



Memorandum

TO: HONORABLE MAYOR
AND CITY COUNCIL

FROM: Planning Commission

SUBJECT: SEE BELOW

DATE: July 30, 2012

COUNCIL DISTRICT: 10

SUBJECT: FILE NO. PDC11-022. PLANNED DEVELOPMENT REZONING FROM THE CP – COMMERCIAL PEDESTRIAN ZONING DISTRICT TO THE A(PD) PLANNED DEVELOPMENT ZONING DISTRICT TO ALLOW DEVELOPMENT OF A 7,700 SQUARE FOOT RETAIL USE ON AN APPROXIMATELY 0.53 GROSS ACRE SITE LOCATED ON THE WEST SIDE OF NORTH 13TH STREET, APPROXIMATELY 260 FEET SOUTHERLY OF EAST MISSION STREET.

RECOMMENDATION

The Planning Commission voted 6-0-1 to recommend that the City Council approve the proposed Planned Development Rezoning from the CP – Commercial Pedestrian Zoning District to the A(PD) Planned Development Zoning District to allow development of a 7,700 square foot retail use on a 0.53 gross acre site located on the west side of North 13th Street, approximately 260 feet southerly of East Mission Street.

OUTCOME

Should the City Council approve the Planned Development Rezoning, upon approval of a subsequent Planned Development Permit, the applicant would be allowed to construct the proposed 7,700 square foot retail building.

BACKGROUND

On June 20, 2012, the Planning Commission opened a public hearing to consider the proposed Planned Development Rezoning. The Director of Planning, Building and Code Enforcement recommended approval of the proposed Rezoning.

Staff provided introductory comments describing the project and explaining the reasons staff was recommending approval of the project.

There was no public testimony and no Planning Commission Discussion.

A motion was made to recommend that the City Council approve the proposed Planned Development Zoning per staff's recommendation. The Planning Commission approved the motion with a 6-0-1 vote.

ANALYSIS

A complete analysis of the issues regarding this project, including General Plan conformance, is contained in the attached staff report.

EVALUATION AND FOLLOW-UP

A Planned Development Permit and a Lot Line Adjustment to consolidate the existing parcels will be required to be filed to implement the proposed rezoning. At the Planned Development Permit stage Planning staff will follow-up with the 13th Street NAC regarding the architecture of the proposed building in terms of consistency with the 13th Street SNI Improvement Plan.

POLICY ALTERNATIVES

Not Applicable.

PUBLIC OUTREACH/INTEREST

- Criterion 1:** Requires Council action on the use of public funds equal to \$1 million or greater. **(Required: Website Posting)**
- Criterion 2:** Adoption of a new or revised policy that may have implications for public health, safety, quality of life, or financial/economic vitality of the City. **(Required: E-mail and Website Posting)**
- Criterion 3:** Consideration of proposed changes to service delivery, programs, staffing that may have impacts to community services and have been identified by staff, Council or a Community group that requires special outreach. **(Required: E-mail, Website Posting, Community Meetings, Notice in appropriate newspapers)**

Although this item does not meet any of the above criteria, staff followed Council Policy 6-30: Public Outreach Policy. A notice of the public hearing was distributed to the owners and tenants of all properties located within 500 feet of the project site and posted on the City website. The rezoning was also published in a local newspaper, the Post-Record. This memorandum is also posted on the City's website. Staff has been available to respond to questions from the public.

COORDINATION

This project was coordinated with the Department of Public Works and the City Attorney.

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COST SUMMARY/IMPLICATIONS

Not applicable.

BUDGET REFERENCE

Not applicable.

CEQA

Exempt.

/s/
JOSEPH HORWEDEL, SECRETARY
Planning Commission

For questions, please contact Mike Enderby, Senior Planner at 408-535-7843.

Attachments: Planning Commission Staff Report
Reduced Plans with Draft General Development Standards

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC11-022

Submitted: November 8, 2011

PROJECT DESCRIPTION:

A Planned Development Zoning application to rezone the subject 0.53 gross acre site from the CP – Commercial Pedestrian Zoning District to the A(PD) Planned Development Zoning District to allow development of a 7,700 square foot retail use (AutoZone).

LOCATION:

West side of North 13th Street, approximately 260 feet southerly of East Mission Street.

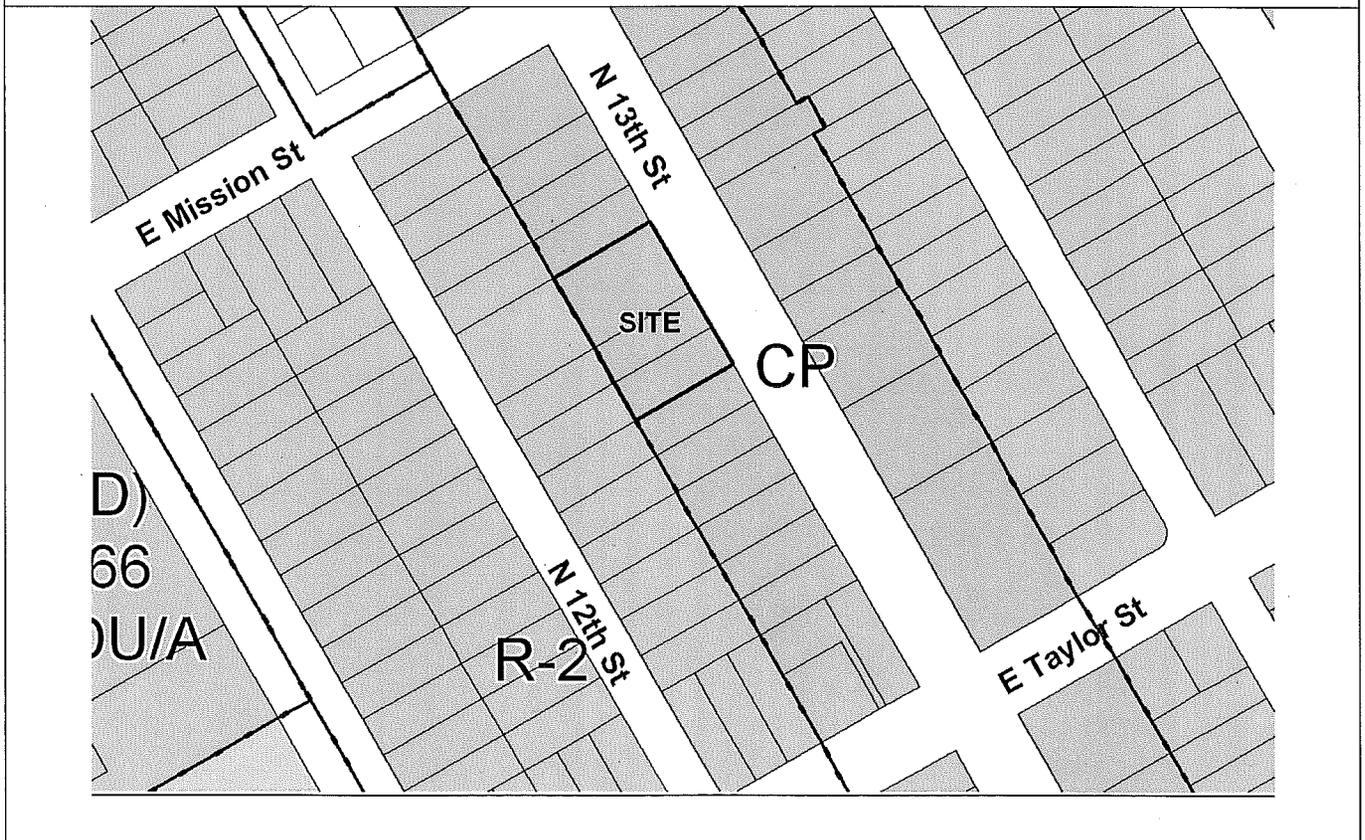
Zoning	CP – Commercial Pedestrian
Proposed Zoning	A(PD) Planned Development
General Plan	Mixed Use Commercial
Council District	3
Annexation Date	March 27, 1850 (Original City)
SNI	13 th Street
Historic Resource	NA
Specific Plan	NA



ENVISION SAN JOSE 2040 GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends that the Planning Commission find that the project is in conformance with the California Environmental Quality Act (CEQA) and recommend to the City Council approval of the proposed Planned Development Rezoning on the subject site for the following reasons:

1. The proposed project is consistent with the General Plan Land Use/Transportation Diagram designation of Mixed Use Commercial, which is primarily intended to accommodate neighborhood serving retail or commercial office uses with or without residential activity as a secondary use.
2. The conceptual design of the proposed project is consistent with the intent of the Commercial Design Guidelines and the 13th Street SNI Improvement Plan.
3. The proposed project was found to be exempt from environmental review under Section 15303(c), New Construction of Small Structures, of the State Guidelines for Implementation of CEQA.

BACKGROUND

On November 8, 2011, the applicant, Phillip Record, on behalf of AutoZone, applied for a Planned Development Rezoning of the subject site to allow development of a 7,700 square foot retail building. The subject property is currently vacant with one small commercial building in the northwest corner of the site. Single-family attached (duplexes) and detached residences are located behind the subject site to the west. Commercial uses are adjacent to the north, south, and across North 13th Street to the east.

The Planned Development Rezoning is being proposed primarily as a means to get relief from the 25-foot rear setback requirement for buildings and structures within the CP – Commercial Pedestrian Zoning District.

Staff worked with the project architect through four plan revisions to explore alternative site and/or building designs to both meet the intent of the Commercial Design Guidelines and meet the needs of the applicant. The current conceptual site plan submitted on June 11, 2012 is a hybrid of the previous design iterations and shows the proposed 7,700 square foot one-story building sitting on the northerly half of the site with a 10-foot setback to the rear (west) and side (north) and no setback along the street frontage. The parking lot for the proposed use and a wide landscaped area along the southerly property line occupy the remainder of the site.

ANALYSIS

The proposed rezoning was analyzed with respect to: 1) conformance with the Envision San José 2040 General Plan, 2) conformance with the Commercial Design Guidelines with respect to Site Design and Architecture and in consideration of the 13th Street SNI Improvement Plan, and 4) conformance with the California Environmental Quality Act (CEQA).

Envision San Jose 2040 General Plan Conformance

The subject site is designated as Mixed Use Commercial on the General Plan Land Use/Transportation Diagram. The proposed new 7,700 square foot retail store is consistent with the Mixed Use Commercial designation in that properties with this designation support development of neighborhood serving retail and office as primary uses with or without residential as a secondary use.

Commercial Design Guidelines and 13th Street SNI Improvement Plan

Site Design

To protect residential privacy and to reduce visual mass, the City's Commercial Design Guidelines (Design Guidelines) suggest that the maximum height of commercial buildings adjacent to single-family (attached and detached) residential properties should be 1 ½ feet of setback for each 1 foot of building height except that one-story commercial buildings may be placed at the setback applicable to the adjacent residential development. The 13th Street SNI Improvement Plan (Improvement Plan) states that rear setbacks of buildings proposed along the 13th Street corridor should be consistent with adjoining homes. The residential development to the rear of the project site is within the R-2 Residential Two-Family Zoning District, which has a 25-foot rear setback requirement.

Requiring a 25-foot rear setback for the proposed project is not necessary to meet the intent of the Design Guidelines and the Improvement Plan with respect to protecting privacy and reducing visual mass from the adjacent residential properties. The conceptual plans show a one-story building located on a portion of the project site that interfaces with an existing one-story carport structure that serves three pairs of two-story duplex units on a single approximately 0.26 acre site. It is unlikely that this particular residential site would redevelop in the foreseeable future leading to a potential change in interface given that the current density (approximately 23 DU/AC) far exceeds the typical pattern of the neighborhood, which generally matches the Residential Neighborhood General Plan designation (8 DU/AC).

A development standard requiring a minimum 10-foot rear setback for one-story building elements along the rear property line shared with the parcel that includes the existing carport and duplexes, should be sufficient to meet the intent of the Design Guidelines and Improvement Plan for protecting privacy. The design of the one-story building should be further refined at the Planned Development Permit stage to ensure that the visual mass of the building within the typical 25-foot rear setback area is reduced to the greatest extent feasible, while still achieving the applicant's desired minimum interior store height requirements.

The conceptual site plan shows the remainder of the site occupied by parking and landscaping. This area is adjacent to existing single-family detached residential backyards. Although the conceptual plans do not show a building located along this interface, the development standards should address this possibility and require strict conformance with the Design Guidelines and Improvement Plan.

Ideally parking lots should be designed to allow through circulation. In this case, given the site constraints and since the proposal is a relatively small single-tenant use it is acceptable to have a dead-end aisle as long as there is adequate provision for vehicle turn-around at the end of the aisle. The conceptual site plan shows a delivery and garbage/recycling truck turn-around area at the end of the drive aisle, which can be used for other vehicles in the event that someone drives to the end of the row and does not find an available parking space.

Although the conceptual site design shows the proposed building with a 10-foot side setback from the northerly property line shared with the adjacent commercial parcel, the development standards should

reflect what would be allowed by the Design Guidelines (no setback) and what is also called for in the Improvement Plan as a side yard with little or no setback. The setback should be limited to the minimum width necessary for any required utilities, drainage, maintenance, and/or architectural articulation. An overly large setback along a long unattended portion of the building that has poor visibility from the street can become a nuisance area.

Architecture

The conceptual plans enhance the pedestrian experience along the 13th Street frontage by locating the building at the front property line and including a combination of mostly clear glass storefront windows allowing visibility into the store and spandrel (opaque) glass on the remainder of the elevation.

The architecture should be refined at the Planned Development Permit stage to further define and distinguish the pedestrian scale base elements of the building from the top portions of the building.

California Environmental Quality Act (CEQA)

The project was found to be exempt from environmental review under Section 15303(c), New Construction of Small Structures, of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), which exempts the construction and location of limited numbers of new, small facilities or structures including the construction of stores, motels, offices, restaurants or similar structures, totaling up to four buildings not exceeding 10,000 square feet in floor area.

The proposed small 7,700 square foot retail building is a permitted use in the current CP – Commercial Pedestrian Zoning District, will not involve the use of significant amounts of hazardous substances, is located in an area where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

PUBLIC OUTREACH/INTEREST

Property owners and occupants within a 500-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

Project Manager: John W. Baty, AICP **Approved by:** 

Date: 6/13/2012

Owner / Applicant:	Attachments:
Jesus and Virginia Fernandez 15000 Rolfe Court San José, CA 95127 Phillip Record 123 S. Front Street, Dept. 8320 Memphis, TN 38103	Development Standards

FILE NO. PDC11-022
AUTOZONE
DEVELOPMENT STANDARDS
6-13-12

<The following notes are to be incorporated on the final General Development Plan upon recommendation by the Planning Commission and City Council Approval>

In any cases where the graphic plans and text may differ, this text takes precedence.

ALLOWED USES

- Permitted, Conditional and Special uses in the CP-Commercial Pedestrian Zoning District of Title 20 of the San Jose Municipal Code, as amended. Conditional and Special uses as identified in the CP-Commercial Pedestrian Zoning District shall be subject to approval by the Planning Director with a Planned Development Permit or Amendment.

DEVELOPMENT STANDARDS

SETBACKS

- *Front and Side Setbacks-*
Conform to those identified for the CP – Commercial Pedestrian Zoning District per City of San José Municipal Code Chapter 20.40 Parts 3, 4 & 5, as amended.
- *Rear Setback along Property Line Shared with Single-family Attached Units (duplexes)-*
10-feet for one-story elements, 25-feet for two story elements
- *Rear Setback along Property Line Shared with Single-family Detached Units-*
Conform to the Commercial Design Guidelines and 13th Street SNI Improvement Plan

MAXIMUM BUILDING HEIGHT:

- 30 feet and/or 2 stories

PARKING REQUIREMENTS

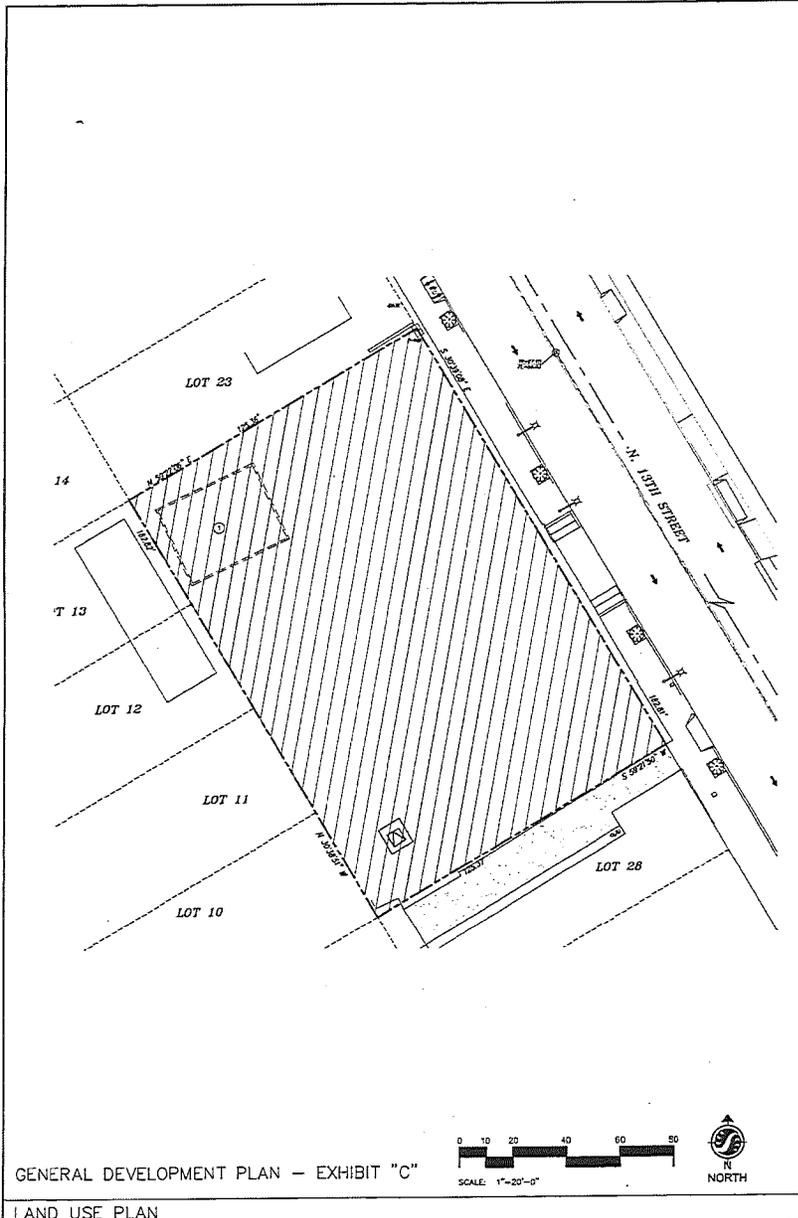
- Provide on-site parking, including automobile, bicycle, motorcycle and clean air vehicle parking, in accordance with Chapter 20.90 (Parking and Loading) of the City of San José Municipal Code, as amended.

PUBLIC WORKS

PUBLIC WORKS CLEARANCE FOR BUILDING PERMIT(S): Prior to the issuance of Building permits, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.

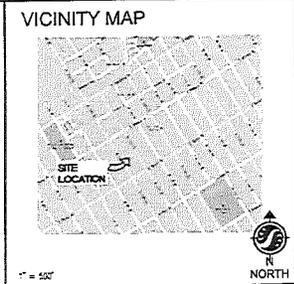
1. **Minor Improvement Permit:** The public improvements conditioned as part of this permit require the execution of a Minor Street Improvement Permit that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This permit includes privately engineered plans, insurance, surety deposit, and engineering and inspection fees.
2. **Transportation:** This project is subject to the City's US-101/Oakland/Mabury Transportation Development Policy. The US-101/Oakland/Mabury Transportation Development Policy requires new residential and commercial developments that generate vehicular trips at either of the Policy Interchanges to pay a Traffic Impact Fee (TIF) towards the upgrade of US-101/Oakland Interchange and construction of US-101/Mabury Interchange. The 2012 TIF is \$32,595 for each project peak hour trip that travels through either the US-101/Oakland or US-101/Mabury Interchanges. This fee is subject to an annual escalation on January 1st per the Engineering News-Record Construction Cost Index for San Francisco. Based on 2012 rate and 2 trips, the project's TIF is approximately \$65,190.
3. **Grading/Geology:**
 - a) A grading permit is required prior to the issuance of a Public Works Clearance. The construction operation shall control the discharge of pollutants (sediments) to the storm drain system from the site. An erosion control plan may be required with the grading application.
 - b) The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.
 - c) At PD permit stage, depress the back-of-walk grades at the driveway by at least 2 inches or increase the building's finish floor elevation by at least 2 inches to achieve a finish floor elevation that is more than 6 inches above the overland release elevation.
4. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of site design measures, source controls, and numerically-sized Low Impact Development (LID) stormwater treatment measures to minimize stormwater pollutant discharges.
 - a) At PD permit stage, revise the Stormwater Control Plan to comply with the following:
 - i) Provide treatment for the widened driveway area. Post-construction tree credits may apply.
 - ii) Install a junction box between the proposed pump and through-curb drain.
 - iii) Show latest bioretention detail from SCVURPPP C.3 Stormwater Handbook dated April 2012.
 - b) At PD permit stage, submit updated C3 Data Form and Infiltration/Harvesting and Use Feasibility Screening Worksheet.

- c) Final inspection and maintenance information on the post-construction treatment control measures must be included on the final Stormwater Control Plan.
5. **Flood: Zone D** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
6. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
7. **Undergrounding:** The In Lieu Undergrounding Fee shall be paid to the City for all frontages adjacent to 13th Street prior to issuance of a Public Works Clearance. One hundred percent (100%) of the base fee in place at the time of payment will be due. Currently, the 2012 base fee is \$412 per linear foot of frontage and is subject to change every January 31st based on the Engineering News Record's 20 City Average Cost Index. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued. (Based on the 2012 rate, the fee is \$75,775).
8. **Street Improvements:**
 - a) Remove and replace curb, gutter, and sidewalk along project frontage.
 - b) Concrete curbs that extend into the public right-of-way are not allowed.
 - c) Close unused driveway cuts.
 - d) Proposed driveway width to be 26'.
 - e) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
9. **SNI:** This project is located within the Thirteenth Street SNI area. Public improvements shall conform to the approved EIR and neighborhood improvement plan.
10. **Sanitary:** Submit a conceptive sanitary sewer plan at the PD stage.



GENERAL DEVELOPMENT PLAN - EXHIBIT "C"

LAND USE PLAN



TITLE LEGAL DESCRIPTION

PARCEL, INC.
 LOTS 24 AND 25 IN BLOCK 3, AS SHOWN AND DELINEATED UPON THAT CERTAIN MAP ENTITLED, "MAP OF BLOCKS 1 AND 2 AND 3 OF THE VESTAL TRACT, SUBDIVISION BY S.E. RUPPE AND COMPANY," MAP FILED ON SEPTEMBER 14, 1967, VOLUME 17, AT PAGE 88, SANTA CLARA COUNTY RECORDS, APRIL 249-11-023.

PARCEL, TWO
 LOTS 26 AND 27 IN BLOCK 3, AS DELINEATED AND SET FORTH UPON MAP ENTITLED, "MAP OF BLOCKS 1, 2 AND 3 OF THE VESTAL TRACT," MAP FILED ON SEPTEMBER 14, 1967, VOLUME 17, AT PAGE 88, SANTA CLARA COUNTY RECORDS, APRIL 249-11-024 AND 249-11-025.

THE PROPERTY DESCRIBED HEREIN IS THE SAME PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. ACS-87947-14AS, EFFECTIVE NOVEMBER 3, 2011.

LEGEND

----- BOUNDARY OF PROPOSED REZONING

⊙ EXISTING 1-STORY BUILDING TO BE DEMOLISHED

▨ COMMERCIAL (C-2.3 AC)

BUILDING AREA DATA

BUILDING AREA: 7,700 SF.

FAR: 33.6%

SITE DATA

SITE AREA: 22,918 SF. (5.3 AC)

CURRENT ZONING: CP-PEDESTRIAN COMMERCIAL

PROPOSED ZONING: POP-PLANNED DEVELOPMENT PERMIT

BUILDING AREA: 7,700 SF

LANDSCAPE AREA: 5,222 SF. (22.7%)

PARKING / LOADING: 8,274 SF. (36.1%)

SIDEWALKS: 1,443 SF. (6.3%)

PARKING

PARKING REQUIRED:

RETAIL SALES: BASED ON NET BSA OF GROSS BUILDING
 7,700 SF x .85 = 6,545 SF.
 6,545 SF./400 = 17 STALLS

PARKING PROPOSED:

2: STANDARD (8.5:17)
 1: ACCESSIBLE (2:3:1)
 22 STALLS

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Stantec

Stantec Architecture Inc.
 1333 N. 103rd Street
 Peabody, CA U.S.A. 94954 | Fax: 707.765.9308
 Tel: 707.765.1600 | Fax: 707.765.9308
 www.stantec.com | Service# 200111005

AutoZone STORE DEVELOPMENT

PREPARED FOR: AutoZone Store #314096
 761 & 777 N. 13th Street
 SAN JOSE CA 95112

LAND USE PLAN

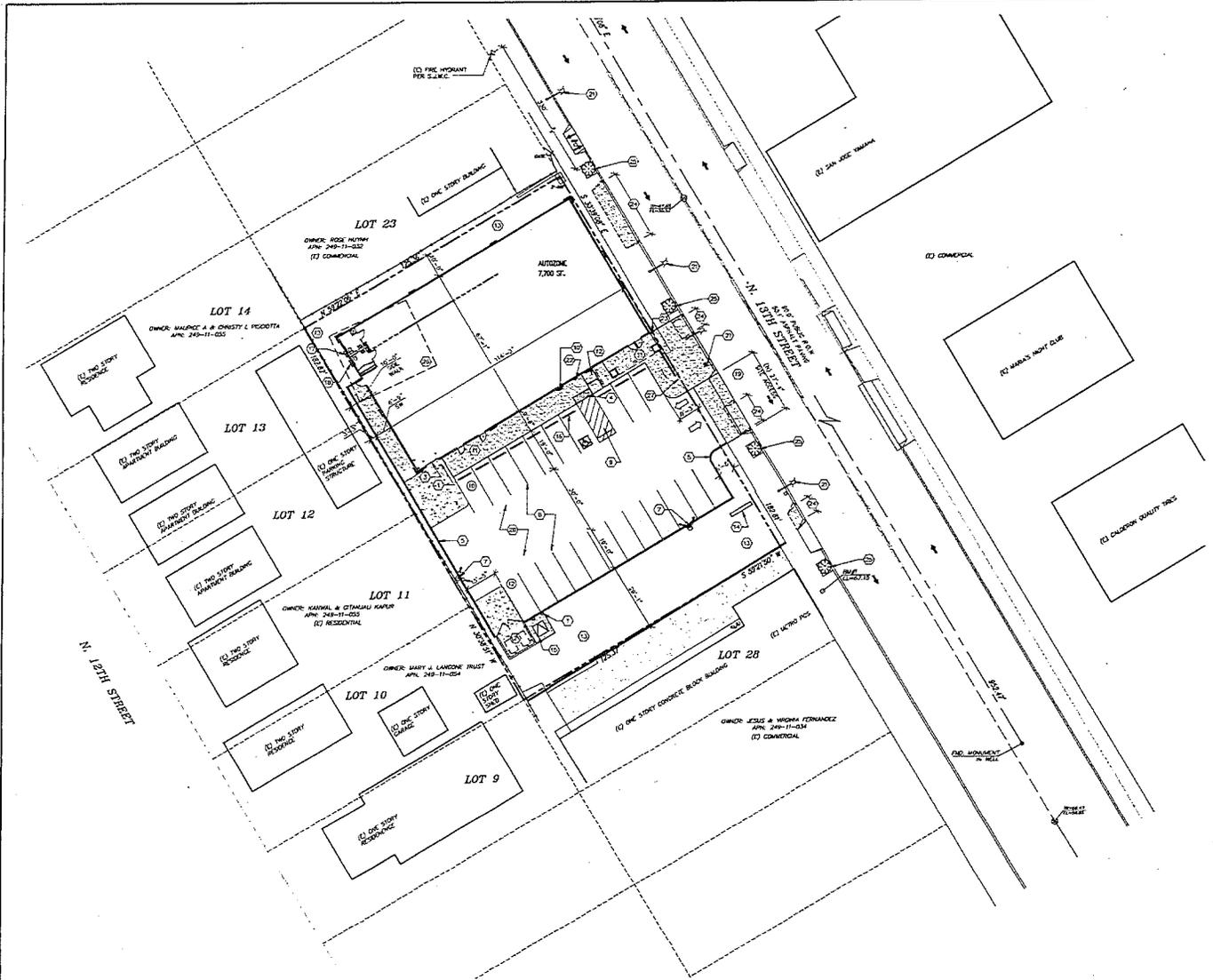
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REVISIONS	
1	REV. 08/29/11
2	11/08/11
3	01/20/12
4	06/08/12
5	
6	
7	

ARCHITECT: GMS
 DRAFTSMAN: CFB
 CHECKED BY:

2

PRELIMINARY



GENERAL DEVELOPMENT PLAN – EXHIBIT "C"
CONCEPTUAL SITE PLAN

LEGEND		
	EXISTING CONCRETE CURB TO REMAIN	
	NEW CONCRETE CURB	
	NEW CONCRETE PAVING - HEAVY DUTY SECTION	
	NEW CONCRETE SIDEWALK	
	NEW CONCRETE PAVING - LIGHT DUTY SECTION	

PROJECT DIRECTORY		
AGENCY	CONTRACT NAME	PHONE NUMBER
ARCHITECT REPRESENTATIVE	GARY SEMIANG	(707) 795-1960
ARCHITECT REPRESENTATIVE	PHIL PEDRO	(909) 450-7302

- KEY NOTES**
- ① PIPE GUARD (TYP.), SEE DETAIL 14 & 15/C.L.A.
 - ② COVERED GUY TRASH ENCLOSURE
 - ③ WALL UP SERVICE DOOR
 - ④ (N) DETECTABLE WARNING SURFACE (TYP.), SEE DETAIL 21/C.L.A.
 - ⑤ CURB & GUTTER, SEE CIVIL DWGS.
 - ⑥ (N) CONCRETE PAVING - LIGHT DUTY SECTION
 - ⑦ (N) 2' HIGH YARDLIGHT, SEE DET 5/C.L.A.
 - ⑧ 4" WIDE PAINTED PARKING STRIPE (TYP.)
 - ⑨ 4" WIDE PAINTED DIAGONAL STRIPE 3 FT. O.C., SEE DETAIL 10/C.L.A.
 - ⑩ HANDCAP PARKING SIGN, WALL MOUNTED, SEE DETAIL 10/C.L.A.
 - ⑪ (N) CONCRETE SIDEWALK
 - ⑫ CONCRETE HANDCAP RAMP - MAXIMUM SLOPE 1:12 (8.33%) MAXIMUM CROSS SLOPE 1:50 (2.00%)
 - ⑬ (N) LANDSCAPE AREA
 - ⑭ (N) MONUMENT SIGN LOCATION UNDER SEPARATE PERMIT
 - ⑮ (N) ELECTRICAL TRANSFORMER ON CONCRETE PAD
 - ⑯ (N) CONCRETE WHEEL STOP (TYP.), SEE DETAIL 1/C.L.A.
 - ⑰ (N) ELECTRICAL SWITCHGEAR LOCATION
 - ⑱ (N) NATURAL GAS METER LOCATION
 - ⑲ (N) ACCESSIBLE DRINKWAY PER CITY OF SAN JOSE STANDARDS
 - ⑳ (N) PAVING - HEAVY DUTY SECTION
 - ㉑ STREET LIGHT TO REMAIN
 - ㉒ (N) WALL MOUNTED TOW-AWAY SIGN AT STALL
 - ㉓ (N) SA ACCESSIBLE DIRECTIONAL SIGN
 - ㉔ PORTION OF ⑬ CURB CUT TO BE REMOVED AND REPLACED WITH SIDEWALK
 - ㉕ (E) STREET TREE TO REMAIN
 - ㉖ (E) ONE STORY BUILDING TO BE DEMOLISHED
 - ㉗ 6" CONC. CURB WITH HAUD RAIL

BUILDING AREA DATA	
BUILDING AREA:	7,700 SF.
FAR:	33.6%

SITE DATA	
SITE AREA:	22,918 SF. (.53 AC)
CURRENT ZONING:	CP-PEDESTRIAN COMMERCIAL
PROPOSED ZONING:	PDP-PLANNED DEVELOPMENT PERMIT
BUILDING AREA:	7,700 SF.
LANDSCAPE AREA:	5,222 SF. (22.7%)
PARKING / LOADING:	8,274 SF. (36.1%)
SIDEWALKS:	1,443 SF. (6.3%)

PARKING	
PARKING REQUIRED:	
RETAIL SALES:	BASED ON NET 85% OF GROSS BUILDING 7,700 SF x .85 = 6,545 SF. 6,545 SF./400 = 17 STALLS
PARKING PROPOSED:	21 STANDARD (8.5'x17')
TOTAL:	1 ACCESSIBLE (8'x14') 22 STALLS

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Stantec
Stantec Architecture Inc. | Tel. 707.795.1650
1383 N. Adobe Blvd | Fax. 707.795.9939
Folsom, CA U.S.A. 94554 | www.stantec.com | Scale: 20011108

PREPARED FOR:

AutoZone STORE DEVELOPMENT
Site #1-4096
781 & 777 N. 13th Street
SAN JOSE CA 95112

CONCEPTUAL SITE PLAN

SCALE: 1"=20'-0"

REVISIONS	
1	08/19/11
2	11/08/11
3	07/20/12
4	06/18/09
5	
6	
7	

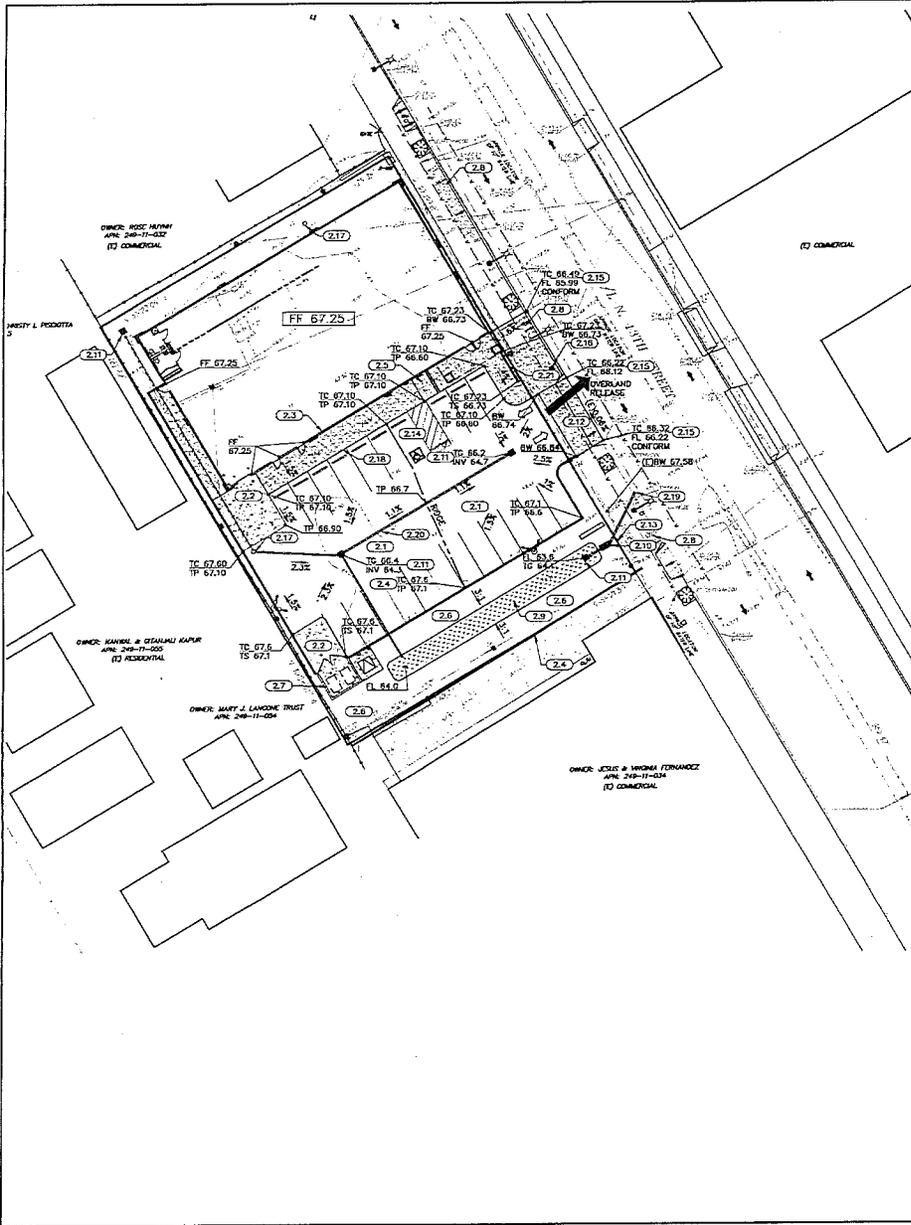
ARCHITECT: CMS

DRAFTSMAN: CRB

CHECKED BY:

3

PRELIMINARY



GRADING LEGEND

	EXISTING SPOT ELEVATION
	PROPOSED ELEVATION
	DIRECTION OF DRAINAGE FLOW
	PROPERTY LINE
	RIIDGE
	DROP INLET
	SIDEWALK CONCRETE PAVEMENT
	NEW STORM DRAIN
	BIO-RETENTION SWALE

BW	BACK OF WALK	CB	GRADE BREAK
HP	HIGH POINT	TC	TOP OF CURB
FL	FLOW LINE	TP	TOP OF GRATE
RW	INVERT ELEVATION	TP	TOP OF PAVEMENT
LD	EDGE OF SWALE OR GUTTER	FF	FINISHED FLOOR
TS	TOP OF SLAB		

- KEY NOTES**
- 2.1 NEW ASPHALT PAVEMENT.
 - 2.2 NEW CONCRETE PAVEMENT.
 - 2.3 NEW RAISED CONCRETE WALK.
 - 2.4 NEW CONCRETE CURB.
 - 2.5 ACCESSIBLE RAMP, 8.33% MAX. SLOPE, WITH A 2% MAXIMUM CROSS-SLOPE.
 - 2.6 LANDSCAPE AREA.
 - 2.7 TRASH ENCLOSURE.
 - 2.8 NEW OFFSITE CONCRETE SIDEWALK, CURB & GUTTER PER CITY OF SAN JOSE STANDARDS.
 - 2.9 BIO-RETENTION, DETAIL REFER TO SHEET 46.
 - 2.10 PUMP STATION.
 - 2.11 24" x 24" DROP INLET.
 - 2.12 NEW COMMERCIAL DRIVEWAY PER CITY OF SAN JOSE STANDARDS.
 - 2.13 SCREEN WALL PER ARCHITECTURAL PLAN.
 - 2.14 ACCESSIBLE PARKING SPACE, 2% MAX. SLOPE IN ALL DIRECTIONS.
 - 2.15 LIMIT OF IMPROVEMENT, CONFORM TO EXISTING GRADES.
 - 2.16 RELOCATE LIGHT POLE.
 - 2.17 STORM DRAIN CLEANOUT.
 - 2.18 0" FLUSH CURB, ADD TRUNCATED DOMES WHERE NECESSARY.
 - 2.19 UNDER SIDEWALK DRAIN.
 - 2.20 STORM DRAIN PVC PIPES.
 - 2.21 HANDRAIL ON 6" CURB.

FLOOD ZONE NOTE

1. THIS PROJECT IS IN FLOOD ZONE X FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) ON IN COMMUNITY - PANEL NO. 060803 0200

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Stantec

Stantec Architecture Inc.
 Tel: 707.355.1650
 Fax: 707.355.9939
 1383 N. Market Blvd.
 Redwood City, CA U.S.A. 94061

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
 Site No: 4096
 761 & 777 N. 13th Street
 SAN JOSE CA 95112

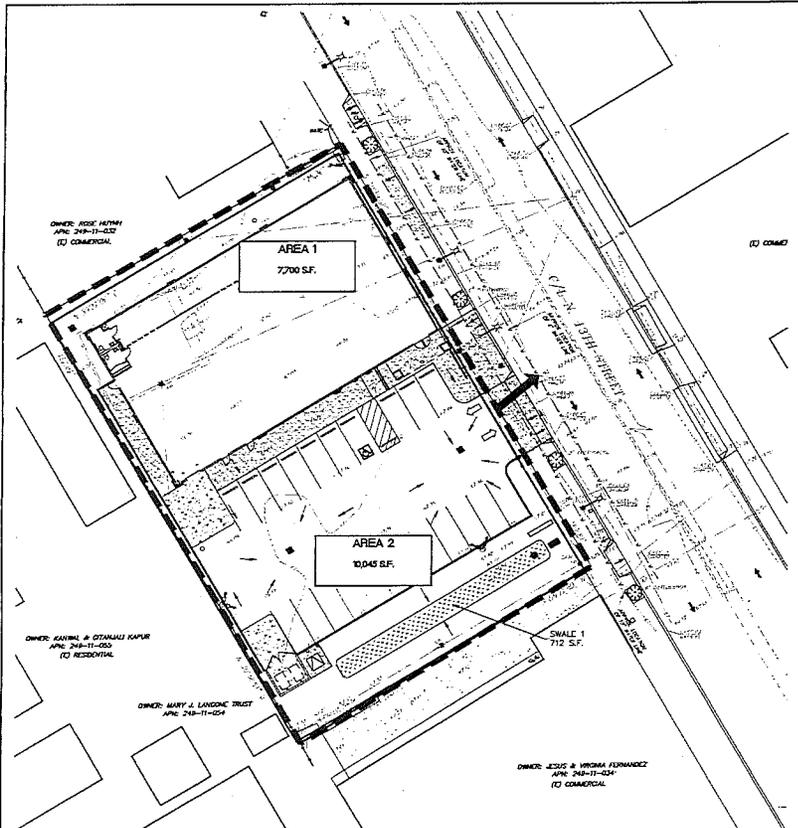
CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISIONS	
1. REV. BY	08/19/11
2. REV. BY	11/09/11
3. REV. BY	01/30/12
4. REV. BY	05/31/12
5.	
6.	
7.	

ARCHITECT: GMS
 DRAFTSMAN: CRB
 CHECKED BY:

4

PRELIMINARY



INSTRUCTIONS FOR FILING A PLANNED DEVELOPMENT ZONING

Page 4

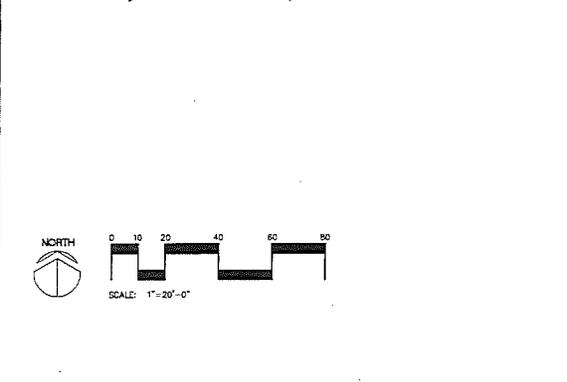
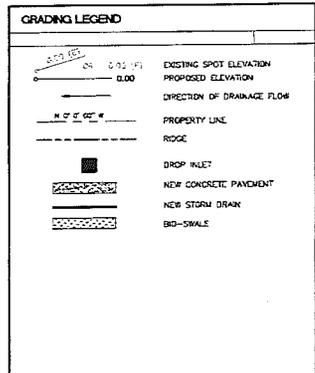
Should Number 4 - "Conceptual Stormwater Management Plan" Plan of site to include, but not be limited to the following:

1. Detailed conceptual landscape architect and other the same shall set the conceptual site plan, showing terms, ground cover, tree plantings, etc. Plans to be included shall be prepared as required by the City of San Jose, where landscaping is to be done in a public park, park or a school or other of non-profit nature, a comprehensive landscape site plan, or a landscape plan for a school.
2. The particular function and location of each shall be identified. Where landscaping is proposed in a public park, the responsibility shall be for the City.
3. The landscape architectural plans shall include a detailed list of plant materials, including type of material, spacing, size, color, etc., and use of material. Conceptual landscape plans are not typically required for non-profit educational institutions.

Please include this table on the stormwater/grading plan.

Area	Surface	Area (SF)	Area (Acres)
Roof	7700	0.18	0.18
Concrete	10,045	0.23	0.23
Asphalt Paving	19,135	0.44	0.44
Grass	0	0.00	0.00
Other	0	0.00	0.00
Total	36,880	0.84	0.84

PLEASE CALL THE APPOINTMENT DESK AT (408) 298-2653 FOR AN APPLICATION APPOINTMENT.



BMP NUMERIC SIZING CALCULATION

AREA ID	SURFACE	TOTAL AREA (S.F.)	BMP TO BE USED	DESIGN FACTOR	TREATMENT AREA REQUIRED (S.F.)	TREATMENT AREA PROVIDED (S.F.)
AREA 1	ROOF	7,700 (0.18 ACRES)	BIO-RETENTION	0.04	708	712
AREA 2	CONCRETE ASPHALT PAVING	10,045 (0.23 ACRES)	BIO-RETENTION	0.04	708	712
TOTAL		17,745			708	712

1 BIO-RETENTION

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Stantec

AutoZone STORE DEVELOPMENT

Site No: 40095
761 & 777 N. 13th Street
SAN JOSE CA 95112

ARCHITECT: GMS
DRAFTSMAN: CRB
CHECKED BY:

11/08/11
11/08/11
01/09/12
01/10/12

SCALE: 1"=20'-0"

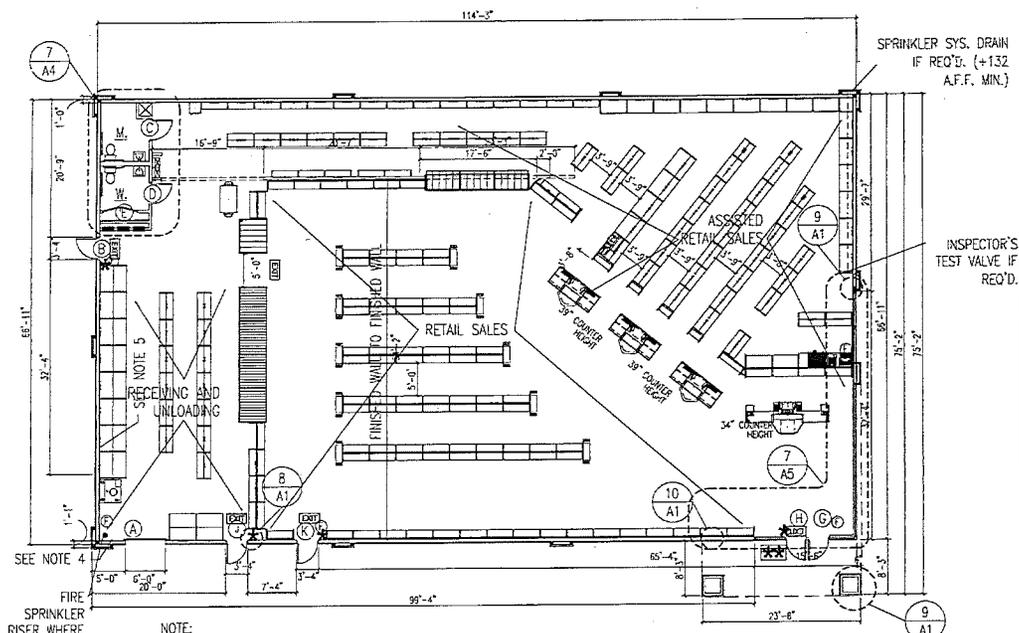
REVISIONS

4a

PRELIMINARY

Stantec Architecture Inc.
1383 N. McLaughlin Blvd.
Fremont, CA U.S.A. 94534
Tel: 707.765.1600
Fax: 707.765.9888
www.stantec.com

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SPRINKLER RISER WHERE REQUIRED BY CODE.

NOTE:
 2A 10BC FIRE EXTINGUISHER, G.C. INSTALL EITHER ON WALL SURFACE, COLUMN, OR ALUM. MULLION.
 MTD. HT. = 3'-6" A.F.F. TO TOP OF EXTINGUISHER.
 [Symbol] DENOTES LOCATION OF LIGHTED EXIT SIGNS. SEE NOTES COVER SHEET AND LIGHTING PLAN SHEET E-3
 * REFER TO DETAIL 8 SHEET A-3.1 FOR TACTILE EXIT SIGN DETAIL.
 [Symbol] REFER TO DETAIL 9 SHEET A-3.1 FOR INTERNATIONAL ACCESS SIGN

1/8" = 1'-0"

FLOOR PLAN

- REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINKS, AND ROOF FRAMING.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND DETAILS OF SIDEWALKS, PIPE GUARDS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND EXTERIOR FINISHED GRADES AROUND THE BUILDING.
- INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL STRIP BETWEEN THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE ENTIRE PERIMETER OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CURTAIN WALL. TOP OF STRIP TO BE 9" A.F.F. REFER TO SHEET A-4 FOR DETAILS OF CURTAIN WALL.
- SEE SHEET M-2 FOR LOCATION OF NON FREEZE YARD HYDRANT AND INSTALLATION REQUIREMENTS.
- INSTALL 1/2" x 4'-0" x 8'-0" AC PLYWOOD HORIZONTALLY WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON A STUD. APPLY PLYWOOD TO THE FACE OF GYPSUM BOARD WITH SCREWS TO FACILITATE FUTURE REPLACEMENT. SEE INTERIOR ELEVATIONS SEE 3/44.
- SEE SPECIFICATIONS FOR INFORMATION ON ITEMS NOT COMPLETELY DELINEATED ON THE DRAWINGS.

2 FLOOR PLAN NOTES

LOCATION	FLOOR	BASE	WALLS	CLG.	REM.				
	SEALED COG.	NON COMP. HIGH TILE	TWIL	CHERRY TILE	DIP. BLD.	FERT.	PLYWOOD DECK	DIP. BLD.	
SALES AREA	●	●	●	●	●	●	●	●	SEE SHEET A-4
REST ROOMS	●	●	●	●	●	●	●	●	

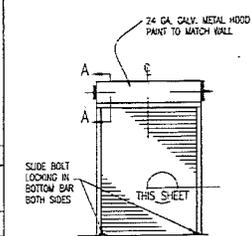
3/16" = 1'-0"

3 ROOM FINISH SCHEDULE

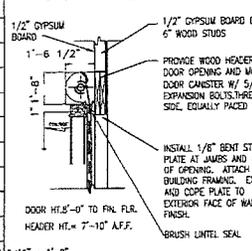
NO.	SIZE	TYPE	FRAME	JAMB DET.	HEAD DET.	ADA / EXIT HARDWARE	SEE SECTION HEAD OF THE SPECIFICATIONS
A	6'-0" x 8'-0"	STEEL OVERHEAD ROLL-UP	STEEL ANGLE	B7/68/A3	627/A1		
B	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	B/A1	B/A1	EXIT DEVICE FOR THIS DOOR WILL HAVE AN INTEGRAL SLINGER, OTHER MAN DOORS WILL NOT	
C	3'-0" x 6'-6" x 1-3/4"	S.C. WOOD UNDERCUT DOOR 1"	HOLLOW METAL	B/A1	B/A1	LEVER HANDLE PRIVACY SETS	
D	3'-0" x 6'-6" x 1-3/4"	S.C. WOOD UNDERCUT DOOR 1"	HOLLOW METAL	B/A1	B/A1	LEVER HANDLE PRIVACY SETS	
E	2'-6" x 6'-6" x 1-3/4"	S.C. WOOD UNDERCUT DOOR 1"	HOLLOW METAL	B/A1	B/A1	UNDERCUT DOOR 1" (PAIR REQUIRED)	
G	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM	ALUMINUM			SEE MANUFACTURER'S SHOP DRAWINGS	
H	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM	ALUMINUM			SEE MANUFACTURER'S SHOP DRAWINGS	
J	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	B/A1	B/A1		
K	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	B/A1	B/A1		

4 DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES

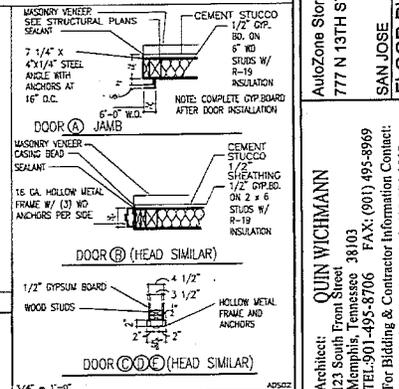
6 OVERHEAD DOOR ELEVATION



NOTE: G.C. TO INSTALL 6" x 8'-0" ALUMINUM CHAIN GUARD ON WALL AT OPERATING SIDE



7 OVERHEAD DELIVERY DOOR



8 JAMB DETAILS



REVISIONS	NO.	DATE	DESCRIPTION
1	4		
2	5		
3	6		

AutoZone Store No. 4086
 777 N 13TH STREET
 SAN JOSE CA 95112

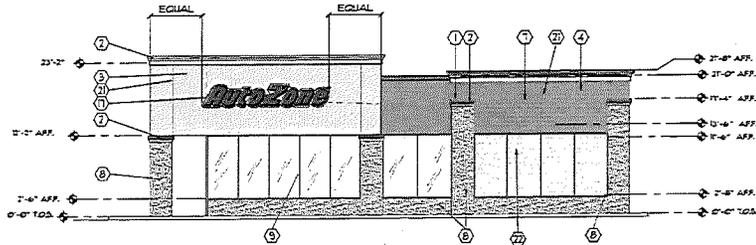
Architect: QUINN WICHMANN
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-8706 FAX: (901) 495-8969
 For Bidding & Contractor Information Contact:
 P. W. Dodge Plan Room Tel. 615-884-1017

10/25/11
 7N2-L
 5

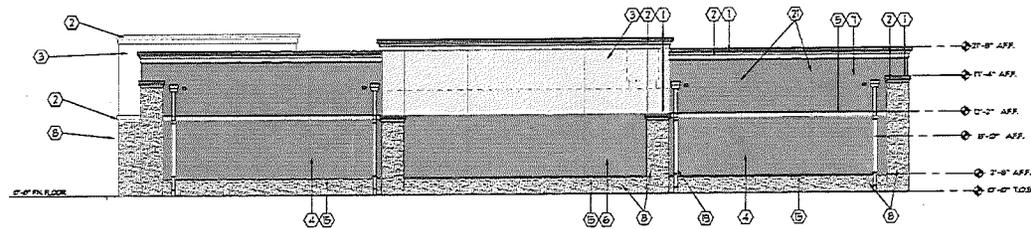
65 LCC 02/01/11 2003

KEYNOTES

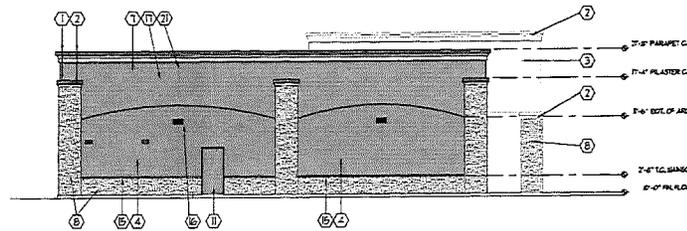
- ① Galvanized primed steel painted metal coping Color: Line steel medium bronze
- ② Suction Finish on Cornice - Color: SW-6091 RELIABLE WHITE
- ③ Suction Finish - Color: SW 6091 RELIABLE WHITE
- ④ Suction Finish - Color: SW 6038 NLT/HATCH
- ⑤ Suction Finish on Accent Trim - Color: SW-6091 RELIABLE WHITE
- ⑥ Suction Finish - Color: SW-6038 NLT/HATCH
- ⑦ Suction Finish - Color: SW 6038 NLT/HATCH
- ⑧ CS-1 Cultured Stone - Southern Ledgesstone Charoanthy
- ⑨ Aluminum Storefront Color: Manufacturer finish AutoZone Red Kymar
- ⑩ Storefront Doors - Clear finish Aluminum
- ⑪ Paint door SW 6855 & frame black
- ⑫ Delivery Door - Do not paint, Paint Frame black
- ⑬ Pt. wall vents to match wall color
- ⑭ Pipe Guards w/ plastic sleeve Color: Red
- ⑮ Cultured stone sill - Color to match stone veneer
- ⑯ Walk Pank Lifting
- ⑰ 42" hood sign, Reviewed under separate permit
- ⑱ HVAC units behind parapets
- ⑲ Scaupers and downspouts painted to match background wall color, Adjacent 4" x 6" overflow scupper, Flashes 2" above roof.
- ⑳ 8" Tall white letters for address on Coarsening background
- ㉑ 1" V - groove stone joint
- ㉒ Aluminum Storefront Color: Manufacturer finish AutoZone Red Kymar, with black opaque glass



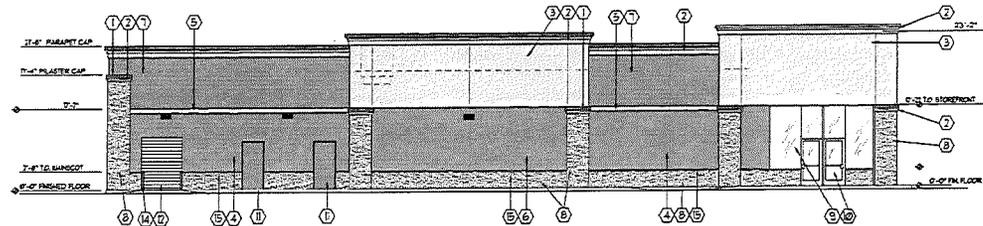
EXTERIOR ELEVATION - FRONT 1



EXTERIOR ELEVATION - RIGHT SIDE 2



EXTERIOR ELEVATION - REAR 3



EXTERIOR ELEVATION - LEFT SIDE 4

	AutoZone Store No. 4086 777 N 13TH STREET SAN JOSE CA 95112 COLOR ELEVATIONS																
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">REVISE</td> <td style="width: 25%;">DATE</td> <td style="width: 25%;">BY</td> <td style="width: 25%;">NO.</td> </tr> <tr> <td>1</td> <td>12/15/11</td> <td></td> <td>4</td> </tr> <tr> <td>2</td> <td></td> <td></td> <td>5</td> </tr> <tr> <td>3</td> <td></td> <td></td> <td>6</td> </tr> </table>	REVISE	DATE	BY	NO.	1	12/15/11		4	2			5	3			6	Architect: PHILIP RECORD 123 South Front Street Memphis, Tennessee 38103 TEL: 901-495-8706 FAX: (901) 495-8969 For Bidding & Contractor Information Contact: F. W. Dodge Plan Room Tel. 615-884-1017
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