

REVISED
STAFF REPORT
CITY COUNCIL

FILE NO.: PDC12-011

Submitted: June 7, 2012

PROJECT DESCRIPTION:

Conforming Planned Development Rezoning from A(PD) to A(PD) Planned Development Zoning District to amend the Development Standards to allow for an above ground parking configuration on the subject 1.73 gross acre site.

Zoning	A(PD) Planned Development
Proposed Zoning	A(PD) Planned Development
General Plan	Combined Industrial/ Commercial
Council District	7
Annexation Date	September 13, 1956 (Monterey Park No. 13-A)
SNI	NA
Historic Resource	NA
Redevelopment Area	NA

LOCATION:

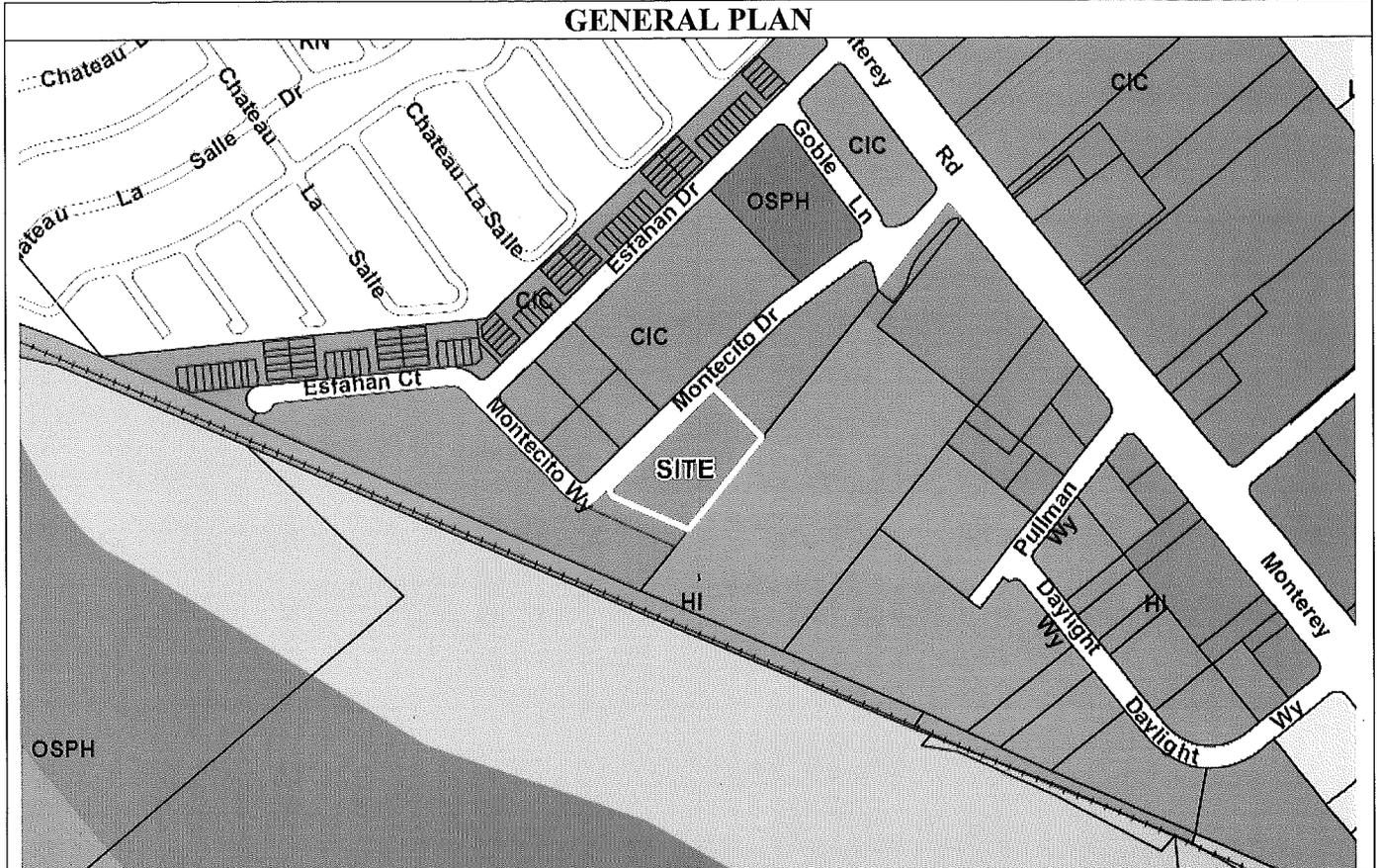
South side of Montecito Vista Drive, approximately 800 Feet westerly of Monterey Road.

Aerial Map

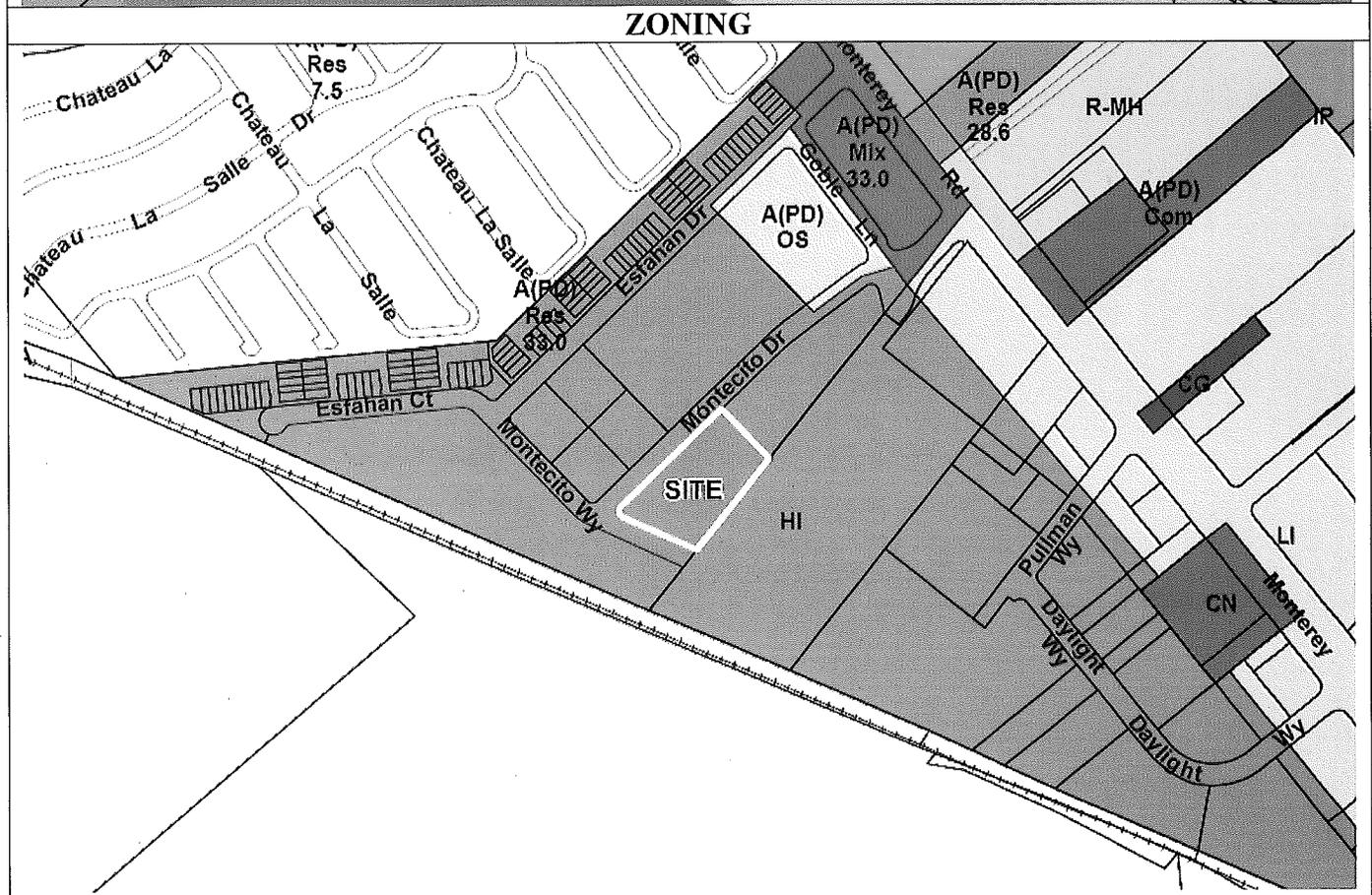
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GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends that the City Council find that the project is in conformance with the California Environmental Quality Act (CEQA) and approve the proposed Conforming Planned Development Rezoning on the subject site for the following reasons:

1. There is no substantial evidence that the project will have a significant effect on the environment. Pursuant to the CEQA Guidelines, the proposed project is pursuant to or in furtherance of the Final Environmental Impact Report (EIR) for the Goble Lane PD Zoning Project (File No. PDC02-066) and does not involve new significant effects beyond those analyzed in this Final EIR.
2. The proposed Conforming Planned Development Rezoning is consistent with the goals and policies of the Envision San Jose 2040 General Plan, specifically:
 - a. Implementation Policy IP-1.4 states that the implementation of existing planned development zonings and/or approved and effective land use entitlements, which were previously found to be in conformance with the General Plan prior to its comprehensive update, are considered as being in conformance with the Envision General Plan; and
 - b. The project is consistent with Goal H-1 Housing – Social Equity and Diversity as the project will increase the housing stock of San Jose at a high density.

BACKGROUND & DESCRIPTION

On June 7, 2012, the applicant, ROEM Development, applied for a Conforming Planned Development Rezoning on the subject 1.73 gross acre site to go from the A(PD) Planned Development Zoning District to the A(PD) Planned Development Zoning District to amend the approved Development Standards in order to allow for an above ground parking configuration.

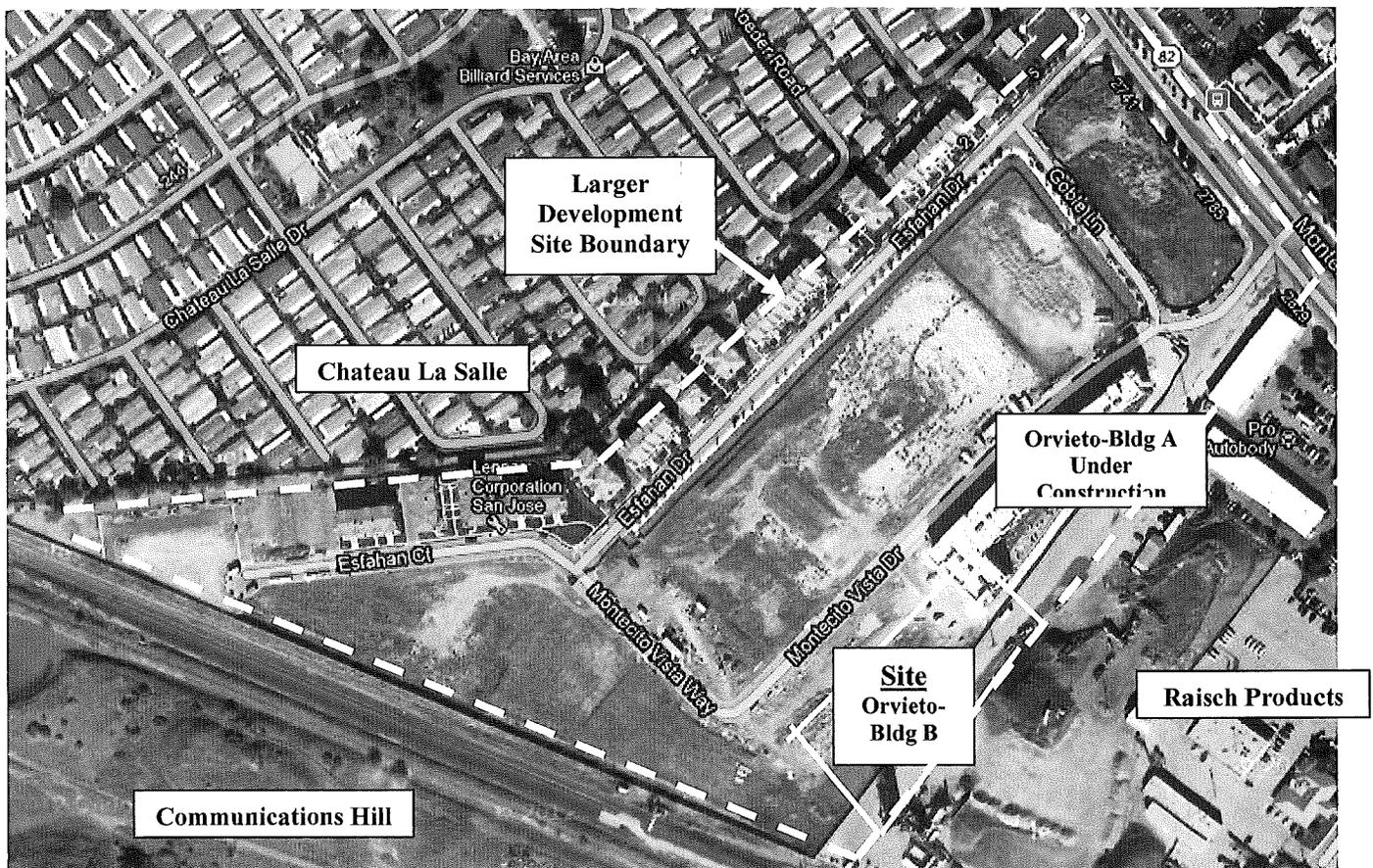
The City Council approved the original Planned Development Zoning for the larger development site in August 2005 (File No. PDC02-066), that allowed for a phased development of 18,000 square feet of commercial retail (fronting Monterey Road), a two-acre public park, and up to 969 residential units (approximately 33 DU/AC). A subsequent Planned Development Rezoning (File No. PDC06-034) was approved in October of 2006 to allow modifications to the park dedication agreement and to allow a change in residential product types on a portion of the site. Another rezoning was approved in 2008 (File No. PDC08-032) that allowed for a modification to the Development standards in order to reduce the required parking for senior housing, modify setbacks to allow underground parking to extend to a minimum of 5' from the southern property line, and add a minimum square footage for commercial uses of 17,500 square feet.

The applicant is requesting a rezoning for the subject site only, and not the entire larger development site. The request is being made to revise the Development Standards to (1) set the maximum number of residential units on the site to 106 units, which at the time of application submittal, 100 units were identified, but subsequent changes in unit layout added 6 units to that original request, and (2) to allow for an on-grade podium parking garage for a residential

development. Currently, the Development Standards state that the top of garage podium slab shall be no more than 5 feet above finished grade; which means that any parking garage would be mostly submerged into the ground.

Site and Surrounding Uses

The subject site is relatively flat land and partially developed with multi-family residential units contemplated under original zoning. The subject site is located in the northeast portion of the Communications Hill Planned Community west of Monterey Road, east of the Union Pacific Railroad tracks, south of the Chateau La Salle Mobile Home Park, and north of the existing Raisch Products asphalt/concrete plant.



ANALYSIS

In 2005, when the original Planned Development Zoning for the site was approved, staff had concerns regarding the architectural elements on the project and in order to provide a greater diversity in height included a requirement to submerge most of the podium parking structure. As the residential product type has changed over time and the number of units being constructed on the site has been reduced from the 150 units approved under Planned Development Permit File No. PD08-061 to 106 units, staff no longer has a concern over architectural articulation.

The proposed conforming rezoning was also analyzed with respect to: 1) conformance with the Envision San Jose 2040 General Plan and 2) the California Environmental Quality Act (CEQA) as discussed below.

Envision San Jose 2040 General Plan Conformance

The site has a Combined Industrial/Commercial land use designation on the San Jose 2040 General Plan. Properties with this land use designation are intended for commercial, office, or industrial developments or a compatible mix of these uses. This designation occurs in areas where the existing development pattern exhibits a mix of commercial and industrial land uses or in areas on the boundary between commercial and industrial uses. The existing approved mixed residential and commercial development, while a mix of compatible uses, is not consistent with this designation. However, the land uses and transportation facilities shown on the Land Use / Transportation Diagram do not, in all cases, reflect the existing zoning or use of individual properties, which is the case with the subject site.

The 2040 General Plan includes implementation policies for such an occurrence. Implementation Policy IP-1.4 states that the implementation of existing planned development zonings and/or approved and effective land use entitlements, which were previously found to be in conformance with the General Plan prior to its comprehensive update, are considered as being in conformance with the *Envision General Plan* when the implementation of such entitlements supports its goals and policies. Consistent with Implementation Policy IP-1.4, the Planned Development Zoning of the site was found to be consistent with its San Jose 2020 General Plan land use designation.

Prior to the adoption of the 2040 General plan, the site had a land use designation of High Density Residential/Commercial Mix (25-50 Dwelling Units per Acre) within the Communications Hill Planned Community. The existing Planned Development Zoning was found to be consistent with this designation as the project had an overall net density of approximately 33 dwelling units per acre and includes a minimum of 17,500 square feet of commercial uses along Monterey Road as called for in the Communications Hill Specific Plan.

The minor modification to the Development Standards for the zoning on the subject site and the implementation of the zoning itself supports the goals and policies of the San Jose 2040 General Plan in that it is a goal of the General Plan to provide housing throughout the City in a range of residential densities, especially at higher densities, and product types, including rental and for-sale housing, to address the needs of an economically, demographically, and culturally diverse population (Goal H-1 Housing – Social Equity and Diversity). With this Development Standard change, the developer will be able to move forward with developing a multi-family housing development at a high density of 57.8 dwelling units per acre consistent with this General Plan goal on the subject site.

California Environmental Quality Act (CEQA)

The City of San José has determined that the proposed rezoning is pursuant to or in furtherance of the Final Environmental Impact Report (EIR) for the Goble Lane Mixed Use Development Planned Development Rezoning Project (File No. PDC02-066), which findings were adopted by City Council Resolution No. 72877 on August 30, 2005. From a CEQA perspective, the subject

August 20, 2012

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project is the same as the original proposal and does not involve new significant effects beyond those analyzed in this Final EIR.

PUBLIC OUTREACH/INTEREST

In addition to the development proposal notification signage posted at the site, the property owners and occupants within a 1,000-foot radius were sent public hearing notices for the City Council hearing. This staff report has been posted on the City's web site. Staff has been available to discuss the proposal with interested members of the public.

Project Manager: Lesley Xavier **Approved by:** /s/ Salifu Yakubu **Date:** 08-14-12

Owner/Applicant:	Attachments:
Owner: City of San Jose Financing Authority	Development Standards Plan Set
Applicant: ROEM Development 1650 Lafayette Street Santa Clara, CA 95050	

FILE NO. PDC12-011
ORVIETO B
DEVELOPMENT STANDARDS
REVISED 8-14-12

In any cases where the graphic plans and text may differ, the text takes precedence.

Permitted Uses:

- Single-family Attached Residential
- Single-family Detached Residential
- Multi-family Attached Residential
- Public Park
- ~~Vertical Mixed Use Commercial / Retail with Residential above~~

Maximum Number of Residential Units: ~~400~~ 106

Size of Commercial/Retail Uses: — ~~17,500 to 18,000~~ square feet of commercial/retail space.

Allowable Commercial Uses:

Conform to the requirements of the CP Commercial Pedestrian Zoning District of Title 20 of the SJMC, as amended. Conditional Uses of the CP Commercial Pedestrian Zoning District shall require the issuance of a PD Permit or PD Permit Amendment.

Size of Public Park:

Contiguous park consistent with the requirements of the Parkland Dedication Ordinance. (See Turnkey Parkland Agreement #398272)

Maximum Height: 50 feet. Pursuant to the Communications Hill Specific Plan and approved General Plan Text Amendment (GPT02-07-04), up to 30% of each building footprint may exceed 50 feet and/or 4 stories. Such areas above 50 feet and/or 4 stories shall be non-habitable architectural features and may extend up to a maximum of 65 feet. Single-family attached units within 100' of Chateau LaSalle Development shall be limited to 35 feet.

Private Open Space:

- Multi-family Attached: 60 sq.ft. / unit (6 feet min. dimension)
- Single Family Attached: 100 sq.ft / unit (6 feet min. dimension)

Common Open Space:

- Multi-family Attached (podium): 100 sq.ft. / unit
- Multi-family Attached (mixed use): 0
- Single-family attached: 200 sq.ft. / unit

Parking Ratio Requirements:

Multi-Family Attached*: One Bedroom Senior unit = 0.7 space / unit
Reduced parking ratios for senior housing units that contain additional bedrooms may be considered through a Planned Development Permit based on further analysis at the discretion of the Director of Planning, Building, and Code Enforcement.

One Bedroom unit = 1.5 spaces / unit

Two Bedroom unit = 1.8 spaces / unit

Three or more Bedroom unit = 2.0 spaces / unit

Motorcycle Parking Ratio = 0.1 space / unit

Bicycle Parking/Storage = 0.1 space / unit

Parallel parking along private or public streets within the project site can be counted towards the required spaces, provided that such parking spaces are directly in front of the property.

Single Family Attached: 2.6 spaces/unit (two covered spaces per unit for residents, plus 0.6 space per unit for guests.)

Tandem garages are permitted as an alternative parking design.

Parallel parking along private or public streets within the project site can be counted towards the required spaces, provided that such parking spaces are directly in front of the property.

Mixed Use

Commercial Retail: Conform to the requirements of Title 20 of the SJMC, as amended. Ground floor office commercial space shall be counted as retail. This project shall allow an alternating parking arrangement whereby the commercial parking requirement, developed as part of a mixed-use commercial residential project, may be reduced by up to twenty percent (20%) if determined to be appropriate at the Planned Development Permit stage.

*Includes podium units and mixed use component units.

Minimum Perimeter Setbacks:

North (Chateau La Salle)	8 feet to side of building 15 feet to front or rear of building 8 feet to parking or drive
East (Monterey Road)	10 feet
South (Raisch)	25 feet to building above grade 5 feet below grade

West

(Southern Pacific Railroad) 25 feet to building

Internal Setbacks / Separations:

- Residential buildings (podium) from internal streets: 15 feet
- Residential buildings (townhouse) from internal streets: 15 feet
- Mixed use buildings from internal streets: 10 feet
- Minimum paseo width (distance between townhouse patios/decks): 20 feet.
- Parking areas from internal streets: 15 feet
- Minor architectural projections, such as chimneys and bay windows, may project into the building setback by no more than 2'-0" for a horizontal distance not to exceed 15'-0" in length.
- Stairs may extend up to 6 feet into the setback area.

Adjustment to setbacks: At the Planned Development Permit stage:

1. The modules along shared property line with Chateau la Salle shall be altered so that the building modules alternate with existing mobile homes.
2. A six foot sound wall shall be incorporated along the western side and an eight foot sound wall shall be incorporated along the southern property line. Sound walls should be heavily landscaped with flowers, quick growing vines, and 24-inch box trees. Staff to study noise, shading and dust in reference to the height and type of sound wall along the southern property line.

Adjustment to Street / Residential Parcel Locations:

The parcel acreages shown on the General Development Plan are generally accurate, as are the locations of the parcels and streets, however, minor shifting of the parcel/street locations may be necessary to accommodate new building types or other factors. Only minor shifts in the locations of residential parcel lines and/or street locations, each less than 10 feet in distance, would be permitted, and all approved setbacks and other development standards would still be applicable and enforceable, regardless of whether parcel dimensions change. The park area dedicated to the City can expand to a larger size (this area may shift more than 10 feet), however, it shall not be reduced to an area less than 2 acres. Any such adjustments to said locations would be subject to approval by the Director of Planning, Building, and Code Enforcement through a development permit.

GENERAL NOTES

Previously Approved Development Permits

The previously approved Planned Development Permits/Amendments, Files. No. PD05-077, PD06-062, and PDA06-062-01 remain in full force and effect unless modified by a Planned Development Permit/Amendment.

Water Pollution Control Plant Notice:

Pursuant to Part 2.75 of Chapter 15.12 of the San Jose Municipal Code, no vested right to a building permit shall accrue as the result of the granting of any land development approvals and applications

when and if the city manager makes a determination that the cumulative sewage treatment demand on the San Jose/Santa Clara Water Pollution Control Plant will cause the total sewage treatment demand to meet or exceed the capacity of the San Jose/Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the city by the State of California San Francisco Bay Regional Water Quality Control Board. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approving authority.

Construction Requirements:

1. Windows and walls shall conform to sound transfer requirements per City standards and subject to verification by a qualified engineer's sound studies.

Notification Requirements:

1. The developer is required to notify and disclose to future tenants (renters and buyers) regarding the presence of the neighboring rock crushing facility.
2. The developer is required to provide the above notice and maintain written evidence that each such notice was provided to the tenants so that the City can review them upon reasonable request.

Public Off-site Improvements:

All public off-site improvements shall be implemented to the satisfaction of the Director of Public Works. Prior to the issuance of building permits, the applicant shall be required to obtain a Public Works clearance (3-16147) as follows:

1. *Private Streets.* The plan set includes details of private infrastructure improvements. The details are shown for information only; final design shall require the approval of the Director of Public Works.
2. *Street Improvements*
 - a. Construct or contribute towards the construction of a second westbound left turn lane on Tully Road. This will include, but not be limited to, median island and traffic signal modification, restriping, and removal of the railroad tracks.
 - b. Extend or contribute towards the extension of the northbound left turn lanes on Monterey Road to 450 feet per lane. This will include, but not be limited to, median island modification and restriping.
 - c. Install a new traffic signal at the proposed southerly project entrance on Monterey Road.
3. *Median Island.* There is an existing median island on Monterey Road that is not landscaped. The Developer will be required to provide a Type I landscape median island on Monterey Road along the project frontage. If necessary, the project may also be required to replace the median curb if damaged or in poor condition.

Street Trees:

The Public right-of-way shall be planted with street trees as directed by the City Arborist.

Post-Construction Storm Water Treatment Controls:

The city's national pollutant discharge system (NPDES) permit compliance requires this project to incorporate post-construction mitigation measures to control the discharge of pollutants into the storm drainage system to the maximum extent practical. Planned development permit plans for this project shall include design details of all post construction storm water treatment controls proposed for the project to the satisfaction of the Director of Planning.

Park Impact Fees & Parkland Dedication Ordinance:

The applicant shall comply with the requirements of the Park Impact Ordinances, pursuant to Ordinance 24172 (Chapter 14.25 of Title 14 of the San Jose Municipal Code) and the project shall comply with the Parkland Dedication Ordinance.

Easements:

If and upon the approval of residential development to the south, the developer shall make an irrevocable offer of dedication for pedestrian and vehicular ingress/egress purposes at the location of the stub street as shown on the plan to the satisfaction of the Director of Planning.

Shared Access with Raisch Property:

The final location of a shared driveway and/or street with the adjacent Raisch property shall be determined at the Planned Development Permit stage to satisfaction of the Directors of Planning and Public Works.

Mobile Home Park Closure:

This project shall comply with all requirements identified in Title 20 of the SJMC related to the conversion of mobile home parks as applicable.

Tree Preservation and Removal:

Trees proposed for removal shall be mitigated as follows:

1. 18"+ diameter trees shall be replaced at a 4:1 ratio with 24-inch box trees.
2. 12"-18" diameter trees shall be replaced at a 2:1 ratio with 24 inch box trees.
3. Less than 12" diameter trees shall be replaced at a 1:1 ratio with 15-gallon trees.

Environmental Mitigation:

The Environmental issues and Mitigation Measures are as follows:

1. *Vegetation and Wildlife.* Preconstruction surveys shall be conducted no more than 30 days prior to the start of site grading. If breeding owls or other raptors are located on or immediately adjacent to the site, a construction-free buffer zone (typically 250 feet) around the active burrow or nest tree shall be established for the duration of breeding until young birds have fledged. If owls or other raptors are resident during the non-breeding season (September to January), the project developer shall be responsible for ensuring that a qualified ornithologist in consultation with the California Department of Fish and Game, certifies that measures to avoid harm to the birds are taken prior to grading or tree removal.
2. *Hazardous Materials.* Soil identified as contaminated with lead, diesel, motor oil, and/or benzene at concentrations above established residential thresholds shall be excavated to a

depth where clean soil is known to occur (no more than five feet below the ground surface) and the contaminated soil shall be hauled off-site and disposed of at a licensed hazardous materials disposal site. Building permits will not be issued until all contaminated soil is removed from the project site.

3. *Air Quality – Construction Impacts.* The following dust control measures shall be implemented during all demolition and construction phases: (1) watering shall be used to control dust generated during demolition of structures and break-up of pavement, (2) use dust-proof chutes to load debris into trucks; (3) water all active construction areas at least twice daily, (4) water or cover stockpiles of debris, soil, sand or other materials that can be blown by the wind, (5) cover all trucks hauling soil, sand, demolition debris, and other loose materials or require all trucks to maintain at least two feet of freeboard, (6) pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites, (7) sweep daily (with water sweepers) all paved access roads, parking areas and staging areas at construction sites, (8) sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets, (9) hydroseed or apply non-toxic soil stabilizers to inactive construction areas, (10) enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.), (II) limit traffic speeds on unpaved roads to 15 mph, (12) install sandbags or other erosion control measures to prevent silt runoff to public roadways, and (13) replant vegetation in disturbed areas as quickly as possible.
4. *Noise.* This project shall comply with the noise recommendations identified in the acoustical report prepared for the project noise to the satisfaction of the Director of Planning. Additionally, building sound insulation requirements shall include the provision of forced-air mechanical ventilation for all new units, so that windows could be kept closed at the occupant's discretion to control noise.
5. *Utilities and Service Systems – Water Supply.* As required by SB 610 (2001), codified at Water Code section 10910 *et seq.*, the City has considered information relating to the water supply for the Project, and finds as follows:
6. *Recycling.* Scrap construction and demolition material shall be recycled. Integrated Waste Management staff can provide assistance on how to recycle construction and demolition debris from the project, including information on available haulers and processors.



APPLICANT
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 CIVIL ENGINEER:

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 SUITE 650
 SAN JOSE, CA 95110
 408-427-9100
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 LANDSCAPE ARCHITECT:
 MJS DESIGN GROUP, INC.

ORVIATO B

SOUTHWEST CORNER OF MONTECITO VISTA DRIVE & MONTECITO VISTA WAY
 SAN JOSE, CA
 PLANNED DEVELOPMENT ZONING

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DEVELOPMENT SCHEDULE

BEGINNING	NOVEMBER 2012
COMPLETION	MAY 2014

STATEMENTS AND TABLES

APN:	455-09-065
PROPOSED USE:	100 APARTMENTS
ACREAGE:	1.73 ACRES
DENSITY:	57.8 DU/AC
BUILDING FOOTPRINT:	56,500 SF (75%)
LANDSCAPE AREA:	32,000 SF (42%) INCLUDES PODIUM DECK

UNIT SUMMARY			
	TYPE	AREA	# OF UNITS
PLAN 1	(1 BDR/1 BA)	±650 SF	29
PLAN 2	(2 BDR/2 BA)	±870 SF	71
TOTAL			100

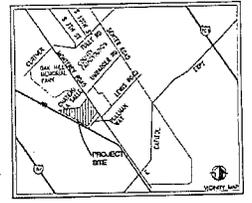
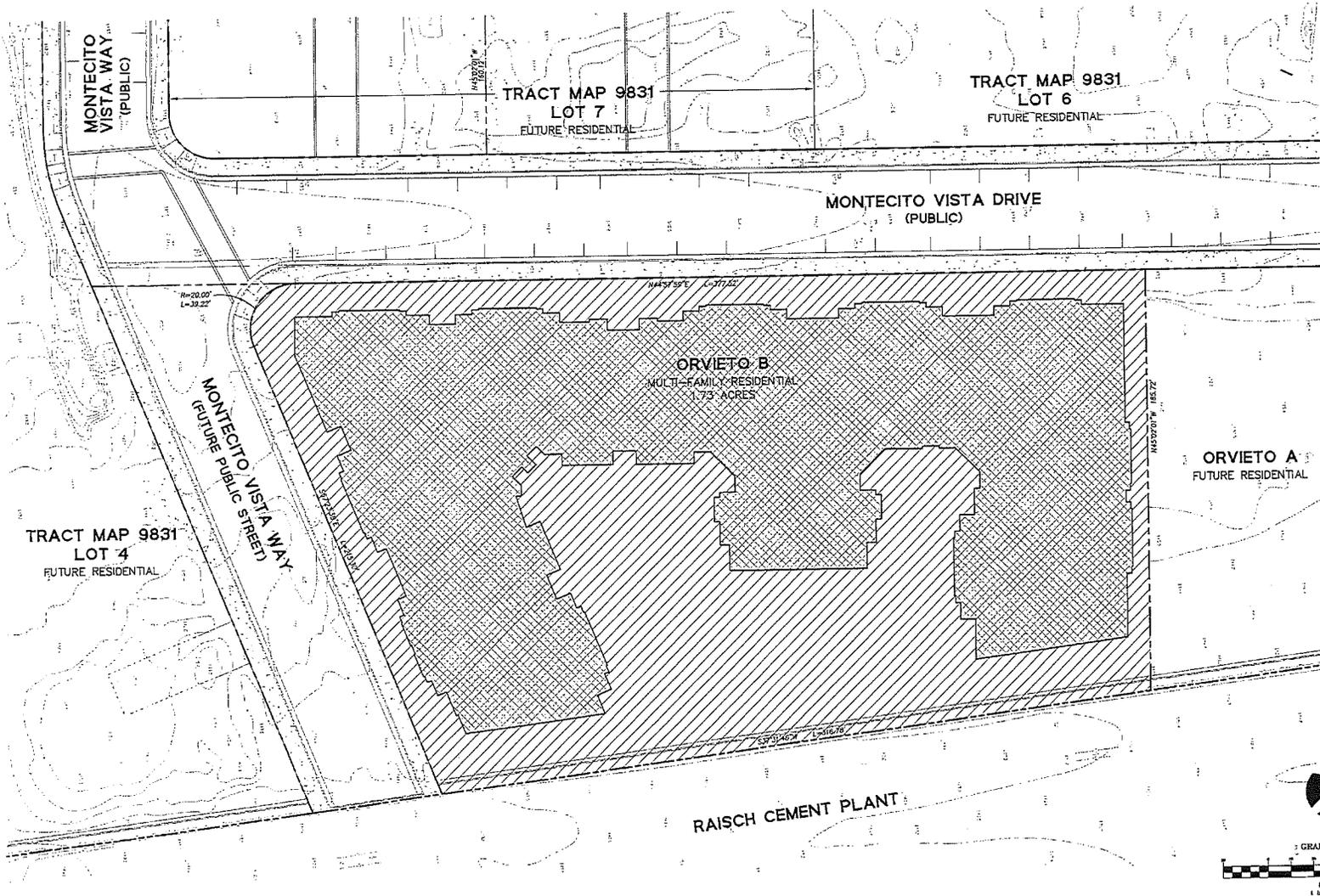
PARKING SUMMARY		
SQUARE FOOTAGE	AREA	
REQUIRED:	56,500 SF	
1 BD (STNDRD) 29 x 1.5:		43.5 SPACES
2 BD (TANDEM) 71 x 2		142 SPACES
TOTAL		186 SPACES
PROVIDED:		
STANDARD SPACES		40 SPACES
TANDEM SPACES		142 SPACES
STREET PARKING		±12 SPACES
TOTAL		±194 SPACES

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TITLE SHEET
 SAN JOSE, CA
 K T G Y JOB # 2011-0455 7.19.2012
 File Number - PDC12-011

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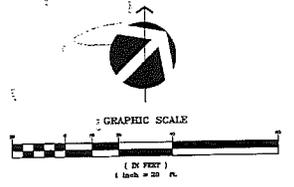




VICINITY MAP

LAND USE LEGEND

SYMBOL	USE	AREA (SQ. FT.)
	MULTI-FAMILY	41,600
	OPEN SPACE	33,600



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MONTECITO Vista
 2723-2745 MONTEREY ROAD
 SAN JOSE 95111, CA

rev.	date	issue
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project no: 050508 date: 03.23.12
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 LAND USE PLAN
 ORVIETO B
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PDC12-011

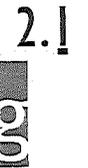
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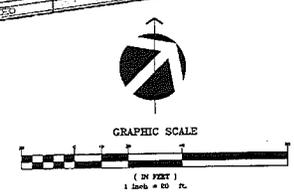
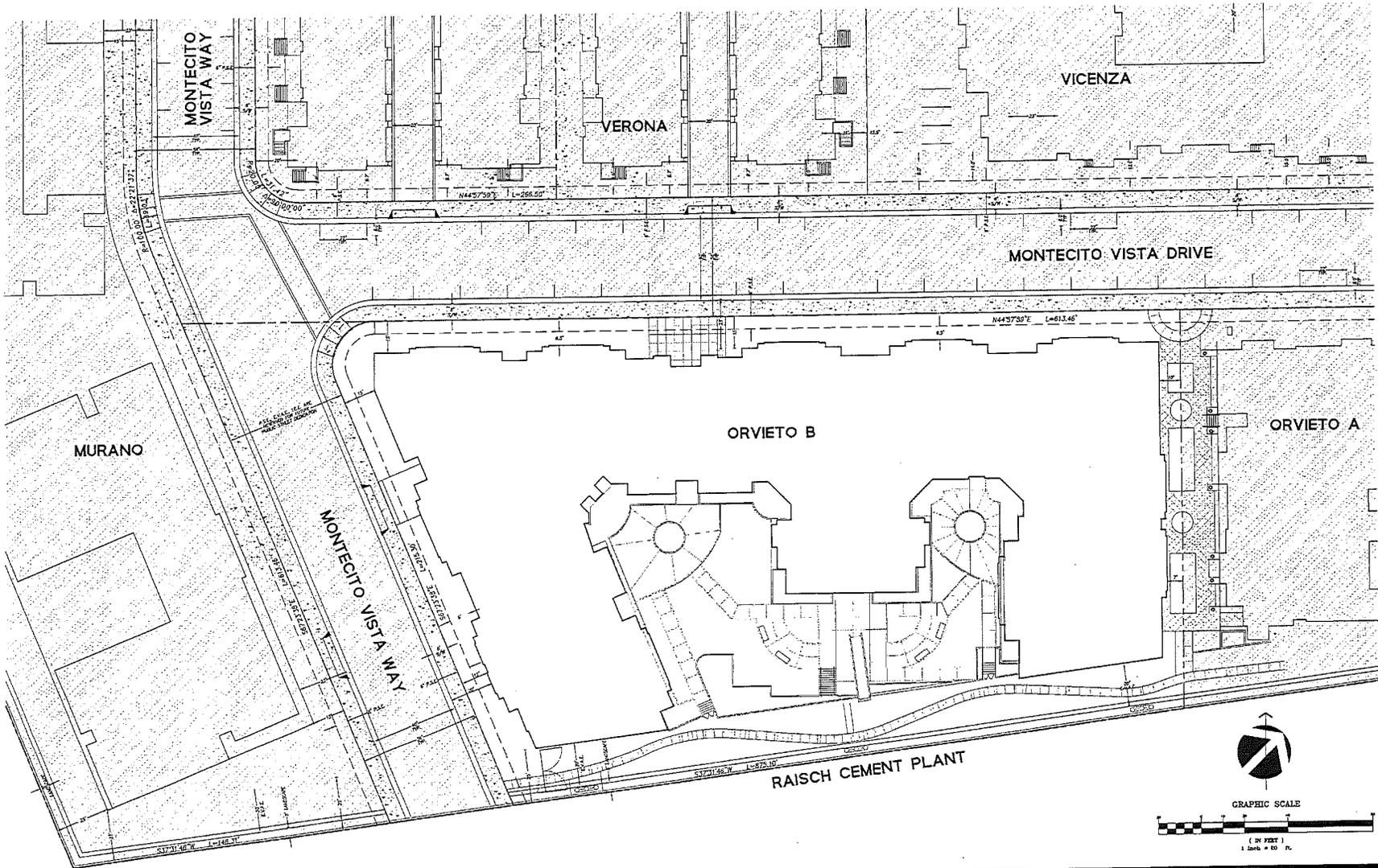
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DEVELOPMENT STANDARDS

SAN JOSE, CA
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File Number - PDC12-011

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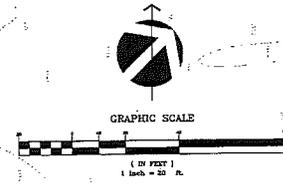
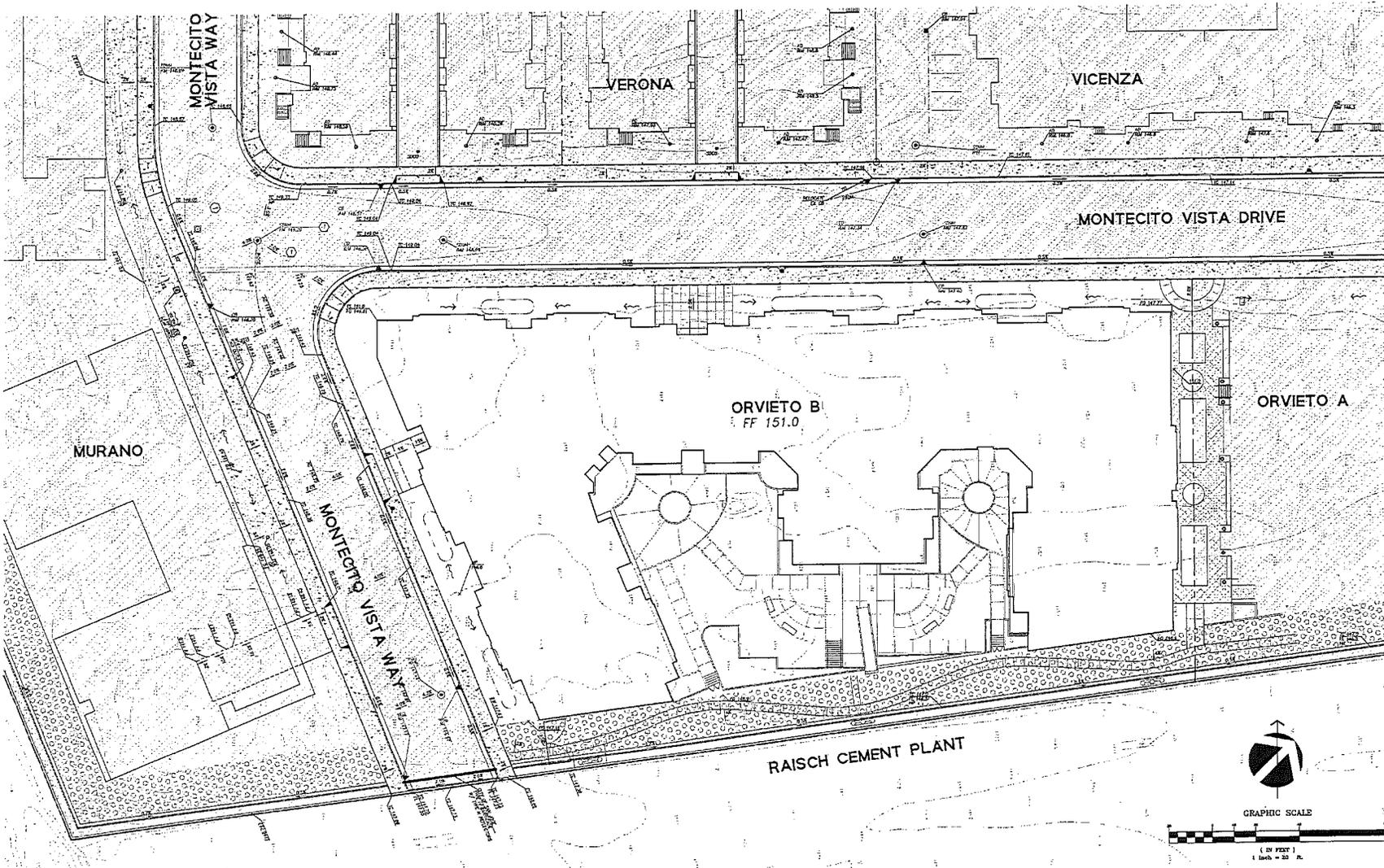
MONTECITO Vista
 2723-2745 MONTEREY ROAD
 SAN JOSE 95111, CA

REV	DATE	ISSUE
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project no: 060508 date: 05.23.12
 drawn by: PC checked by: SC
 scale: 1"=20'

SITE PLAN
 ORVIATO B

PDC12-011



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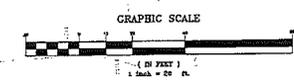
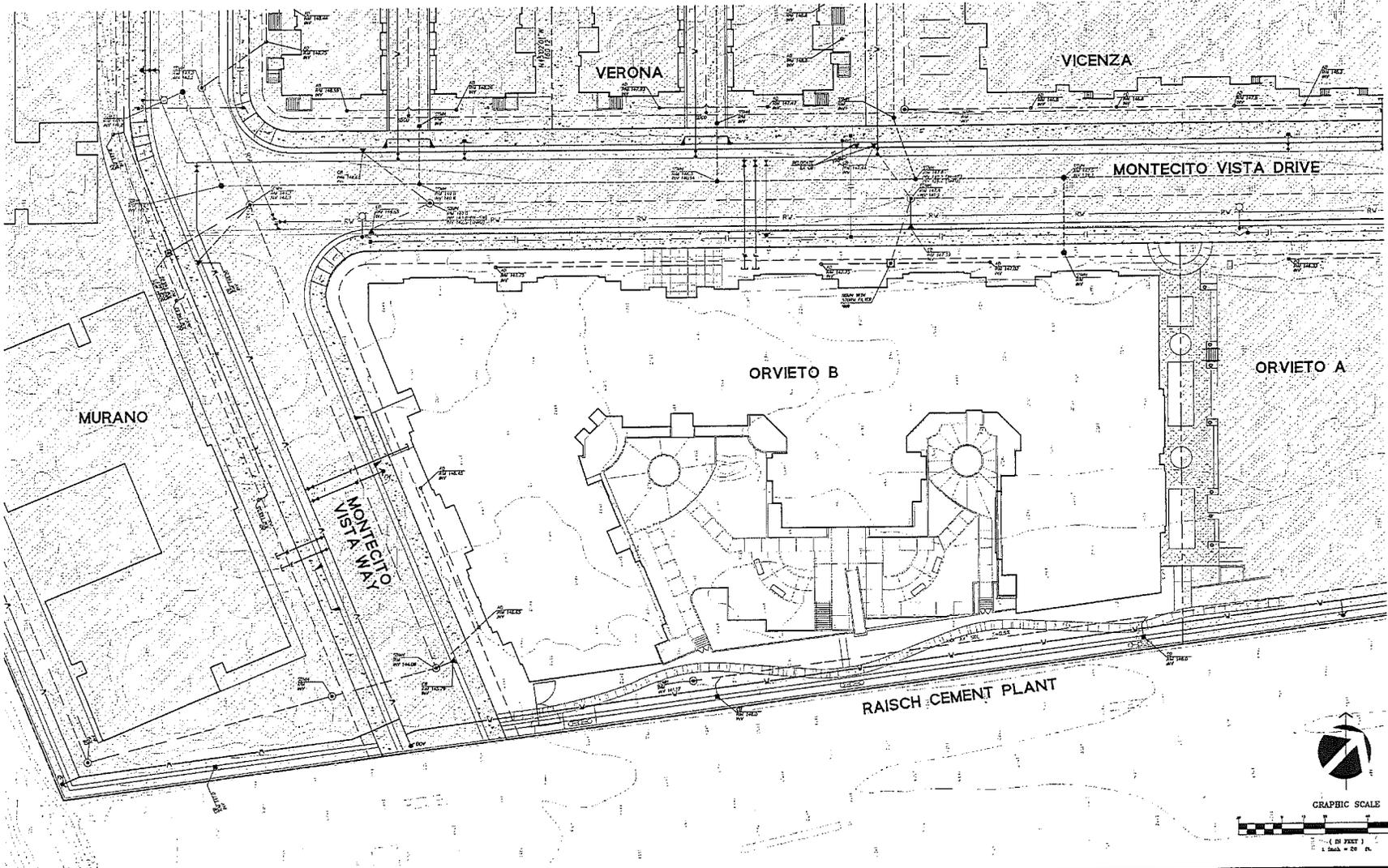
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 408/467-9199 (FAX)

MONTECITO Vista
 2723-2745 MONTEREY ROAD
 SAN JOSE 95111, CA

REV.	DATE	BY	SCALE
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4			

project no: 063008 date: 03.23.12
 drawn by: JFC checked by: JSC
 scale: 1"=20'
GRADING AND DRAINAGE PLAN
 ORVIETO B
4

PDC12-011



PDC12-011

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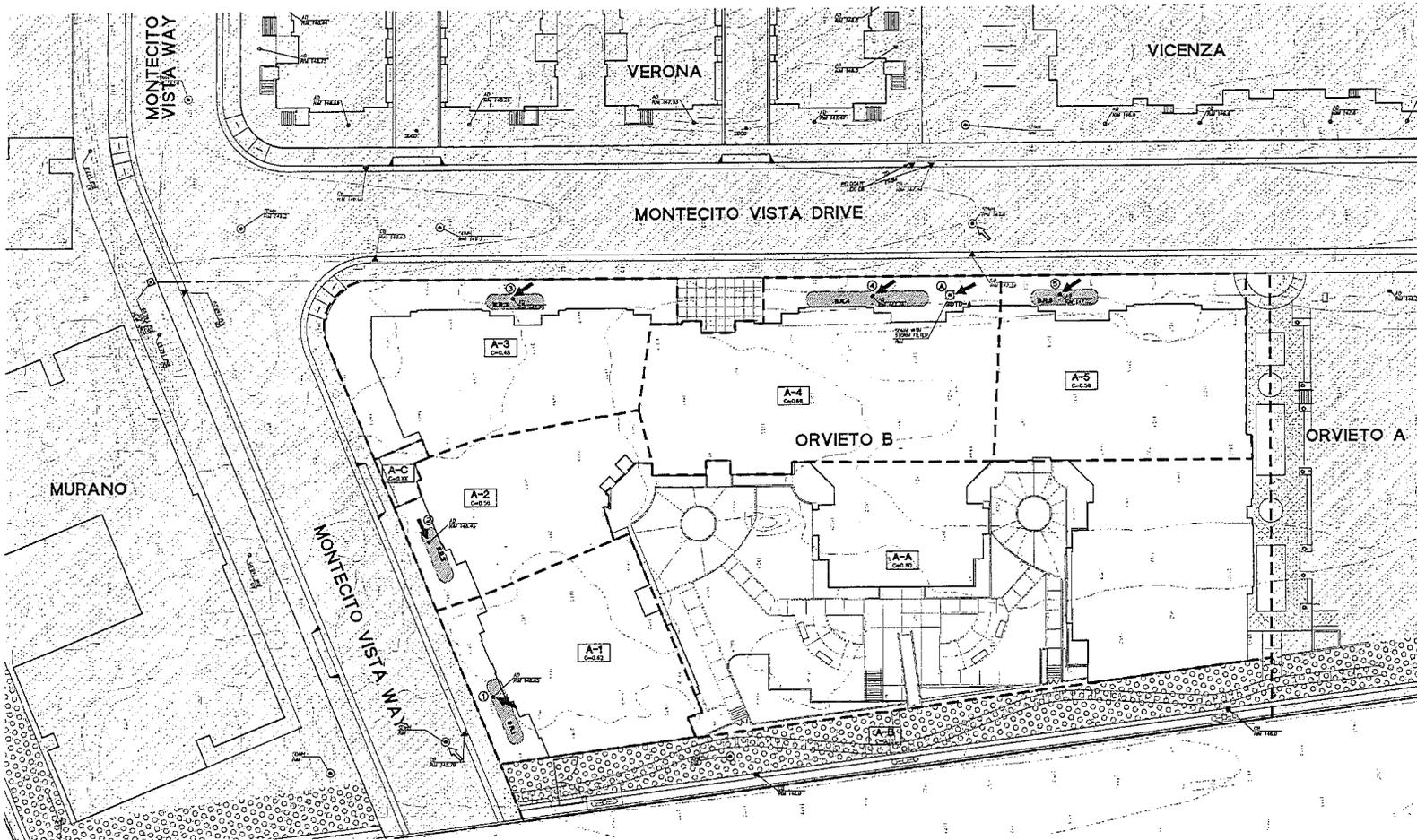
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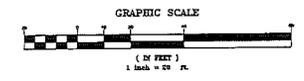
PROJECT NO: 050003 DATE: 05.23.11
 DRAWN BY: PC CHECKED BY: SC
 SCALE: 1"=20'

UTILITY PLAN
 ORVIATO B
4.1



LEGEND:

- DRAINAGE AREA BOUNDARY
- POINT OF TREATMENT OF DRAINAGE AREA
- ULTIMATE POINT OF STORM WATER DISCHARGE
- TREATMENT AREA
- S.D.S. IDENTIFICATION DESIGNATION
- STORM DRAIN LINE
- DIRECTION OF FLOW
- CURB INLET
- RISER BOX
- CATCH BASIN
- STORM DRAIN MANHOLE
- DRAINAGE SLOPE
- GRASS PAVER



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REV.	DATE	ISSUE
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PROJECT NO.	090008	SHEET	03.23.12
DESIGNED BY	PC	CHECKED BY	SC
STORMWATER CONTROL PLAN			
ORVIETO B			
4a.0			

TABLE A

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
PROJECT PHASE NUMBER (NA, 1, 2, 3, ETC):		1	
TOTAL SITE (ACRES):	1.73	TOTAL AREA OF SITE DISTURBED (ACRES):	1.73
IMPERVIOUS SURFACES	EXISTING CONDITION OF SITE AREA UNDISTURBED (SQUARE FEET)	PROPOSED CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	
		REPLACED	NEW
ROOF AREA(S)	0	0	32,140
PARKING	0	0	0
SIDWALKS, PATIOS, PATHS, ETC.	0	0	16,850
STREETS (PUBLIC)	0	0	0
STREETS (PRIVATE)	0	0	1,300
TOTAL IMPERVIOUS SURFACES:	0	0	50,320
PERVIOUS SURFACES			
LANDSCAPE AREA	75,220	16,900	0
PERVIOUS PAVING	0	0	0
OTHER PERVIOUS SURFACES (GREEN ROOF, ETC)	0	8,100	0
TOTAL PERVIOUS SURFACES:	75,220	24,900	33,900
TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:		50,320	
TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:		24,900	

TABLE C

TREATMENT CONTROL MEASURE SUMMARY										
DRAINAGE AREAS	DRAINAGE AREA SIZE (SQFT)	PERVIOUS SURFACE (SQFT)	TYPE OF PERVIOUS SURFACE (C FACTOR)	IMPERVIOUS SURFACE (SQFT)	TYPE OF IMPERVIOUS SURFACE (C FACTOR)	COMPOSITE RUNOFF COEFF.	TREATMENT REQUIRED (SQFT OR CFS)	TREATMENT PROVIDED (SQFT OR CFS)	PROPOSED TREATMENT CONTROLS	TOTAL AREA TREATED (%)
A-1	5,528	1,129	LANDSCAPE (C=0.10)	4,399	ROOF (C=0.75)	0.62	141 SQFT	150 SQFT	BIORETENTION	100%
A-2	4,150	1,229	LANDSCAPE (C=0.10)	2,921	ROOF (C=0.75)	0.56	188 SQFT	200 SQFT	BIORETENTION	100%
A-3	5,730	2,777	LANDSCAPE (C=0.10)	3,953	ROOF (C=0.75)	0.48	212 SQFT	250 SQFT	BIORETENTION	100%
A-4	12,200	1,731	LANDSCAPE (C=0.10)	10,469	ROOF (C=0.75)	0.68	312 SQFT	318 SQFT	BIORETENTION	100%
A-5	5,935	1,748	LANDSCAPE (C=0.10)	5,187	ROOF (C=0.75)	0.59	322 SQFT	336 SQFT	BIORETENTION	100%
A-A	30,250	6,171	LANDSCAPE (C=0.10)	3,219	ROOF (C=0.75)	0.60	0.08 CFS	0.10 CFS	STORMFILTER	100%
				16,874	SIDWALK (C=0.80)					
A-B	8,100	0.100	GRASS PAVERS (C=0.15)	---	---	0.15	---	---	SELF TREATED	100%
PERCENT OF TOTAL AREA TREATED BY BIORETENTION BASH = 47%										
PERCENT OF TOTAL AREA TREATED BY STORM FILTER = 40%										

TABLE B

SITE CONDITIONS	
SOIL TYPE:	SILTY, LEAN CLAY
DEPTH TO GROUNDWATER:	50'±
100-YEAR FLOOD ELEVATION:	ZONE 0
RECEIVING WATER BODY:	GUADALUPE RIVER
POLLUTANTS (INCLUDING, BUT NOT LIMITED, TO THE FOLLOWING)	SEDIMENT & TRASH GREASE & OIL HEAVY METALS HAZARDOUS WASTE
POLLUTANT SOURCE AREAS:	DRIVEWAY PARKING AREA TRASH ENCLOSURE
SOURCE CONTROL MEASURES:	BIORETENTION STORM FILTER (MEDIA FILTER)
SITE CONTROL MEASURES:	PROTECT SLOPES MINIMIZE IMPERVIOUS SURFACE DIRECT ROOF RUNOFF TO INFILTRATION BEST MANAGEMENT PRACTICES



REV.	DATE	ISSUE
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project no: 060205 date: 05.23.12
 drawn by: PC checked by: SC
 scale: NTS
 STORMWATER CONTROL PLAN
 ORVIEJO B
4a.1

PDC12-011

SAMPLE CALCULATIONS: BIORETENTION

CRVETO-B (BIORETENTION) FLOW BASED INFILTRATION METHOD			
DRAINAGE AREA FOR DWP: Determine the drainage area flowing into the absorption area.	A_d (acres)		0.12
TREATMENT EVENT: Per SCVURPPP, 0.2 in/hr is used for the intensity value for treatment intensity (flow based calculation).	I_{int} (in/hr)		0.20
WATERHELD RUNOFF COEFFICIENT: $C = \text{Compass Runoff Coefficient}$ Based on Table 3a of the SCVURPPP.	C		0.62
TREATMENT SOIL VELOCITY: Velocity of Treatment Soil	V (in/hr)		5.00
TREATMENT AREA REQUIRED: Event intensity is modified and divided by treatment soil velocity to take into account infiltration.	A_{treat} (ft ²)		140.84
TREATMENT AREA AVAILABLE: Treatment Area Available	A_{avail} (ft ²)		100.00
Retention Area is Adequate for Treatment Event			

OPERATIONS AND MAINTENANCE: BIORETENTION

Infiltration Area (Including Infiltration Basin) Maintenance Plan for [Site Name]

Project Address and Contact: _____

Project Date: _____

Project Address and Contact: _____

Project Name: _____

Project Owner: _____

Project No.: _____

Project Address: _____

Project No.: _____

Project Address: _____

The property owner is responsible for the maintenance of the infiltration area as shown in the attached site plan.

Responsible Maintenance Activities:
 The vertical maintenance schedule is to prevent sediment buildup and clogging, which reduces infiltration efficiency and may lead to infiltration area failure. Regular maintenance activities, and the frequency at which they will be conducted, are shown in Table 1.

Item	Maintenance Task	Frequency of Task
1	Remove sediment from the top of the infiltration area and the absorption area.	Monthly, or as needed after heavy rain.
2	Inspect the infiltration area for signs of clogging or sediment buildup.	Monthly, or as needed after heavy rain.
3	Remove sediment from the top of the infiltration area and the absorption area.	Monthly, or as needed after heavy rain.
4	Inspect the infiltration area for signs of clogging or sediment buildup.	Monthly, or as needed after heavy rain.
5	Remove sediment from the top of the infiltration area and the absorption area.	Monthly, or as needed after heavy rain.
6	Inspect the infiltration area for signs of clogging or sediment buildup.	Monthly, or as needed after heavy rain.
7	Remove sediment from the top of the infiltration area and the absorption area.	Monthly, or as needed after heavy rain.

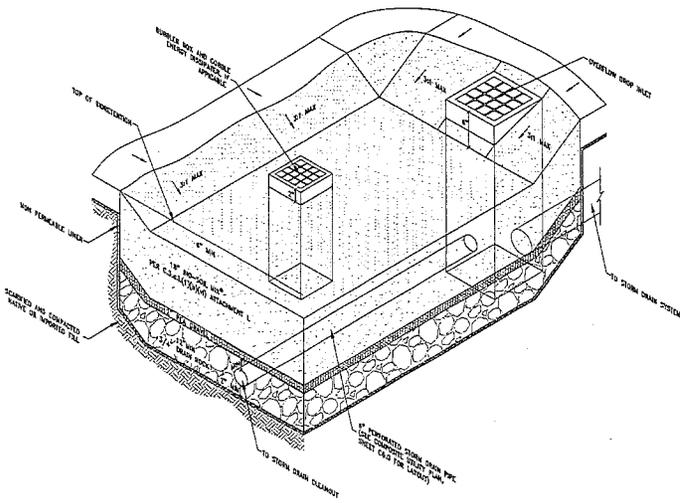
Legend to Appendix C, Sheet 010

- II. Prohibitions**
 The use of herbicides and quick release fertilizers shall be prohibited, and the practices of vegetated area management (VAM) shall be followed.
- Employ herbicides, quick release fertilizers, physical and chemical control before using VAM to treat a weed problem.
 - Plant grasses, shrubs, and/or the appropriate type of tree.
 - Plant shrubs, trees, or other plants that are not native to the area.
 - Use herbicides on areas with existing vegetation. Some herbicides are organic and are not persistent. Check with the manufacturer for specific instructions.
 - Plant control should avoid having non-target organisms, or herbicide resistant air and water control and herbicide resistant weeds. Apply herbicides only when necessary to control the vegetation and non-target organisms, or herbicide resistant weeds. Do not apply herbicides to the infiltration area.
 - Do not use any herbicide. Some herbicides are not persistent and may be applied to the infiltration area.
 - Do not use any herbicide. Some herbicides are not persistent and may be applied to the infiltration area.
 - Do not use any herbicide. Some herbicides are not persistent and may be applied to the infiltration area.
 - Do not use any herbicide. Some herbicides are not persistent and may be applied to the infiltration area.
 - Do not use any herbicide. Some herbicides are not persistent and may be applied to the infiltration area.
- III. Maintenance Schedule**
 See Appendix C, Sheet 010.
- IV. Maintenance**
 The attached Infiltration Area Inspection and Maintenance Checklist shall be used to conduct inspections monthly for an annual, strictly needed maintenance, and record maintenance that is completed.

Infiltration Area Inspection and Maintenance Checklist

Priority Action	Inspection Date	Type of Inspection	Inspected By	Inspector Title	Inspector Signature	Inspector Date
1. Inspect the infiltration area for signs of clogging or sediment buildup.						
2. Remove sediment from the top of the infiltration area and the absorption area.						
3. Inspect the infiltration area for signs of clogging or sediment buildup.						
4. Remove sediment from the top of the infiltration area and the absorption area.						
5. Inspect the infiltration area for signs of clogging or sediment buildup.						
6. Remove sediment from the top of the infiltration area and the absorption area.						

SAMPLE DETAIL FOR BIORETENTION:



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REV	DATE	BY
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PROJECT NO: 066008 DATE: 05.23.12
 DRAWN BY: EC CHECKED BY: SC
 SCALE: NTS
 STORMWATER CONTROL PLAN
 CRVETO B
4a.2

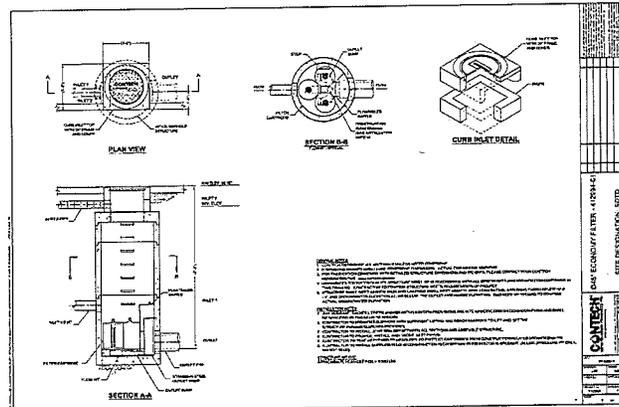
PDC12-011

SAMPLE CALCULATIONS: STORM FILTER

SANTA CLARA COUNTY					
BASEGAL DATA					
Source: Santa Clara County Drainage Manual					
Treatment Storm Intensity: 0.20 in/hr					
DRAINAGE AREA	AREAS			TREATMENT REQUIRED	CFS
	TRIBUTARY AREA	TRIBUTARY AREA	COMPOSITE AREA		
AREA	ACRES	ACRES	ACRES		
A-A	30,200	0.00	0.00	0.083	0.75

SANTA CLARA COUNTY		
SANTA CLARA COUNTY		
See Treatment Unit		
Cartridge 48" Meshhole Storm Filter Unit (Maximum 2 Filters)	Treatment (cfs)	0.20
Treatment Required		
Filter/Cartridges Used	Treatment (cfs)	0.10
Filter Treatment		
Filter Size Used		
Does Filter Treatment Flow > Treatment Required flow?	YES	
Unit Maximum Peak Flow	Q _{unit} (cfs)	1.00
Project Peak Flow	Q _{project} (cfs)	0.75
Does Unit Maximum Peak Flow > Project Peak Flow?	YES	

SAMPLE DETAIL FOR STORM FILTER:



48" FILTER

OPERATIONS AND MAINTENANCE: STORM FILTER

Operational Guidelines: The storm filter is designed to remove debris and sediment from stormwater runoff. It should be inspected and cleaned regularly to ensure proper operation. The filter should be cleaned when the flow is reduced or when the filter is clogged. The filter should be cleaned by removing the filter media and washing it with water. The filter should be replaced when it is damaged or when it is no longer effective. The filter should be replaced with a new filter of the same type and size. The filter should be replaced when it is damaged or when it is no longer effective. The filter should be replaced with a new filter of the same type and size.

Inspection and Maintenance: The storm filter should be inspected and cleaned regularly. The filter should be inspected when the flow is reduced or when the filter is clogged. The filter should be cleaned by removing the filter media and washing it with water. The filter should be replaced when it is damaged or when it is no longer effective. The filter should be replaced with a new filter of the same type and size. The filter should be replaced when it is damaged or when it is no longer effective. The filter should be replaced with a new filter of the same type and size.

Notes: The storm filter is designed to remove debris and sediment from stormwater runoff. It should be inspected and cleaned regularly to ensure proper operation. The filter should be cleaned when the flow is reduced or when the filter is clogged. The filter should be cleaned by removing the filter media and washing it with water. The filter should be replaced when it is damaged or when it is no longer effective. The filter should be replaced with a new filter of the same type and size. The filter should be replaced when it is damaged or when it is no longer effective. The filter should be replaced with a new filter of the same type and size.

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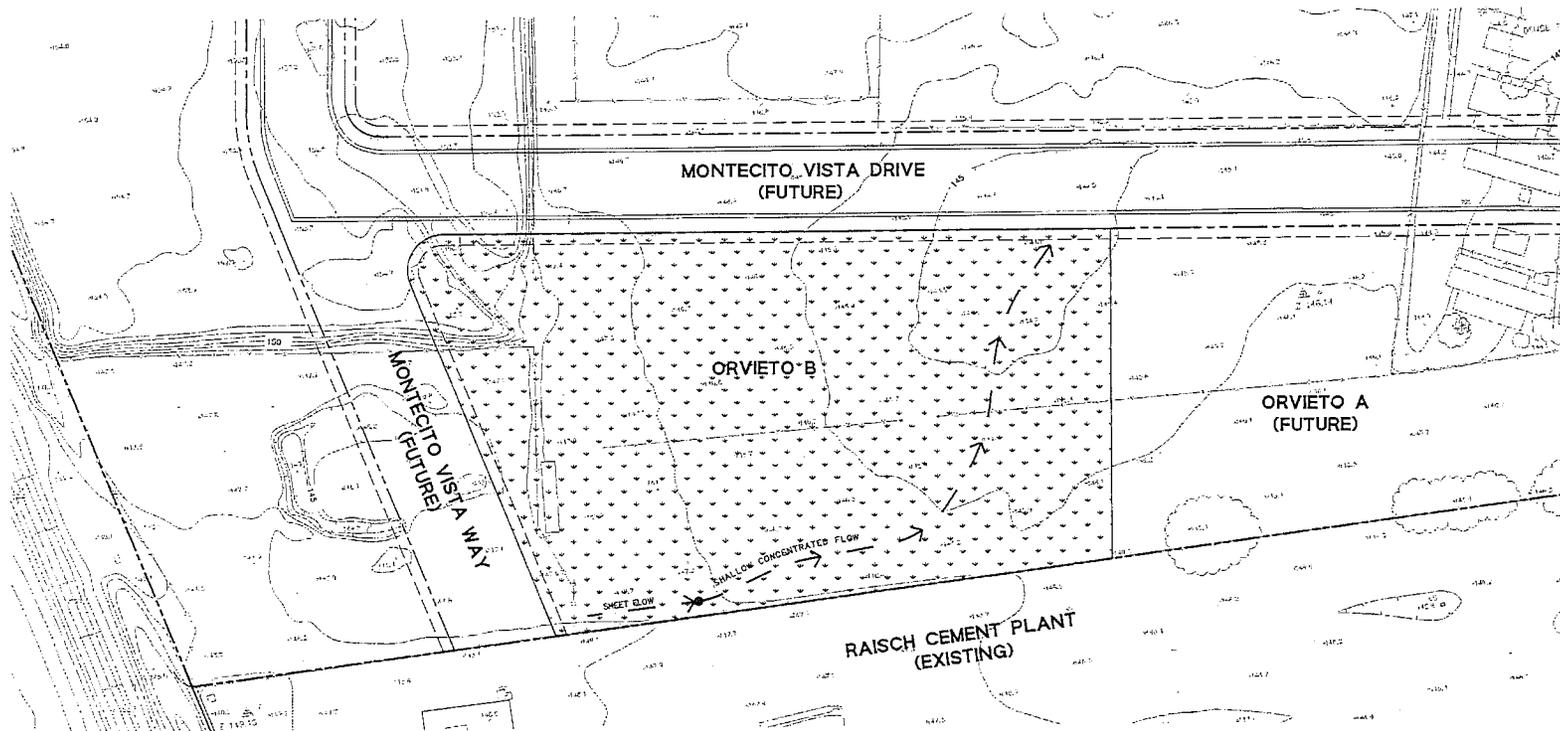
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PROJECT NO:	586288	DATE:	03.23.12
DESIGNER:	PC	CHECKED BY:	SC
SCALE:	NTS		
STORMWATER CONTROL PLAN			
ORVIETO B			
4a.3			

PDC12-011



LEGEND

- FLOW PATH
- IMPERVIOUS AREA (C=0.80)
- PERVIOUS AREA (C=0.30 FOR COMPACTED DIRT)

SURFACE AREAS

TOTAL IMPERVIOUS AREA (ACRES):	0.00
TOTAL PERVIOUS AREA (ACRES):	1.73
TOTAL AREA (ACRES):	1.73

TIME OF CONCENTRATION (Tc) CALCULATION

- 1) SHEET FLOW, T_s
 $T_s = \frac{0.45 \times L^{0.8} \times N^{0.05}}{S^{0.04}}$ (MANNING'S KINEMATIC EQUATION)
 P = 1.88 INCH
 N = 0.05 (FALLOW)
 S = 0.016 FT/FT
 L = 62'
 $T_s = \frac{0.45 \times 62^{0.8} \times 0.05^{0.05}}{1.88^{0.04} \times 0.016^{0.04}}$
 T_s = 4 MINUTES
- 2) SHALLOW CONCENTRATED FLOW, T_c
 $T_c = \left[\frac{80 (3.28 \times K \times S^{0.5})}{L} \right]$ (UPLAND METHOD)
 L = 315'
 K = 0.305 (FOR BARE UN-TILLED ALLUVIAL FANS)
 S = 0.10%
 T_c = 2 MINUTES
 T_c = T_s + T_c
 T_c = 6 MINUTES

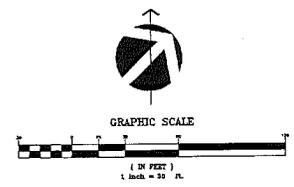
INTENSITY CALCULATION

$I = \frac{(1.48 \times Q_u)^{0.77} \times A_u}{1.49 \times B_u}$

A_u = 0.250082
 B_u = 0.003589
 T_c = 6 MINUTES
 I = 3.12 IN/HR

PRE-DEVELOPMENT STORM RUNOFF

C_u = C_a
 = 0.30 × 3.12 × 1.73
 = **1.62 CFS**



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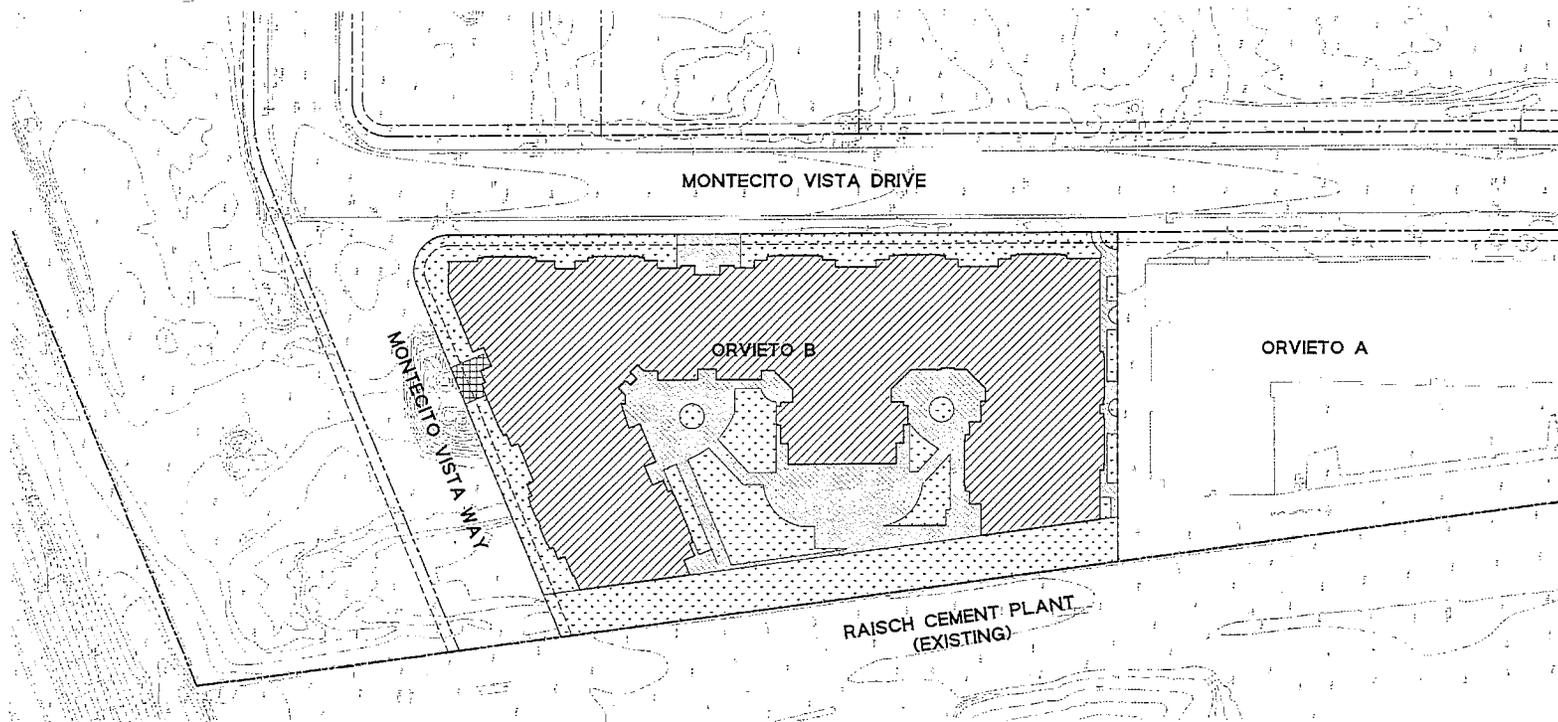
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PRE-DEVELOPMENT

project no: 060283 date: 03.11.12
 drawn by: JG checked by: SC
 title: HYDROMODIFICATION ORVIETO B
4b.0

PDC12-011



LEGEND

- ROOF AREA (IMPERVIOUS)
(C=0.75)
- CONCRETE AREA (IMPERVIOUS)
(C=0.80)
- ASPHALTIC CONCRETE AREA (IMPERVIOUS)
(C=0.70)
- LANDSCAPE AREA (PERVIOUS)
(C=0.10)
- BIORETENTION AREAS (PERVIOUS)

SURFACE AREAS	
CONCRETE AREA (ACRES):	0.41
ASPHALTIC CONCRETE AREA (ACRES):	0.02
ROOF AREA (ACRES):	0.73
TOTAL IMPERVIOUS AREA (ACRES):	1.16
TOTAL PERVIOUS AREA (ACRES):	0.57
TOTAL AREA (ACRES):	1.73
AREAS TREATED BY INFILT. BASIN (ACRES):	0.82
AREAS TREATED BY STORM FILTER (ACRES):	0.89

TIME OF CONCENTRATION CALCULATION

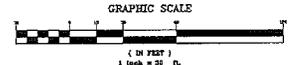
- INFILTRATION BASIN FLOW TIME, T_i
- $T_i = \frac{144 \text{ IN}^2 \text{ FEET} \cdot \text{SOIL}}{5 \text{ IN/HR INFILTRATION RATE}}$
- = 3.6 HOURS
- = 216 MINUTES (MINIMUM)
- STORM FILTER PIPE FLOW TIME, T_s
- $T_s = 15 \text{ MINUTES (ASSUMED)}$

INTENSITY CALCULATION

- $I = \frac{(12.5 - S) S}{16.7 S + 3.4}$
- $A_{10} = 0.258642$
- $B_{10} = 0.035569$
- INTENSITY AT INFILTRATION BASIN
- $i = 0.09 \text{ IN/HR}$
- INTENSITY AT STORM FILTER
- $i_s = 1.25 \text{ IN/HR}$

POST-DEVELOPMENT RUNOFF

- WEIGHTED $C_p = 0.59$ (FOR AREAS TREATED BY INFILT. BASINS)
- WEIGHTED $C_p = 0.80$ (FOR AREAS TREATED BY STORM FILTERS)
- $Q_i = C_p \times i \times A_i$
- = $0.59 \times 0.09 \times 0.82$
- = 0.04 CFS
- $Q_s = C_p \times i_s \times A_s$
- = $0.80 \times 1.25 \times 0.60$
- = 0.52 CFS
- $Q_{total} = Q_i + Q_s$
- = 0.56 CFS



POST-DEVELOPMENT

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project no: 050503 date: 05.23.12
 drawn by: PC checked by: SC
 scale:
 HYDROMODIFICATION
 ORVIESTO B
4b.1

PDC12-011



MATERIAL KEY	
1	STUCCO
2	DECORATIVE LIGHT FIXTURE
3	METAL CANOPY
4	STOREFRONT
5	STONE VENEER
6	ARTICULATED PARAPET CAP
7	METAL RAILING
8	FOAM WINDOW TRIM

ORVIETO PARCEL B

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ELEVATION- MONTECITO VISTA DRIVE

SAN JOSE, CA
 K T G T JOB # 2011-0455 7.19.2012
 File Number - PDC12-011

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RENDERING- MONTECITO VISTA DRIVE

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EXHIBIT JOB # 2011-0455

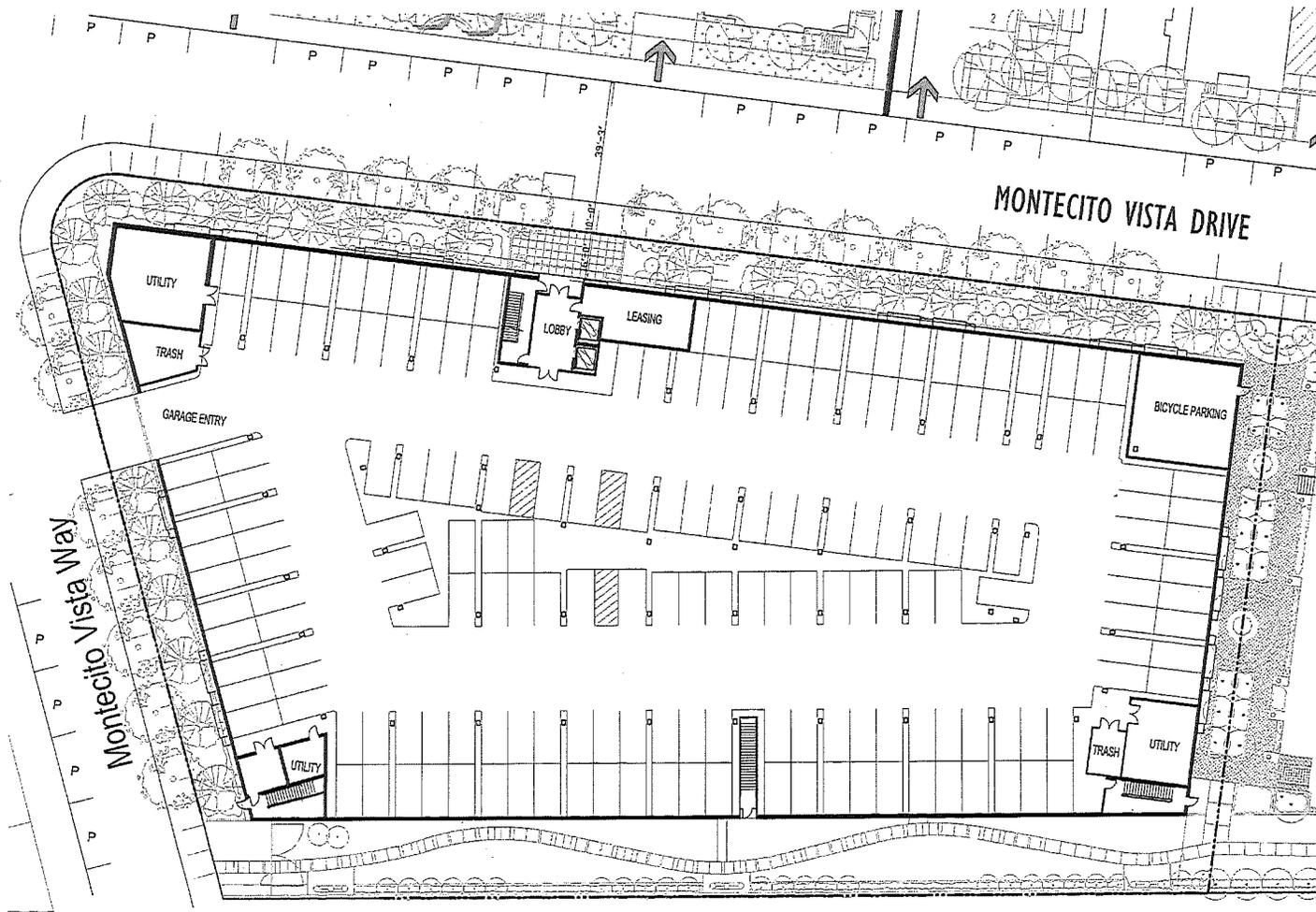
7.17.2012

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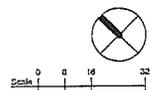
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5.2





*SEE TITLE SHEET FOR PARKING SUMMARY



5.3



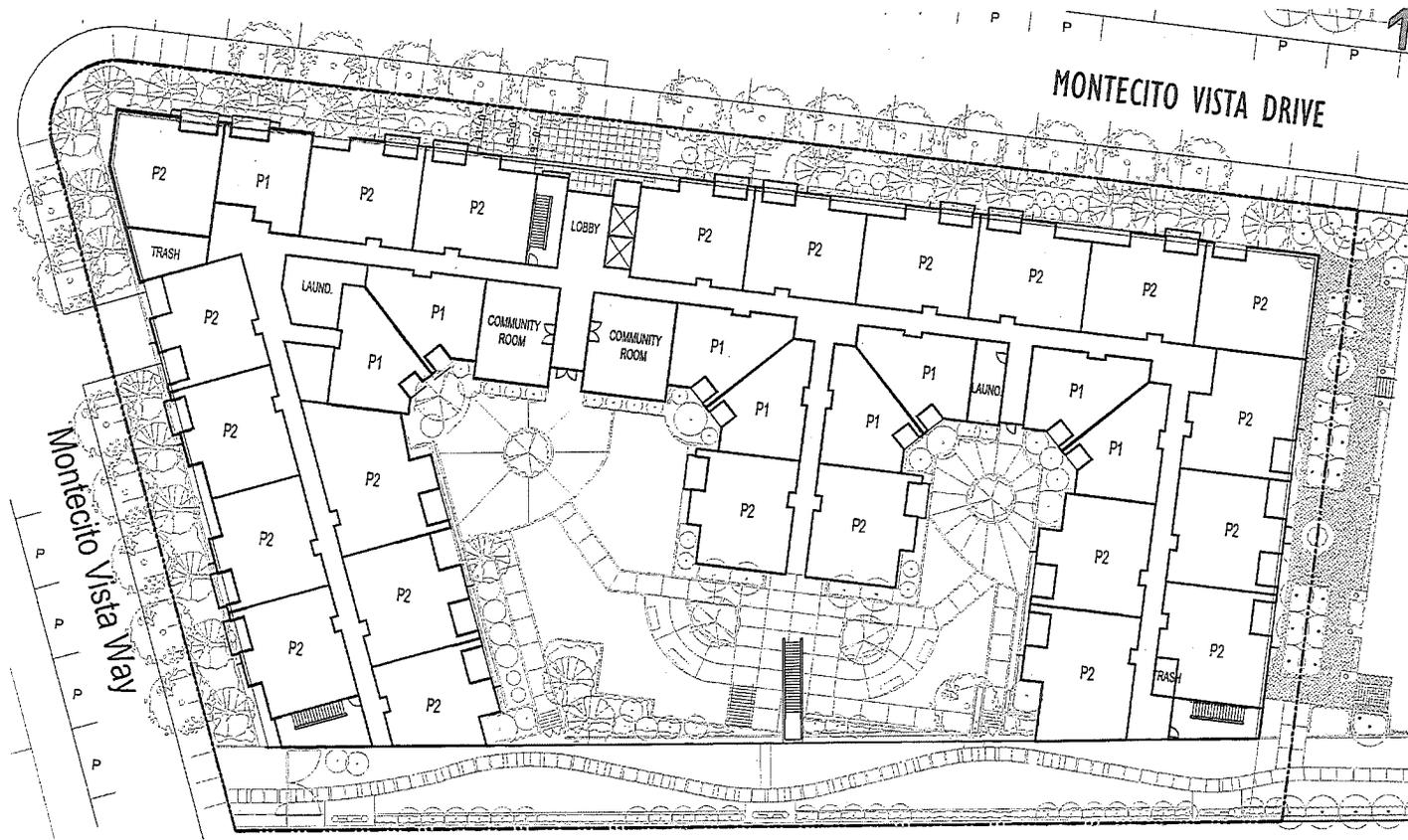
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LEVEL ONE- PARKING PLAN

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LEVEL TWO- BUILDING PLAN

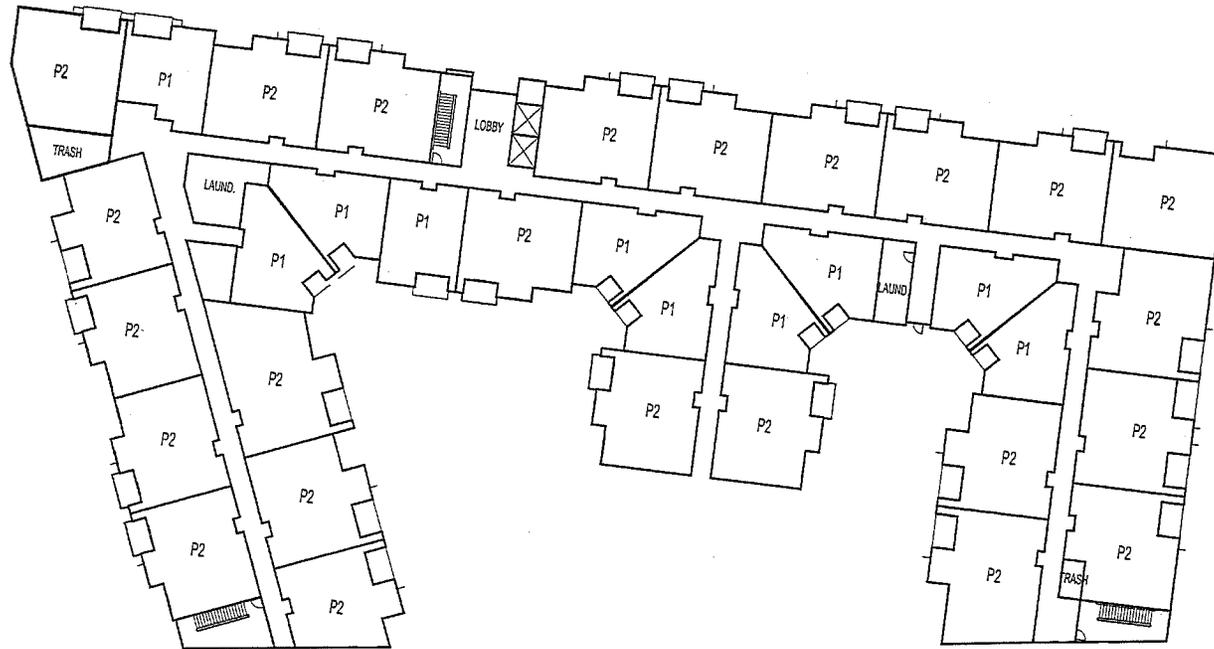
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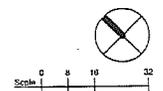
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LEVEL THREE- BUILDING PLAN

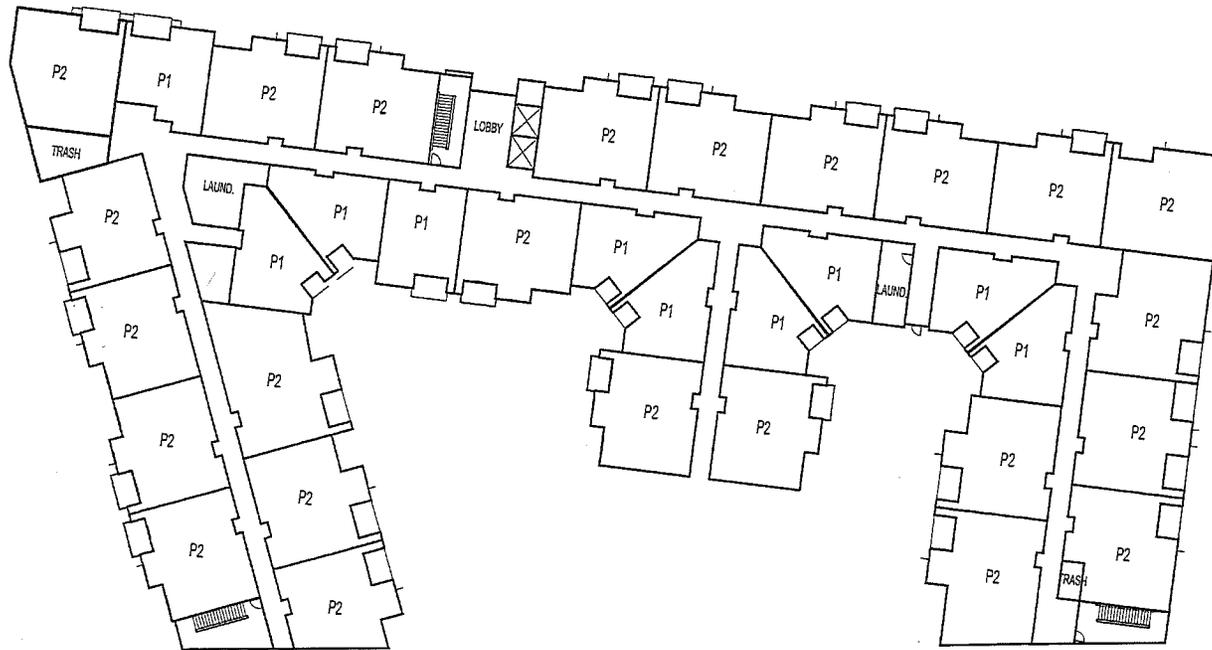
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5.5





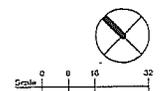
ORVIETO PARCEL B

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 1650 LAFAYETTE STREET
 SANTA CLARA, CA 95050
 P.408.984.5600

LEVEL FOUR- BUILDING PLAN

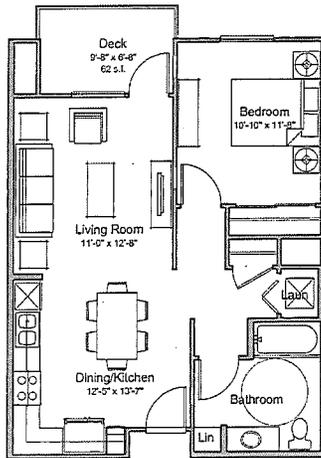
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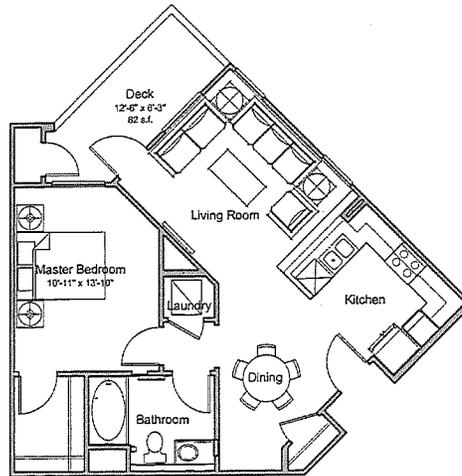


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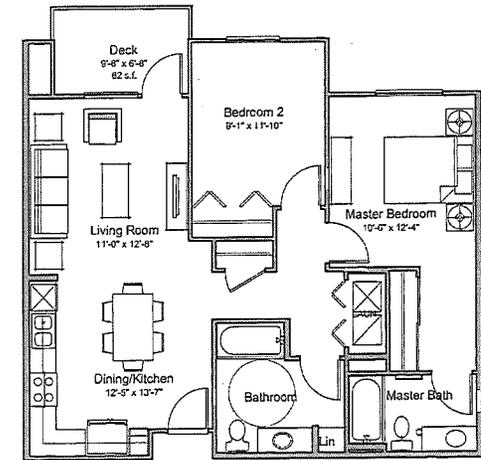




P_1A
±650 SF



P_1B
±650 SF



P_2A
±870 SF

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TYPICAL UNIT PLANS

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5.7



Landscape plans to follow in PD Permit process as there is no building footprint change from previous zoning approval

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CONCEPTUAL LANDSCAPE PLAN

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