FX (510) 465-1254

So. 1st Street, San Jose
GENERAL DEVELOPMENT PLAN
EXHIBIT C

STAMP

PRINTING	DATE
PD ZONING SUBMITTAL SET	06/12/08
RESPONSE TO COMMENTS	10/20/08
RESPONSE TO 2nd COMMENTS	01/22/09
PD ZONING 2nd SUBMITTAL	03/23/09
PD ZONING 3rd SUBMITTAL	05/14/09

REVISIONS	DATE

Conceptual Roof Plan and Street Elevation

SCALE 1/16" = 1'-0"

JOB NO. 1st STREET, SJ - 0808

SHEET NUMBER

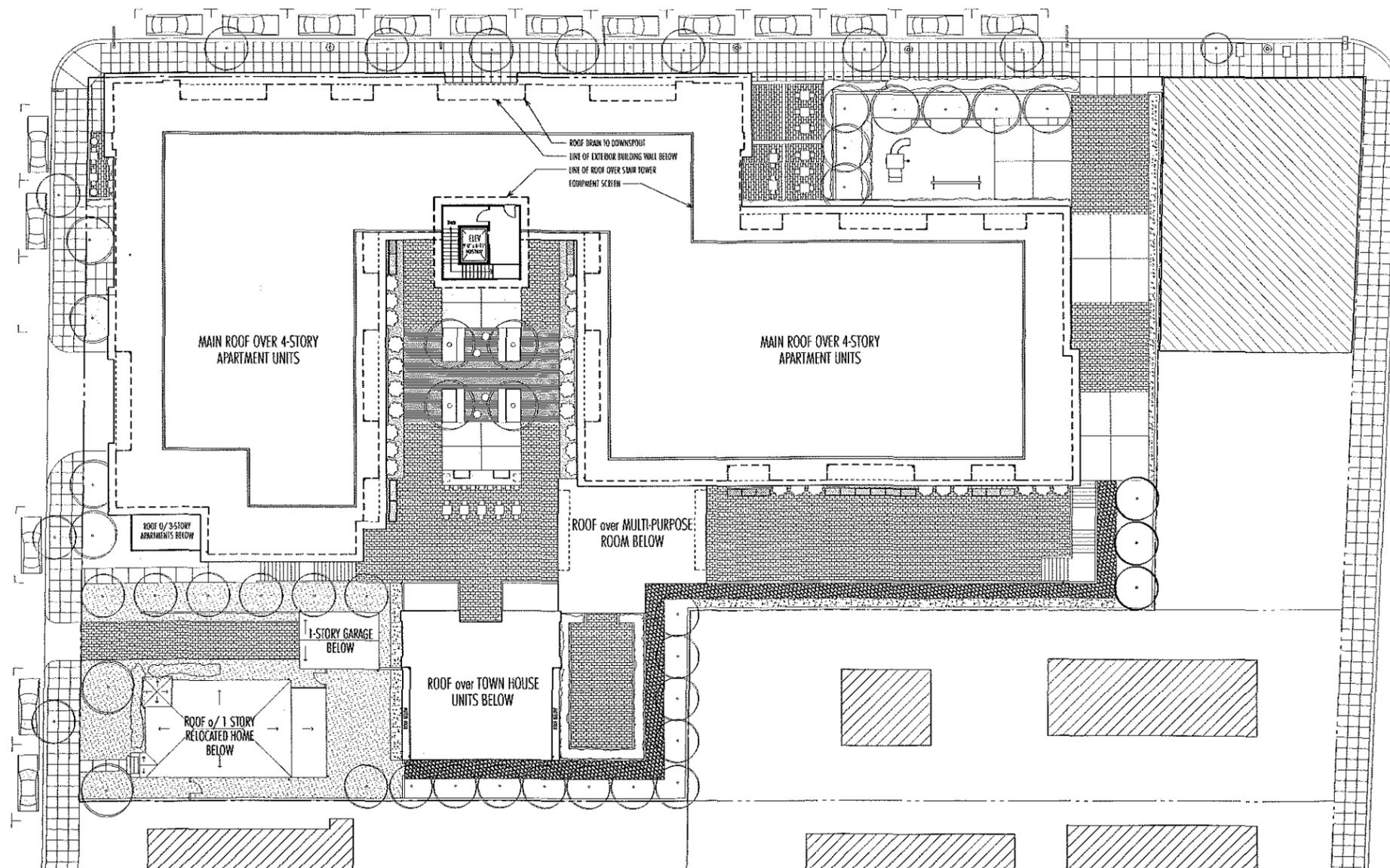
5e

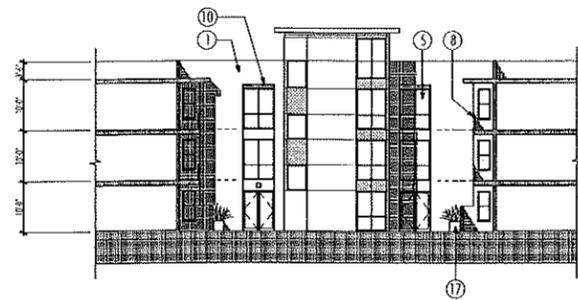
CONCEPTUAL ROOF PLAN SCALE: 1/16" = 1'-0"

1

EDWARDS AVE

WILLOW STREET

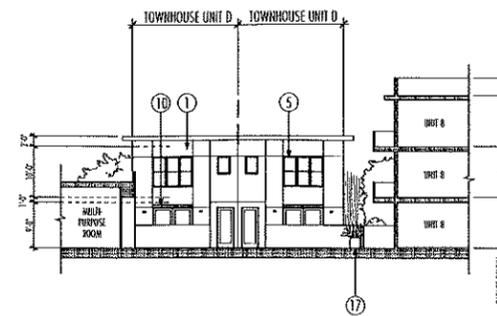




COURTYARD, SOUTH-WEST ELEVATION

SCALE: 1/16" = 1'-0"

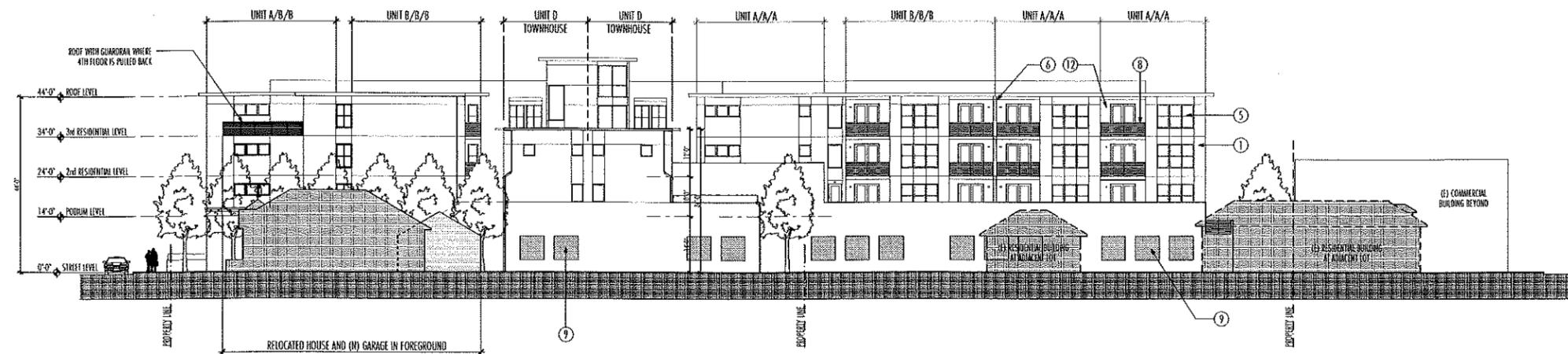
3



COURTYARD, NORTH-EAST ELEVATION

SCALE: 1/16" = 1'-0"

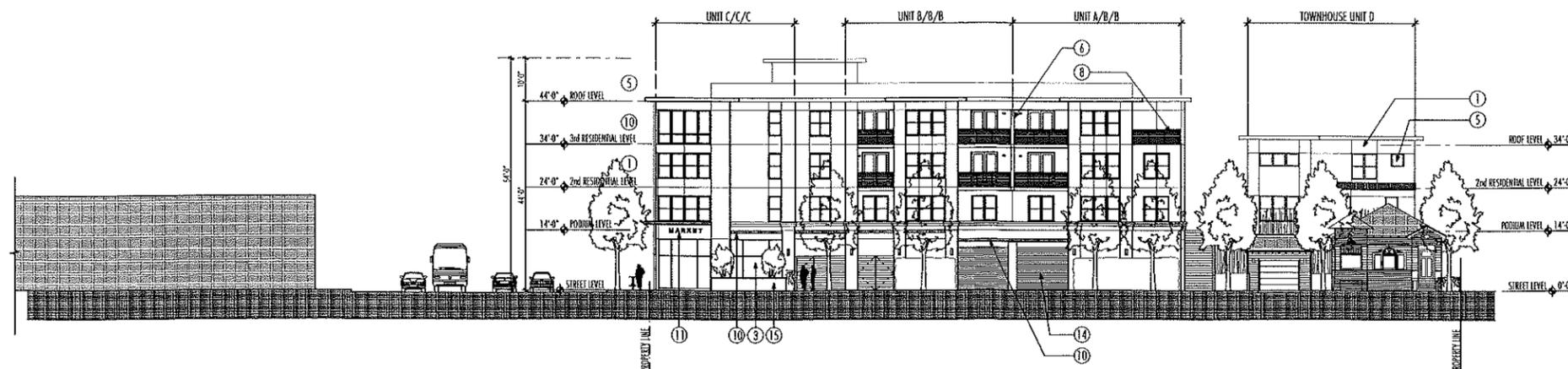
3



REAR ELEVATION, SOUTH-WEST ELEVATION

SCALE: 1/16" = 1'-0"

2



EDWARDS AVENUE, NORTH-WEST ELEVATION

SCALE: 1/16" = 1'-0"

1

- ① EXTERIOR CEMENT PLASTER FINISH
- ② METAL SPANDREL PANEL
- ③ ALUMINUM STOREFRONT WINDOWS
- ④ ALUMINUM STOREFRONT DOORS
- ⑤ ALUMINUM FRAME WINDOWS
- ⑥ METAL BALCONY EDGE BAND
- ⑦ METAL JULIET BALCONY
- ⑧ METAL GUARDRAIL
- ⑨ METAL SCREEN AT GARAGE OPENINGS
- ⑩ PAINTED METAL TRELLIS/RAMMING
- ⑪ METAL SIGNAGE PER CONSULTANT
- ⑫ LIGHT FIXTURE
- ⑬ HORIZONTAL SLIDING FIRE TRUCK GATE
- ⑭ ROLL UP GARAGE ACCESS GATE
- ⑮ CEMENT PLASTER LANDSCAPE WALL
- ⑯ LANDSCAPE BENCH
- ⑰ LANDSCAPE PLANTER

mak studio

Melendez and Koo Studio
7663 Mission Street Ste 501 San Francisco, CA 94110
tel : 415.861.5646 fax : 415.861.5647

CONSULTANTS
GEO/TECHNICAL
JULIUS ENGINEERS
2955 EL CAMINO REAL
PALO ALTO, CALIFORNIA 94304

PH (415) 326-6440
FX (415) 326-0540

CIVIL/SURVEYING ENGINEERS
UNDERWOOD AND ROSENBLUTH, INC.
1430 OAKLAND ROAD, SUITE A114
SAN JOSE, CALIFORNIA 95131

PH (408) 453-1227
FX (408) 453-1207

LANDSCAPE ARCHITECT
PGA DESIGN
444 17th STREET
OAKLAND, CA 94612

PH (510) 465-1284
FX (510) 465-1256

So. 1st Street, San Jose
GENERAL DEVELOPMENT PLAN
EXHIBIT C

STAMP

PRINTING	DATE
PD ZONING SUBMITTAL SET	05/19/08
RESPONSE TO COMMENTS	10/23/08
RESPONSE TO 2nd COMMENTS	01/23/09
PD ZONING 2nd SUBMITTAL	03/23/09
PD ZONING 3rd SUBMITTAL	05/14/09

REVISIONS	DATE

**Conceptual Building
Exterior Elevations**

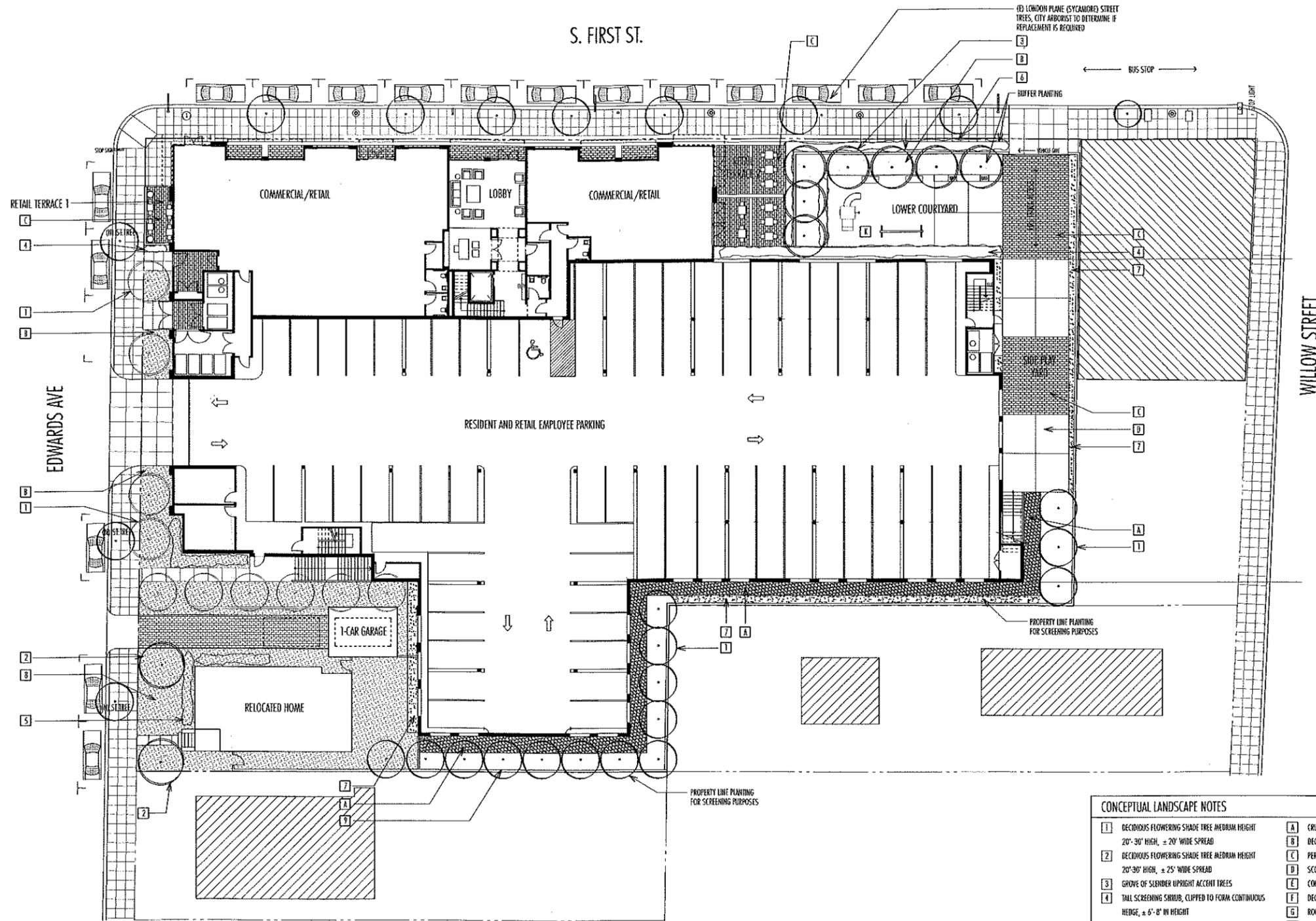
SCALE 1/16" = 1'-0"

JOB NO. 1st STREET, SJ - 0808

SHEET NUMBER

5f

So. 1st Street, San Jose
GENERAL DEVELOPMENT PLAN
EXHIBIT C



CONCEPTUAL LANDSCAPE NOTES

1 DECIDUOUS FLOWERING SHADE TREE MEDIUM HEIGHT 20'-30" HIGH, ± 20' WIDE SPREAD	A CRUSHED GRAVEL
2 DECIDUOUS FLOWERING SHADE TREE MEDIUM HEIGHT 20'-30" HIGH, ± 25' WIDE SPREAD	B DECOMPOSED GRANITE MULCH
3 GROVE OF SLENDER UPRIGHT ACCENT TREES	C PERVIOUS PAVERS
4 TALL SCREENING SHRUB, CLIPPED TO FORM CONTINUOUS HEDGE, ± 6'-8" IN HEIGHT	D SCORED COLORED CONCRETE
5 LOW SHRUB FOUNDATION PLANTING	E CONCRETE PAVEMENT PATTERN
6 LOW FLOWERING SHRUB	F DECKING MATERIAL
7 TALL GRASS/DOO	G ROCK BED
8 LOW GROUND COVER	H OUTDOOR COOKING COUNTER
9 VINE ON WALL	I PAVED FURNISHINGS
10 VINE ON TRELLIS STRUCTURE	J FIXED BENCH SEATING
11 RECTANGULAR PLANTER BOXES	K RECYCLED RUBBER MULCH
12 ROUND PLANTERS	

NOTE: STREET TREES TO BE MAINTAINED BY THE PROPERTY OWNER/PROPERTY MANAGEMENT.

CONCEPTUAL LANDSCAPE ARCHITECTURAL PLAN
1/16" = 1'-0"

REVISIONS

DATE	DESCRIPTION
06/19/08	PP ZONING SUBMITTAL SET
10/20/08	RESPONSE TO COMMENTS
01/23/09	RESPONSE TO 2ND COMMENTS
03/23/09	PP ZONING 2ND SUBMITTAL
05/14/09	PP ZONING 3RD SUBMITTAL

Conceptual Landscape Architectural Plan

SCALE 1/16" = 1'-0"
JOB NO. 1st STREET, SJ - 0808

