



Memorandum

TO: HONORABLE MAYOR
AND CITY COUNCIL

FROM: Planning Commission

SUBJECT: SEE BELOW

DATE: November 17, 2011

COUNCIL DISTRICT: 6
SNI AREA: N/A

SUBJECT: FILE NO. PDC11-002. PLANNED DEVELOPMENT REZONING FROM THE RM-MULTIPLE RESIDENCE ZONING DISTRICT TO THE RM(PD) PLANNED DEVELOPMENT ZONING DISTRICT TO ALLOW BETWEEN 7 AND 8 SINGLE-FAMILY RESIDENCES ON AN APPROXIMATELY 0.56-GROSS-ACRE SITE ON THE SOUTH SIDE OF PAULA STREET, 200 FEET WESTERLY OF RACE STREET.

RECOMMENDATION

The Planning Commission voted 5-0-2 (Commissioners Kline and Kamkar absent) to recommend that the Council approve the proposed Planned Development Rezoning from the RM-Multiple Residence Zoning District to the RM(PD) Planned Development Zoning District to allow between 7 and 8 single-family residences on an approximately 0.56-gross-acre site on the south side of Paula Street, 200 feet westerly of Race Street.

OUTCOME

Should the Council approve the Planned Development Rezoning, upon approval of a Planned Development Permit, the applicant would be allowed to develop seven to eight (7-8), two-story, single-family detached or attached residences oriented towards a common private driveway.

BACKGROUND

On November 16, 2011, the Planning Commission opened a public hearing to consider the proposed Planned Development Rezoning. The Director of Planning, Building and Code Enforcement recommended approval of the proposed Rezoning.

Staff provided introductory comments explaining that the primary purpose of the rezoning was to change the existing RM-Multiple Residence Zoning District on the site to allow seven to eight single-family detached residences or development of attached residences under the existing RM-Multiple Residence Zoning District standards, and that the proposed rezoning is consistent with the land use designations and Major Strategies of both the San José 2020 General Plan and the Envision San José 2040 General Plan, as well as the City of San José Residential Design Guidelines.

Kamil Navai, representing the applicant, stated that he agreed with the analysis of the project in the staff report.

No one from the public spoke on the item.

The Planning Commission commented on the proposal's consistency with the Residential Design Guidelines, 2020 General Plan, and 2040 General Plan. The Planning Commission then approved the staff recommendation, 5-0-2, with Commissioners Kamkar and Kline absent.

ANALYSIS

A complete analysis of the issues regarding this project, including General Plan conformance, is contained in the attached staff report.

EVALUATION AND FOLLOW-UP

A Planned Development Permit will be required to be filed to implement the proposed rezoning.

PUBLIC OUTREACH/INTEREST

- Criterion 1:** Requires Council action on the use of public funds equal to \$1 million or greater. **(Required: Website Posting)**
- Criterion 2:** Adoption of a new or revised policy that may have implications for public health, safety, quality of life, or financial/economic vitality of the City. **(Required: E-mail and Website Posting)**
- Criterion 3:** Consideration of proposed changes to service delivery, programs, staffing that may have impacts to community services and have been identified by staff, Council or a Community group that requires special outreach. **(Required: E-mail, Website Posting, Community Meetings, Notice in appropriate newspapers)**

Although this item does not meet any of the above criteria, staff followed Council Policy 6-30: Public Outreach Policy. A notice of the public hearing was distributed to the owners and tenants of all properties located within 500 feet of the project site and posted on the City website. The

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rezoning was also published in a local newspaper, the Post-Record. This memorandum is also posted on the City's website. Staff has been available to respond to questions from the public.

COORDINATION

This project was coordinated with the Department of Public Works and the City Attorney.

CEQA

Mitigated Negative Declaration.

/s/

JOSEPH HORWEDEL, SECRETARY
Planning Commission

For questions, please contact Mike Enderby, Senior Planner at 408-535-7843.

Attachments: Planning Commission Staff Report
Draft General Development Standards
Reduced Plans
Public Works Memo

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC11-002

Submitted: January 21, 2011

PROJECT DESCRIPTION:

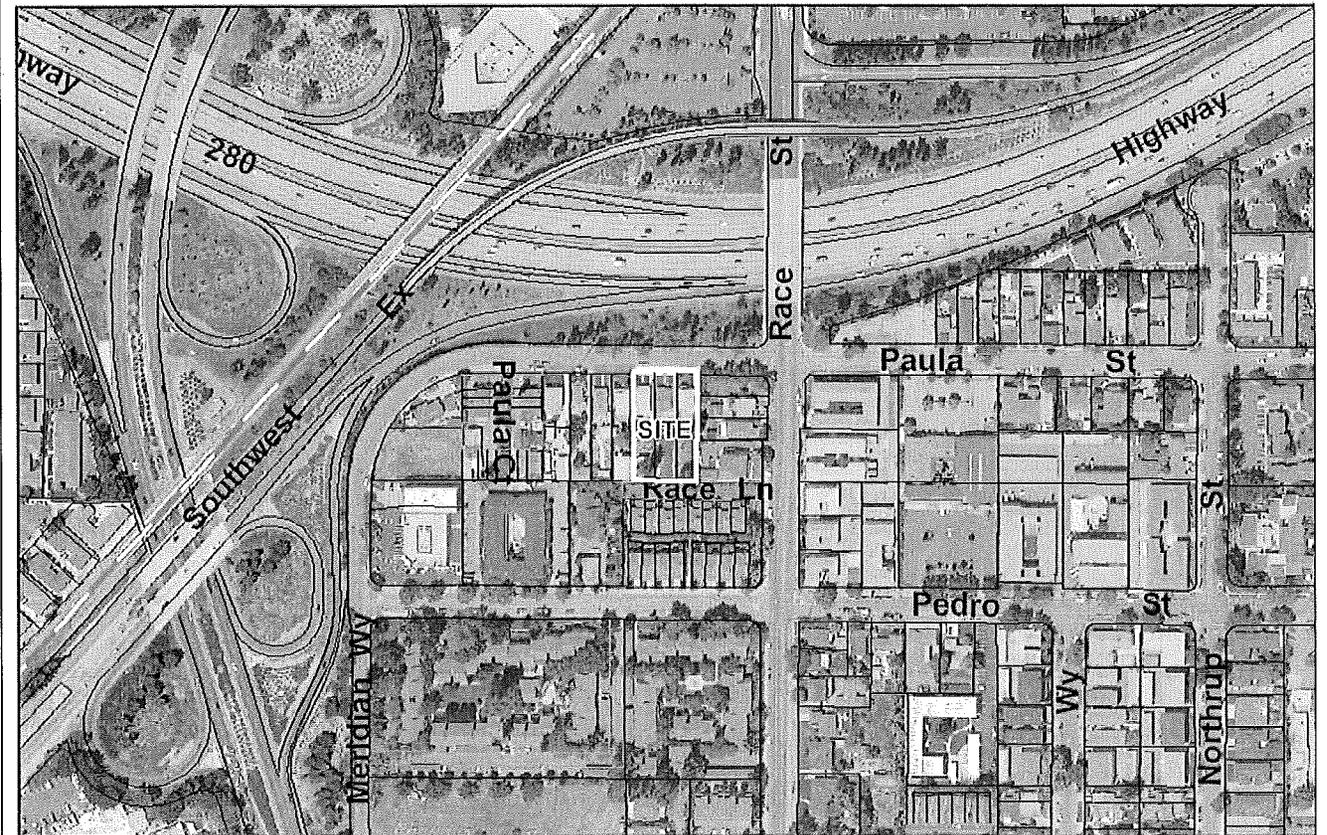
A Planned Development Rezoning to allow between 7 and 8 single-family residences on an approximately 0.56 gross-acre site.

LOCATION:

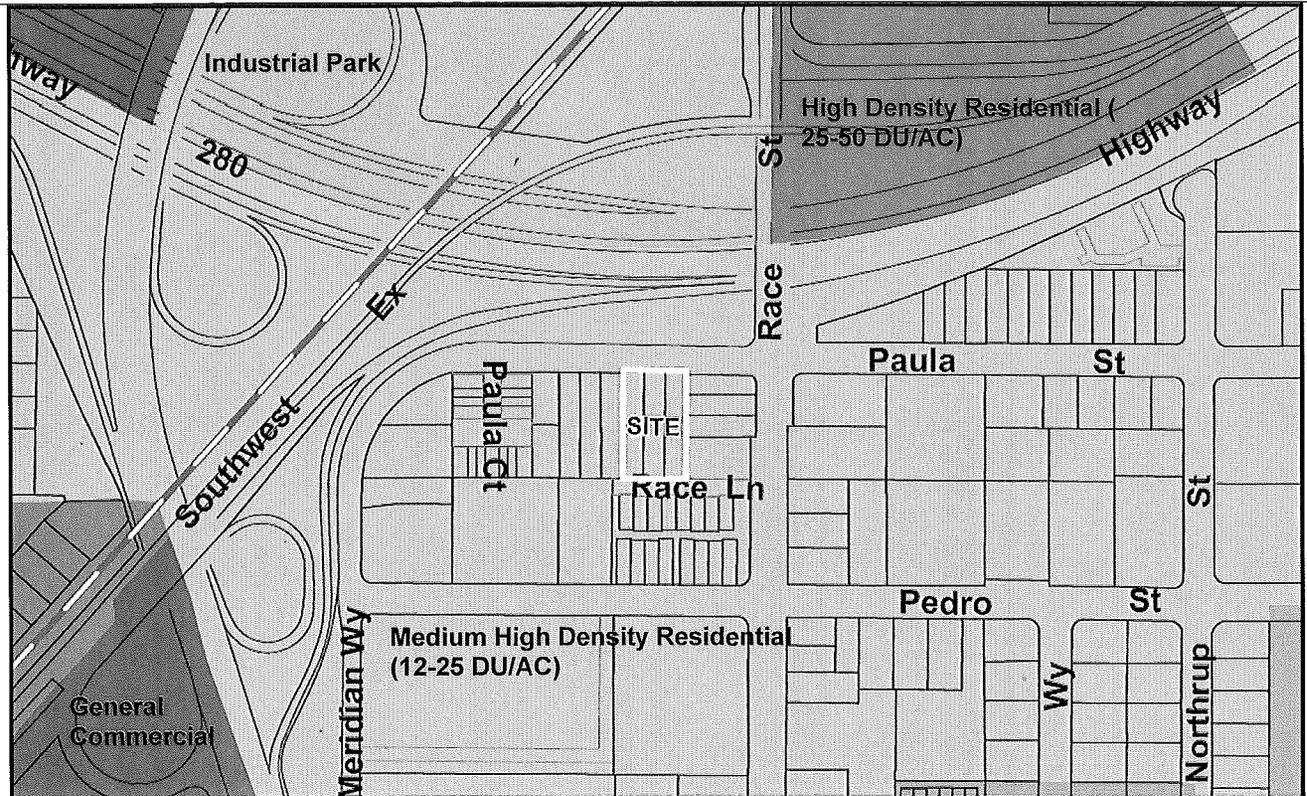
South side of Paula Street, approximately 200 feet westerly of Race Street (1024,1044, and 1050 Paula Street).

Existing Zoning	R-M Multiple Residence
Proposed Zoning	R-M (PD) Planned Development
2020 General Plan	Medium High Density Residential (12-25 DU/AC)
2040 General Plan	Mixed-Use Neighborhood up to 30 DU/AC
Council District	6
Annexation Date	November 29, 2006
SNI	NA
Historic Resource	NA
Redevelopment Area	NA
Specific Plan	NA

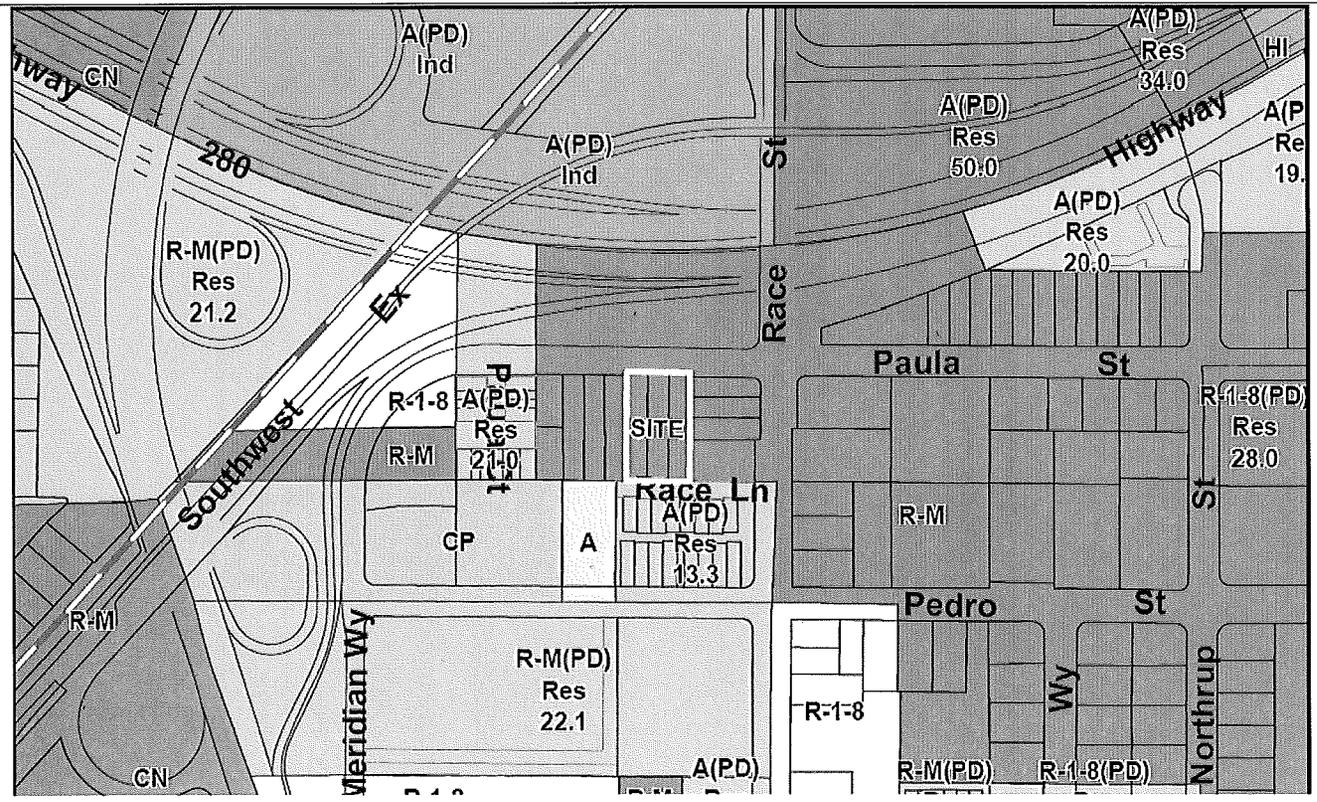
Aerial Map



GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends approval of the proposed Planned Development Rezoning to allow for the development of 7 or 8 single-family residences on the subject site for the following reasons:

1. The proposed project with a density of between approximately 16 to 19 DU/AC is consistent with the density San José 2020 General Plan land use designation of Medium High Density Residential (12-25 DU/AC) and with the Envision 2040 General Plan land use designation of Mixed-Use Neighborhood up to 30 DU/AC.
2. The proposed project is consistent with the San José 2020 General Plan Growth Management Major Strategy, as the change will facilitate infill development within an urbanized area.
3. The proposed project is consistent with the San José 2020 General Plan Housing Major Strategy, as the project will provide housing in a form that is compatible with the surrounding development pattern.
4. The project is consistent with the Residential Design Guidelines.

BACKGROUND AND DESCRIPTION

The applicant, Rockwell Homes, Inc., is requesting to rezone the subject 0.56 gross-acre site on the south side of Paula Street, approximately 200 feet westerly of Race Street (1024, 1044, and 1050 Paula Street) from the R-M Multiple Residence Zoning District to the R-M (PD) Planned Development Zoning District to allow seven to eight (7-8) single-family detached or attached residences.

A Planned Development Zoning is required to meet the applicant's objective of an 8-unit single-family detached development on the subject site. The conventional R-M Multiple Residence Zoning District allows multiple units, but only one such unit may be detached. For these reasons, the applicant has requested to rezone the site to the proposed Planned Development Zoning District.

The subject site consists of three parcels, each of which is developed with a single-family residence. The proposal includes demolition of all existing structures as well as removal of up to three ordinance-size trees and two non-ordinance size trees from the subject site.

The proposed development standards would allow seven to eight (7-8), two-story, single-family detached or attached residences oriented towards a common private driveway. The general overall configuration of the conceptual site plan is that of a traditional single-family house in that each unit will have a distinct front yard, private backyard and small side yards. The key difference is that the units will face onto a common driveway rather than a public street. There are two unit designs proposed, each with three bedrooms and an attached two-car (side-by-side) garage. The units are two stories tall and range in size from 1,668 to 1,996 square feet. The project includes six on-site guest parking spaces.

Site and Surrounding Land Uses

The project site is comprised of three separate parcels, each with an existing house dating from between 1910 and 1936, that were not deemed to be historically significant. Surrounding developments to the south of the project site are condominium and rental apartment townhomes (12-25 DU/AC). To the east and west is a mix of single-family residential and multi-family residential development, and to the north is Interstate Highway 280.

Previous Planning Approvals

The site was previously rezoned to the R-M Multiple Residence Zoning District and annexed into the City of San José on May 10, 2006 as part of the Sunol No. 74 Annexation. On December 1, 2009, the Planning Director approved a Site Development Permit, File No. H07-014, to allow construction of twelve single-family attached residences on the 0.57-gross-acre site. This site development permit has since expired and is no longer in effect. If approved, the proposed Planned Development Zoning would require approval of a Planned Development Permit to effectuate the Planned Development Zoning District on the site.

ANALYSIS

The primary issues for this proposed zoning include the following: 1) conformance with the San José 2020 General Plan, 2) conformance with the Envision San José 2040 General Plan, 3) site design consistency with the Residential Design Guidelines, and 4) conformance with the California Environmental Quality Act (CEQA).

Consistency with the San José 2020 General Plan

The subject application was filed before the approval of the Envision San Jose 2040 General Plan and is therefore deemed to be a “pipeline project” and eligible for consideration based on consistency with the San José 2020 General Plan. The subject 0.56-gross-acre site is designated Medium High Density Residential (12-25 DU/AC) on the San José 2020 General Plan Land Use/Transportation Diagram. This would equate to a unit range of 6 to 10 units for a project design which appropriately deducts or “nets-out” the land area for the private street as part of the density calculation. In this case, the proposed project density with 8 units is 19 DU/AC. Development under this designation is typified by two-story buildings with multiple units and surface parking. Properties, such as this, located within a reasonable walking distance of a planned or existing rail station are generally encouraged to be developed at a minimum density of 20 units per acre under this land use designation. (A reasonable walking distance is defined as approximately 2,000 feet along a safe pedestrian route). The subject site is located approximately 1,500 feet from the Race Street light rail station.

The inclusion of an additional unit and related required parking to literally meet the 20 DU/AC goal would most likely result in the need for some of the units to be modified to three stories in height. Given the overall small project site size and adjacency to existing single-family houses on the sides, three story units would not meet the more stringent setback requirements identified in the Residential Design Guidelines. For this reason, staff feels that the 19 DU/AC density meets the general intent of the General Plan policy, but also that the proposed development conforms to the Housing Major Strategy policy which is to ensure that new development is compatible with surrounding uses.

The increase in residential units on the existing subject infill site is consistent with the San José 2020 General Plan Growth Management Major Strategy. The purpose of the Growth Management Major Strategy is to find the balance between the need to house new residents and the need to balance the City’s budget, while providing acceptable levels of service. The proposed project will facilitate infill development within an urbanized area that is supported by existing infrastructure and facilities including a nearby Light Rail Transit Station and commercial amenities.

Consistency with the Envision San Jose 2040 General Plan

As previously noted this project was substantially analyzed based on policies within the San Jose 2020 General Plan and may be considered for approval based solely of those policies. That said, it is worthwhile to note that the proposed project is consistent with the density and typology of residential development intended under the Envision 2040 General Plan land use designation of Mixed Use Neighborhood. This designation is applied to areas that are intended for development with either townhouse or small-lot single-family residences and also to existing neighborhoods that were historically developed with a wide variety of housing types, including a mix of residential densities and forms.

Site Design

The site layout generally complies with the principles contained in the Residential Design Guidelines that are intended for compatible relationships between units and proper integration with the surrounding neighborhood. Per the Guidelines, the project generally meets the definition of a rowhouse development. The project proposes a 15-foot minimum setback from Paula Street, consistent with other recently approved projects on Paula Street. The project was designed to maximize landscaping along the main entry drive. A 10-foot minimum setback from existing single-family rear yards will be provided with portions that include a 15 setback to provide more useful private open space and better building articulation along the rear sides of the buildings. The setbacks proposed are appropriate for two story buildings. The proposed on-site parking conforms to the Residential Design Guidelines. Two covered parking spaces per residence and at least six common guest-parking spaces will be required under the Planned Development Zoning. The project provides two covered parking spaces for each unit.

The Residential Design Guidelines recommend that all setback areas be landscaped generously and that ordinance-size trees be considered for preservation. The project proposes removal of up to three ordinance-size trees, which comprise all the existing ordinance-size trees on-site. However, tree removals are proposed to be mitigated per City of San José standard mitigation tree planting ratios. Additional new trees beyond mitigation are also proposed on-site, resulting in twenty-one 24-inch box trees and six 15-gallon trees along with substantial new landscaping and open space, about 35 percent of the site area.

The building designs are well articulated and roofs slope toward the side property lines to provide greater light and air between buildings. Further refinement of the design will occur at the Planned Development Permit stage.

Compatibility with the Neighborhood

The proposed single-family detached residences are comparable in terms of use, mass, scale, and height with existing surrounding residential development. The use of two story buildings, rather than three stories, will enable the project to be more compatible with the existing single-family homes that border some portions of the project's perimeter. Sound walls to address freeway noise are proposed along the property lines shared by other residences. Landscaping will provide a buffer between the new project and adjacent properties. The project's building setback line on Paula Street is consistent with the setback previously established by the adjacent residential development.

Environmental Review

A Mitigated Negative Declaration (MND) is scheduled to be adopted on November 9, 2011, and states that the proposed Planned Development Rezoning will not have a significant effect on the environment.

The primary issues addressed in the Initial Study include the potential impacts of the physical development of the site on biological resources and noise. The MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. The mitigation measures will be included in the development standards of the Planned Development Zoning. The entire MND and Initial Study are available for review on the Planning web site at: www.sanjoseca.gov/planning/eir/MND.asp

Conclusion

In summary, the proposed project is consistent with the San José 2020 General Plan. The project conforms to the Residential Design Guidelines in terms of setbacks, building mass, scale and separations, along with open space, parking and overall landscaping. With the mitigation measures included in the project, the proposal will not create a significant adverse effect upon the environment.

PUBLIC OUTREACH/INTEREST

The property owners and occupants within a 500-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public. As of the date of the writing of this staff report, staff had received two e-mailed general inquiries, and staff has responded to both and provided links to project information including environmental documentation on the Planning Division web page.

Project Manager: Jenny Nusbaum **Approved by:**  **Date:** November 4, 2011

Owner/Applicant: Kamil Navai ROCKWELL HOMES INC. 2160 S BASCOM AVE. CAMPBELL CA 95008	Attachments: <ul style="list-style-type: none">▪ Draft Development Standards▪ Draft Mitigated Negative Declaration▪ Draft General Development Plan Set
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DRAFT
FILE NO. PDC11-002
DEVELOPMENT STANDARDS

USE ALLOWANCE: Single-family and multi-family residential

NUMBER OF UNITS (RANGE): 7 to 8 units

SETBACKS (PROJECT PERIMETER):

Paula Street - 15 feet (10 feet to the front porch)

Western project perimeter- 10 feet

Eastern project perimeter- 10 feet

Southern project perimeter- 5 feet

SETBACKS (PROJECT INTERIOR BETWEEN PROPOSED LOTS):

Primary private entry driveway- 8 feet (6 feet for porch); Second story may have bay windows, roofs, and other minor projections encroach up to 3 feet into the 8-foot setback

Secondary common driveway- 4 feet

Side between other project units- 3 feet

MAXIMUM BUILDING HEIGHT: 30 feet / 2 stories

MINIMUM PARKING REQUIREMENTS: Two covered parking spaces per unit and at least six (6) off-street common guest-parking spaces.

PRIVATE OPEN SPACE:

350 square feet, however at least 225 square feet must have a minimum width of 15 feet. All required ground floor private open space areas must abut the western, eastern or southern project perimeter property line.

ACCESSORY STRUCTURES/BUILDINGS:

- Not Permitted, except for low structures such as hot tubs or barbeques that are less than 4 feet tall and meet all building codes.

SECONDARY UNITS:

- Not Permitted.

ARCHITECTURAL DESIGN:

- The architectural design of the houses shall be consistent with the intent of the Residential Design Guidelines.

HOMEOWNERS' ASSOCIATION:

A Homeowner's Association shall be established to oversee maintenance of all common areas, including driveways/courtyards and landscaping. All landscaping in front yard and common areas within the project site shall be maintained by the Homeowners' Association or other similar entity. Automatic irrigation shall be provided.

SEWAGE TREATMENT DEMAND:

Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.

ENVIRONMENTAL MITIGATION

- I. **AIR QUALITY -**
Standard Measures: The BAAQMD has prepared a list of feasible construction dust control measures that can reduce construction impacts to a less than significant level. The following construction practices shall be implemented during all phases of construction on the project site:
- Water all active construction areas at least twice daily and more often during windy periods to prevent visible dust from leaving the site; active areas adjacent to windy periods; active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
 - Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard;
 - Pave, apply water at least three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites;
 - Sweep daily (or more often if necessary) to prevent visible dust from leaving the site (preferably with water sweepers) all paved access roads, parking areas, and staging areas

at construction sites; water sweepers shall vacuum up excess water to avoid runoff-related impacts to water quality;

- Sweep streets daily, or more often if necessary (preferably with water sweepers) if visible soil material is carried onto adjacent public streets;
- Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more);
- Enclose, cover, water at least twice daily, or apply not-toxic soil binders to exposed stockpiles (dirt, sand, etc.) to prevent visible dust from leaving the site;
- Limit traffic speed on unpaved roads to 15 mph;
- Install sandbags or other erosion control measures to prevent silt runoff to public roadways;
- Replant vegetation in disturbed areas as quickly as possible;
- Install wheel washers for all existing trucks, or wash off the tires or tracks of all trucks and equipment leaving the site;
- Install wind breaks, or plant trees/ vegetative wind breaks at windward side(s) of construction areas;
- Suspend excavation and grading activities when winds instantaneous gusts exceed 25 mph; and
- Limit the area subject to excavation grading, and other construction activity at any one time.

II. BIOLOGY MITIGATION MEASURES The project shall implement the following mitigation measures:

MM BIOLOGY 1. If possible, initiation of site clearing and construction should be scheduled between October and December (inclusive) to avoid the raptor nesting season. If this is not possible, pre-construction surveys for nesting raptors shall be conducted by a qualified ornithologist to identify active raptor nests that may be disturbed during project implementation. Between January and April (inclusive) pre-construction surveys shall be conducted no more than 14 days prior to the initiation of construction activities or tree relocation or removal. Between May and August (inclusive), pre-construction surveys no more than thirty (30) days prior to the initiation of these activities. The surveying ornithologist shall inspect all trees in and immediately adjacent to the construction area for raptor nests. If an active raptor nest is found in or close enough to the construction area to be disturbed by these activities, the ornithologist, shall, in consultation with the State of California, Department of Fish & Game (CDFG), designate a construction-free buffer zone (typically 250 feet) around the nest. The applicant shall submit a report to the City's

Environmental Principal Planner indicating the results of the survey and any designated buffer zones to the satisfaction of the Director of Planning prior to the issuance of any grading or building permit.

MM BIOLOGY 2. Surveys for roosting bats shall be conducted by a qualified biologist no more than thirty (30) days prior to any building demolition or removal, construction activities or oak tree trimming. If a female or maternity colony of bats is found on the project site, and the project can be constructed without disturbance to the roosting colony, a bat biologist shall designate buffer zones (both physical and temporal) as necessary to ensure the continued success of the colony. Buffer zones may include a 200-foot buffer zone from the roost and/or timing of the construction activities outside the maternity roosting season (after July 31 and before March 1). If an active nursery roost is known to occur on the site and the project cannot be constructed outside of the maternity roosting season, bats may be excluded after July 31 and before March 1 to prevent the formation of maternity colonies. Such exclusion shall occur under the direction of a bat biologist, by sealing openings and providing bats with one-way exclusion doors. In order to avoid excluding all potential maternity roosting habitat simultaneously, alternative roosting habitat, as determined by the bat biologist, should be in place at least one summer season prior to the exclusion. Oaks overhanging the project site from the adjacent should be preserved to the maximum extent feasible as potential bat roosting habitat. Bat roosts should be monitored as determined necessary by a qualified bat biologist, and the removal or displacement of bats shall be performed in conformance with the requirements of the CDFG. A biologist report outlining the results of pre-construction surveys and any recommended buffer zones or other mitigation shall be submitted to the satisfaction of the City's Environmental Principal Planner prior to the issuance of any grading, building, or tree removal permit.

STANDARD MEASURES: The project shall implement the following standard measures: The City of San José has established regulations for removal of landscape trees at least 18 inches diameter/56 inches in circumference measured two feet above grade. The proposed project shall obtain a permit for the removal of ordinance-sized trees and provide for the replacement of removed trees in conformance with the City of San José Tree Ordinances and shall provide replacement trees in conformance with City policy. Replacement trees shall be over and above the regular landscaping to be provided on the site.

CITY OF SAN JOSÉ STANDARD TREE REPLACEMENT RATIOS				
Diameter of Tree to be Removed	Replacement Ratio (Type of Tree)			Minimum Size of Each Replacement Tree
	Native	Non-Native	Orchard	
18 inches or greater	5:1	4:1	3:1	24-inch box
12 - 18 inches	3:1	2:1	None	24-inch box
less than 12 inches	1:1	1:1	None	15-gallon container

Notes:
X:X = tree replacement to tree loss ratio
Trees greater than 18" diameter shall not be removed unless a Tree Removal Permit, or equivalent, has been approved for the removal of such trees.

During construction

1. No grading, construction, demolition or other work shall occur within the Tree Protection Zone. Any modifications must be approved and monitored by the consulting arborist.
2. Any root pruning required for construction purposes shall receive the prior approval of, and be supervised by, the consulting arborist.
3. Supplemental irrigation shall be applied as determined by the consulting arborist.
4. If injury should occur to any tree during construction, it shall be evaluated as soon as possible by the consulting arborist so that appropriate treatments can be applied.
5. No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the Tree Protection Zone.
6. Any additional tree pruning needed for clearance during construction must be performed or supervised by an Arborist and not by construction personnel.
7. As trees withdraw water from the soil, expansive soils may shrink within the root area. Therefore, foundations, footings and pavements on expansive soils near trees shall be designed to withstand differential displacement.

III. CULTURAL RESOURCES –

Standard Measures: The following standard measures are included in the project to avoid or reduce impacts to archaeological resources during construction:

- If evidence of any archaeological, cultural, and/or historical deposits are found, work within 50 feet of the find shall be stopped to allow adequate time for evaluation and mitigation by a qualified professional archaeologist. If it is determined that further earthmoving could affect a resource eligible for inclusion on the California Register of Historic Resources (CRHR), the project archaeologist should submit a plan for the evaluation of the resource to the City of San José Planning Department for approval. Evaluation normally takes the form of hand excavation of a limited amount of archaeological soils to search for significant archaeological materials and/or information which could demonstrate its CRHR eligibility.
- If evaluative testing demonstrates that a significant resource exists which will be damaged, a mitigation program shall be developed and implemented under the direction of the City's Environmental Division Manager before work is allowed to recommence inside the zone designated as archaeologically sensitive. Mitigation can include additional hand excavation to salvage archaeological materials and/or information, analysis of the materials at a recognized storage facility, and archaeological monitoring of all soils removal from the zone of archaeological sensitivity.
- In the event that human remains and/or cultural materials are found, all project-related construction shall cease within a 50-foot radius in order to proceed with the testing and mitigation measures required. Pursuant to Section 7050.5 of the Health

and Safety Code and Section 5097.94 of the Public Resources Code of the State of California:

- In the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the land owner shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.

IV. GEOLOGY AND SOILS

Standard Measures:

- The proposed structures on the site shall be designed and constructed in conformance with the California Building Code design parameters for Seismic Zone D to avoid or minimize potential damage from seismic shaking on the site.
- The project shall incorporate all recommendations set forth in the geotechnical investigation prepared for the development by American Soil Testing, dated May 17, 2007.

V. HAZARDS AND HAZARDOUS MATERIALS

Standard Measures:

- In conformance with state and local laws, a visual inspection/pre-demolition survey, and possible sampling, will be conducted prior to the demolition of the building to determine the presence of asbestos-containing materials and/or lead-based paint. All potentially friable asbestos-containing materials shall be removed in accordance with National Emissions Standards for Hazardous Air Pollutants (NESHAP) guidelines prior to building demolition or renovation that may disturb the materials. All demolition activities will be undertaken in accordance with Cal/OSHA standards, contained in Title 8 of the California Code of Regulations (CCR), Section 1529, to protect workers from exposure to asbestos. Materials containing more than one percent asbestos are also subject to Bay Area Air Quality Management District (BAAQMD) regulations.
- During demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, California Code of Regulations 1532.1, including employees training, employee air monitoring and dust control. Any debris or soil containing lead-based paint or

coatings will be disposed of at landfills that meet acceptance criteria for the waste being disposed.

VI. HYDROLOGY AND WATER QUALITY

Construction Measures:

- Prior to the commencement of any clearing, grading or excavation, the project shall comply with the State Water Resources Control Board's National Pollutant Discharge Elimination System (NPDES) General Construction Activities Permit, to the satisfaction of the Director of Public Works, as follows:
 1. The applicant shall develop, implement and maintain a Storm Water Pollution Prevention Plan (SWPPP) to control the discharge of storm water pollutants including sediments associated with construction activities;
 2. The applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB).
 3. The project shall incorporate Best Management Practices (BMPs) into the project to control the discharge of storm water pollutants including sediments associated with construction activities. Examples of BMPs are contained in the publication Blueprint for a Clean Bay. Prior to the issuance of a grading permit, the applicant may be required to submit an Erosion Control Plan to the City Project Engineer, Department of Public Works, 200 E. Santa Clara Street, San Jose, California 95113. The Erosion Control Plan may include BMPs as specified in ABAG's Manual of Standards Erosion & Sediment Control Measures for reducing impacts on the City's storm drainage system from construction activities. For additional information about the Erosion Control Plan, the NPDES Permit requirements or the documents mentioned above, please call the Department of Public Works at (408) 535-8300.
- The project applicant shall comply with the City of San Jose Grading Ordinance, including erosion and dust control during site preparation and with the City of San Jose Zoning Ordinance requirements for keeping adjacent streets free of dirt and mud during construction. The following specific BMPs will be implemented to prevent storm water pollution and minimize potential sedimentation during construction:
 1. Restriction of grading to the dry season (April 15 through October 15) or meet City requirements for grading during the rainy season.
 2. Utilize on-site sediment control BMPs to retain sediment on the project site;
 3. Utilize stabilized construction entrances and/or wash racks;
 4. Implement damp street sweeping;
 5. Provide temporary cover of disturbed surfaces to help control erosion during construction;
 6. Provide permanent cover to stabilize the disturbed surfaces after construction has been completed.

Post-Construction

- Prior to the issuance of a Planned Development Permit, the applicant must provide details of specific Best Management Practices (BMPs), including, but not limited to, bioswales, disconnected downspouts, landscaping to reduce impervious surface area, and inlets stenciled “No Dumping – Flows to Bay” to the satisfaction of the Director of Planning, Building and Code Enforcement.
- The project shall comply with Provision C.3 of NPDES permit Number CAS0299718, or subsequent Regional NPDES Permit that is in effect at the time of approval of a development permit, which provides enhanced performance standards for the management of storm water of new development.
- The project shall comply with applicable provisions of the following City Policies – 1) Post-Construction Urban Runoff Management Policy (6-29) which establishes guidelines and minimum BMPs for all projects and 2) Post-Construction Hydromodification Management Policy (8-14) which provides for numerically sized (or hydraulically sized) TCMs.

VII. NOISE

Standard Measures:

- Construction shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday for any on-site or off-site work within 500 feet of any residential unit. Construction outside of these hours may be approved through a development permit based on a site-specific construction noise mitigation plan and a finding by the Director of Planning, Building and Code Enforcement that the construction noise mitigation plan is adequate to prevent noise disturbance of affected residential uses.
- The contractor shall use “new technology” power construction equipment with state-of-the-art noise shielding and muffling devices. All internal combustion engines used on the project site shall be equipped with adequate mufflers and shall be in good mechanical condition to minimize noise created by faulty or poor maintained engines or other components.
- Locate stationary noise-generating equipment as far as possible from sensitive receptors. Staging of construction equipment will be as far as feasible from the sensitive receptors.
- Prohibit unnecessary idling of internal combustion engines.
- Designate a “noise disturbance coordinator” who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator would determine the cause of the noise complaints (e.g., beginning work too early, bad muffler, etc.) and institute reasonable measures warranted to correct the problem. A telephone number for the disturbance coordinator would be conspicuously posted at the construction site.

MITIGATION MEASURES: The project shall implement the following mitigation measures:

MM NOISE 1. All units shall be equipped with forced air ventilation systems to allow the occupants the option of maintaining the windows closed to control noise, and maintain an interior noise level of 45 DNL. Prior to issuance of building permits, the developer shall retain a qualified acoustical consultant to check the building plans for all units to ensure that interior noise levels can be sufficiently attenuated to 45 DNL to the satisfaction of the Director of Planning, Building and Code Enforcement.

MM NOISE 2. As this project is in an area with a noise level between 60 DNL and 70 DNL, this project will include mechanical ventilation, which will allow the windows to be closed for noise control and will reduce the noise levels inside the units by 25 DNL.

MM NOISE 3. Install windows and glass doors so that the sliding window and glass door panels form an air-tight seal when in the closed position and the window and glass door frames are caulked to the wall opening around their entire perimeter with a non-hardening caulking compound to prevent sound infiltration.

MM NOISE 4. The project shall include eight-foot high acoustically-effective barriers along the east and west property lines. The barriers shall turn to connect air tight to the sides of the homes on Lots 1 and 8 (the lots nearest Paula Street). Barrier height shall be measured in reference to the nearest building pad elevation.

MM NOISE 5. The project shall include six-foot high acoustically effective fences between the homes on Lots 1 and 2 and between the homes on Lots 7 and 8 (the four lots closest to Paula Street). Barrier height shall be measured in reference to the nearest building pad elevation.

VIII. PUBLIC SERVICES –

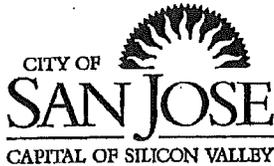
Standard Measure: The project proposes to implement the following standard measure:

- In accordance with Government Code §65996, the developer shall pay a school impact fee to offset the increased demands on school facilities caused by the proposed project.

IX. RECREATION -

Standard Measure: The project proposes to implement the following standard measure to reduce impacts to parks:

- Conform with the City's Park Impact Ordinance (PIO) and Parkland Dedication Ordinance (PDO).



Department of Planning, Building and Code Enforcement
JOSEPH HORWEDEL, DIRECTOR

PUBLIC NOTICE
INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION
CITY OF SAN JOSÉ, CALIFORNIA

1024, 1044, and 1050 Paula Street, San Jose, File No. PDC11-002.

A Planned Development Rezoning to rezone from R-M Residential Zoning District to R-M(PD) Planned Development Zoning District and subsequent permits for a residential development to allow at least 7 and at most 8 detached single-family residences on an approximately 0.56 gross-acre site located on the south side of Paula Street, approximately 200 feet westerly of Race Street. The project is located in Council District 6.

The City has performed environmental review on the project. Environmental review examines the nature and extent of any adverse effects on the environment that could occur if a project is approved and implemented. Based on the review, the City has prepared a draft Mitigated Negative Declaration (MND) for this project. An MND is a statement by the City that the project will not have a significant effect on the environment if protective measures (mitigation measures) are included in the project.

The public is welcome to review and comment on the draft Mitigated Negative Declaration.

The public review period for this draft Mitigated Negative Declaration begins on **October 20, 2011** and ends on **November 9, 2011**.

The Planning Commission will consider the Mitigated Negative Declaration for the proposed project on November 16, 2011, at 6:30 p.m. in the City Council chambers. The decision to approve or deny the project described above will be made separately as required by City Ordinance.

The draft Mitigated Negative Declaration, initial study, and reference documents are available online at: <http://www.sanjoseca.gov/planning/eir/MND.asp>.

The documents are also available for review from 9:00 a.m. to 5:00 p.m. Monday through Friday at the City of San Jose Department of Planning, Building & Code Enforcement, located at City Hall, 200 East Santa Clara Street; and at the Dr. Martin Luther King, Jr. Main Library, located at 150 E. San Fernando Street.

For additional information, please call Jenny Nusbaum at (408) 535-7872 or by e-mail at jenny.nusbaum@sanjoseca.gov.

Joseph Horwedel, Director
Planning, Building and Code Enforcement

Deputy

Circulated on: October 20, 2011

DRAFT
MITIGATED NEGATIVE DECLARATION

The Director of Planning, Building and Code Enforcement has reviewed the proposed project described below to determine whether it could have a significant effect on the environment as a result of project completion. "Significant effect on the environment" means a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by the project including land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance.

NAME OF PROJECT: Paula Terrace Villas

PROJECT FILE NUMBER: PDC11-002

PROJECT DESCRIPTION: A Planned Development Rezoning from R-M Residential Zoning District to R-M(PD) Planned Development Zoning District and subsequent permits for a residential development consisting of at least 7 and up to 8 single-family detached residential dwelling units on an approximately 0.56 gross-acre site. The project also includes removal of up to three existing single-family houses, two garages converted to residential use, and trees; and subdividing three existing lots into eight lots and a common lot.

PROJECT LOCATION & ASSESSORS PARCEL NO.: South side of Paula Street, about 200 feet west of Race Street (1024,1044, and1050 Paula Street), San Jose CA APN 264-07-033 & 034 & 055;

COUNCIL DISTRICT: 6

APPLICANT CONTACT INFORMATION: Rockwell Homes, 2160 South Bascom Avenue, Campbell, CA 95008 Contact person: Kamil Navai

FINDING

The Director of Planning, Building & Code Enforcement finds the project described above will not have a significant effect on the environment in that the attached initial study identifies one or more potentially significant effects on the environment for which the project applicant, before public release of this draft Mitigated Negative Declaration, has made or agrees to make project revisions that clearly mitigate the effects to a less than significant level.

MITIGATION MEASURES INCLUDED IN THE PROJECT TO REDUCE POTENTIALLY SIGNIFICANT EFFECTS TO A LESS THAN SIGNIFICANT LEVEL

- I. **AESTHETICS** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- II. **AGRICULTURE RESOURCES** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- III. **AIR QUALITY** – The project will not have a significant impact on this resource, therefore no mitigation is required.

IV. BIOLOGICAL RESOURCES – The project site may provide habitat for wildlife species associated with urban areas. Trees in urban areas provide food and cover for wildlife adapted to this environment, including birds such as house finch, mourning dove, house sparrow, and Brewer's blackbird. In addition, mature trees on the project site may provide nesting habitat for raptors (birds of prey). Raptors and their nests are protected under the Migratory Bird Treaty Act of 1918 and California Department of Fish and Game (CDFG) Code Sections 3503 and 3503.5. Although no raptors or nests have been observed on the site, mature trees suitable for raptor nesting occur on the site. Despite the disturbed nature of the site, there remains the potential for raptors to nest in these trees. The houses and garages on the project site could potentially provide habitat for bats or locations for bat roosts.

MITIGATION MEASURES: The project shall implement the following mitigation measures:

- If possible, initiation of site clearing and construction should be scheduled between October and December (inclusive) to avoid the raptor nesting season. If this is not possible, pre-construction surveys for nesting raptors shall be conducted by a qualified ornithologist to identify active raptor nests that may be disturbed during project implementation. Between January and April (inclusive) pre-construction surveys shall be conducted no more than 14 days prior to the initiation of construction activities or tree relocation or removal. Between May and August (inclusive), pre-construction surveys no more than thirty (30) days prior to the initiation of these activities. The surveying ornithologist shall inspect all trees in and immediately adjacent to the construction area for raptor nests. If an active raptor nest is found in or close enough to the construction area to be disturbed by these activities, the ornithologist, shall, in consultation with the State of California, Department of Fish & Game (CDFG), designate a construction-free buffer zone (typically 250 feet) around the nest. The applicant shall submit a report to the City's Environmental Principal Planner indicating the results of the survey and any designated buffer zones to the satisfaction of the Director of Planning prior to the issuance of any grading or building permit.
- Surveys for roosting bats shall be conducted by a qualified biologist no more than thirty (30) days prior to any building demolition or removal, construction activities or oak tree trimming. If a female or maternity colony of bats is found on the project site, and the project can be constructed without disturbance to the roosting colony, a bat biologist shall designate buffer zones (both physical and temporal) as necessary to ensure the continued success of the colony. Buffer zones may include a 200-foot buffer zone from the roost and/or timing of the construction activities outside the maternity roosting season (after July 31 and before March 1). If an active nursery roost is known to occur on the site and the project cannot be constructed outside of the maternity roosting season, bats may be excluded after July 31 and before March 1 to prevent the formation of maternity colonies. Such exclusion shall occur under the direction of a bat biologist, by sealing openings and providing bats with one-way exclusion doors. In order to avoid excluding all potential maternity roosting habitat simultaneously, alternative roosting habitat, as determined by the bat biologist, should be in place at least one summer season prior to the exclusion. Oaks overhanging the project site from the adjacent should be preserved to the maximum extent feasible as potential bat roosting habitat. Bat roosts should be monitored as determined necessary by a qualified bat biologist, and the removal or displacement of bats shall be performed in conformance with the requirements of the CDFG. A biologist report outlining

the results of pre-construction surveys and any recommended buffer zones or other mitigation shall be submitted to the satisfaction of the City's Environmental Principal Planner prior to the issuance of any grading, building, or tree removal permit.

- V. **CULTURAL RESOURCES** – The project will not have a significant impact on cultural resources, therefore no mitigation is required.
- VI. **GEOLOGY AND SOILS** – The project will not have a significant impact on greenhouse gas emissions nor create significant greenhouse gas emissions, therefore no mitigation is required.
- VII. **GREENHOUSE GAS EMISSIONS** – The project will not have a significant impact on greenhouse gas emissions nor create significant greenhouse gas emissions, therefore no mitigation is required.
- VIII. **HAZARDS AND HAZARDOUS MATERIALS** – The project will not have a significant impact on hazards and hazardous materials nor create significant hazards or hazardous materials, therefore no mitigation is required.
- IX. **HYDROLOGY AND WATER QUALITY** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- X. **LAND USE AND PLANNING** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- XI. **MINERAL RESOURCES** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- XII. **NOISE** – A noise report was prepared for the project by Edward L. Pack Associates on June 3, 2011. The noise report found that the major contributor to noise at the project site is traffic on Interstate Highway 280, located north of the project site. Noise from other nearby streets does not affect the site. Outdoor noise levels were measured at 67 dB DNL at the first floor elevation and 70 dB DNL at the second floor elevation. Noise levels will exceed the City's standards for exterior noise exposure, which is normally 60 dB DNL. For sites in (1) the Downtown Core Area, in (2) the vicinity of the Norman Y. Mineta San Jose International Airport or (3) adjacent to major roadways 65 dBA DNL can be considered acceptable. If noise in all outdoor use areas cannot feasibly be reduced to 60 dBA DNL, the noise impact may be considered mitigated to a less-than-significant level if noise in at least one of the required outdoor use areas (all private open space areas or all required common open space) can be reduced to 65 dBA. A noise level of 65 dBA DNL is considered consistent with residential land uses by the Department of Housing and Urban Development, the Federal Aviation Administration, and the State of California. These standards take into account the impacts of noise on human health. The noise report provides two mitigation options, one requiring walls up to 12 feet high along the side property lines, and one requiring walls eight feet high. The higher walls would reduce noise levels to within the 60 dB DNL standard, but are considered too high to be feasible or desirable in a residential side yard. The eight-foot walls, which are still two feet higher than a standard side yard wall, would reduce noise levels to within the 65 dB DNL standard. The project site is exposed to noise from a major roadway, so qualifies for

the higher noise standard.

Interior Noise Levels

The noise report projected that interior noise levels would be 52 and 55 dB DNL at the first and second floors of proposed buildings. The City's interior noise standard is 45 dB DNL. The proposed sound barriers would not fully mitigate interior noise levels. The noise report recommends the use of windows with a Sound Transmission Class of 30. Because windows would generally be closed to maintain acceptable noise levels, mechanical ventilation would be required.

MITIGATION MEASURES: The project shall implement the following mitigation measures:

- All units shall be equipped with forced air ventilation systems to allow the occupants the option of maintaining the windows closed to control noise, and maintain an interior noise level of 45 DNL. Prior to issuance of building permits, the developer shall retain a qualified acoustical consultant to check the building plans for all units to ensure that interior noise levels can be sufficiently attenuated to 45 DNL to the satisfaction of the Director of Planning, Building and Code Enforcement.
- As this project is in an area with a noise level between 60 DNL and 70 DNL, this project will include mechanical ventilation, which will allow the windows to be closed for noise control and will reduce the noise levels inside the units by 25 DNL.
- Install windows and glass doors so that the sliding window and glass door panels form an air-tight seal when in the closed position and the window and glass door frames are caulked to the wall opening around their entire perimeter with a non-hardening caulking compound to prevent sound infiltration.
- The project shall include eight-foot high acoustically-effective barriers along the east and west property lines. The barriers shall turn to connect air tight to the sides of the homes on Lots 1 and 8 (the lots nearest Paula Street). Barrier height shall be measured in reference to the nearest building pad elevation.
- The project shall include six-foot high acoustically effective fences between the homes on Lots 1 and 2 and between the homes on Lots 7 and 8 (the four lots closest to Paula Street). Barrier height shall be measured in reference to the nearest building pad elevation.

XIII. POPULATION AND HOUSING – The project will not have a significant impact on this resource, therefore no mitigation is required.

XIV. PUBLIC SERVICES – The project will not have a significant impact on this resource, therefore no mitigation is required.

XV. RECREATION – The project will not have a significant impact on this resource, therefore no mitigation is required.

XVI. TRANSPORTATION / TRAFFIC – The project will not have a significant impact on traffic, therefore no mitigation is required.

XVII. UTILITIES AND SERVICE SYSTEMS – The project will not have a significant impact on this resource, therefore no mitigation is required.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE – As discussed in the previous Biological Resource section, the proposed project could potentially have significant environmental effects with respect to biological resources and noise. With the above noted mitigation, however, the impacts of the proposed project would be reduced to a less than significant level.

PUBLIC REVIEW PERIOD

Before 5:00 p.m. on **November 9, 2011**, any person may:

1. Review the Draft Mitigated Negative Declaration (MND) as an informational document only; or
2. Submit written comments regarding the information, analysis, and mitigation measures in the Draft MND. Before the MND is adopted, Planning staff will prepare written responses to any comments, and revise the Draft MND, if necessary, to reflect any concerns raised during the public review period. All written comments will be included as part of the Final MND.

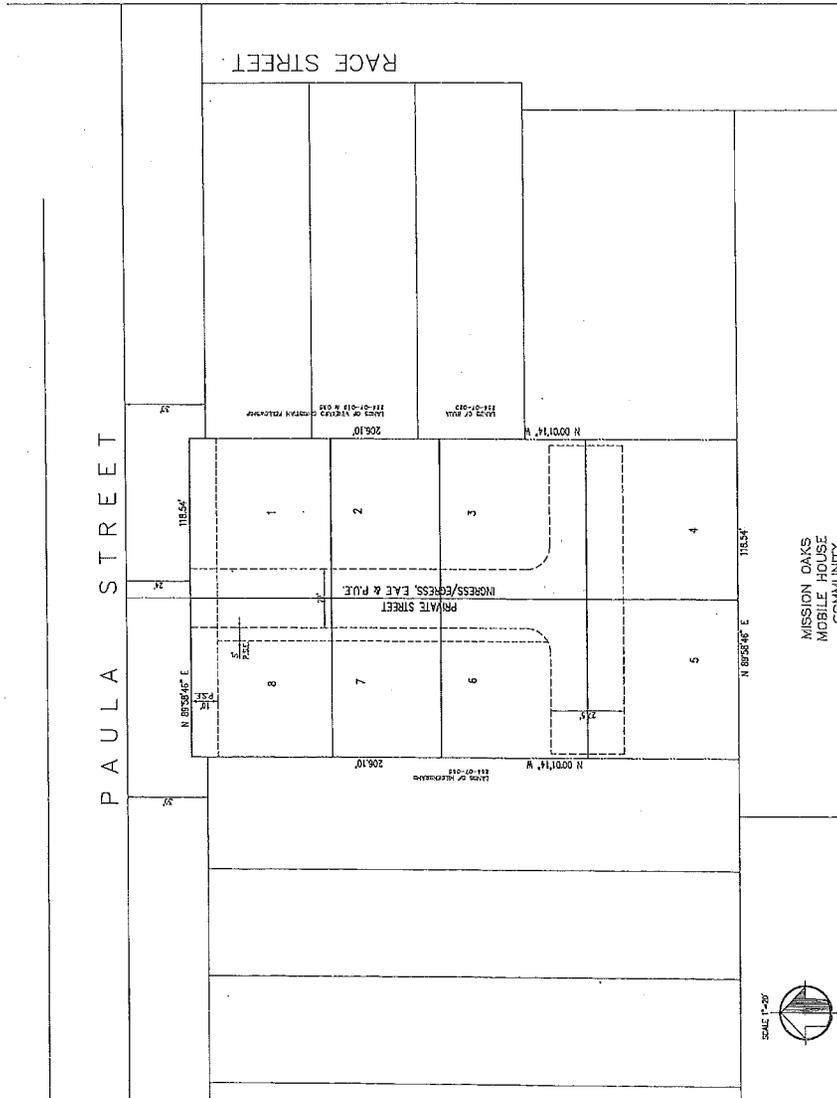
Joseph Horwedel, Director
Planning, Building and Code Enforcement



Deputy

Circulated on: October 20, 2011

ROCKWELL HOMES - PAULA TERRACE



- SHEET INDEX**
- 1 TITLE SHEET
 - 2 LAND USE PLAN
 - 3 CONCEPTUAL SITE PLAN
 - 4 CONCEPTUAL GRADING & DRAINAGE PLAN
 - 5 CONCEPTUAL STORM WATER CONTROL PLAN
 - 6-8 CONCEPTUAL BUILDING ELEVATIONS
 - 9-10 CONCEPTUAL FLOOR PLANS
 - 11 CONCEPTUAL LANDSCAPE PLAN



SCALE 1"=20'



SCALE : 1" = 20'



APPROVED BY

MHI Engineering Co.
 10075 NICHARD BLVD. #1000
 MORGAN HILL, CA 95037
 (408) 778-7381
 FAX: (408) 238-5772

GENERAL DEVELOPMENT PLAN

TITLE SHEET

ROCKWELL HOMES - PAULA TERRACE

NO.	DESCRIPTION	DATE	BY	APP. BY

1 of 11

PROJECT AREA/LAND USE TABLE
(APN 264-07-033, 034 & 055)

DESCRIPTION	AREA (SF)	PERCENTAGE (%)
PRIVATE STREET & PARKING	5,824	23.03
PUBLIC LANDSCAPE AREA	3,774	15.20
PRIVATE OPEN SPACE	5,311	21.74
PRIVATE HARDSCAPE	1,182	6.47
(GARAGE APPROXS, PORCHES, WALKS & CURBS)		
BUILDING FOOTPRINT	8,200	33.56
TOTAL (GROSS SITE)	24,431 (0.560 AC)	100.00
NET SITE	18,666 (0.429 AC)	
NUMBER OF DWELLING UNITS PER NET ACRE	18	
FLOOR AREA RATIO	N/A	
PROPOSED ONSITE PARKING	22	
PARKING RATIO	(20.6/0=2.6)	
FLOOR AREA RATIO		57.30%

- LAND USE LEGEND**
-  PRIVATE STREET & PARKING
 -  SINGLE FAMILY RESIDENTIAL DETACHED
 -  PD ZONING BOUNDARY LINE



DMH Engineering Co.
16075 VINEYARD BOULEVARD, MORGAN HILL, CA 95037
(408) 775-7251 FAX (408) 228-5712

APPROVED BY:

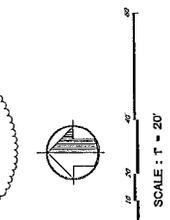
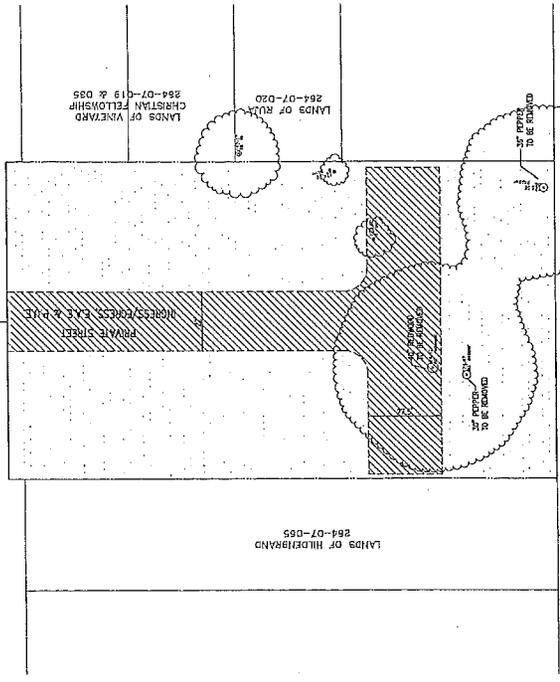
DESIGNED	DATE
APPROVED	DATE

LAND USE PLAN
ROCKWELL HOMES - PAULA TERRACE

NO.	DESCRIPTION	DATE
1		11/11
2		

2 of 2

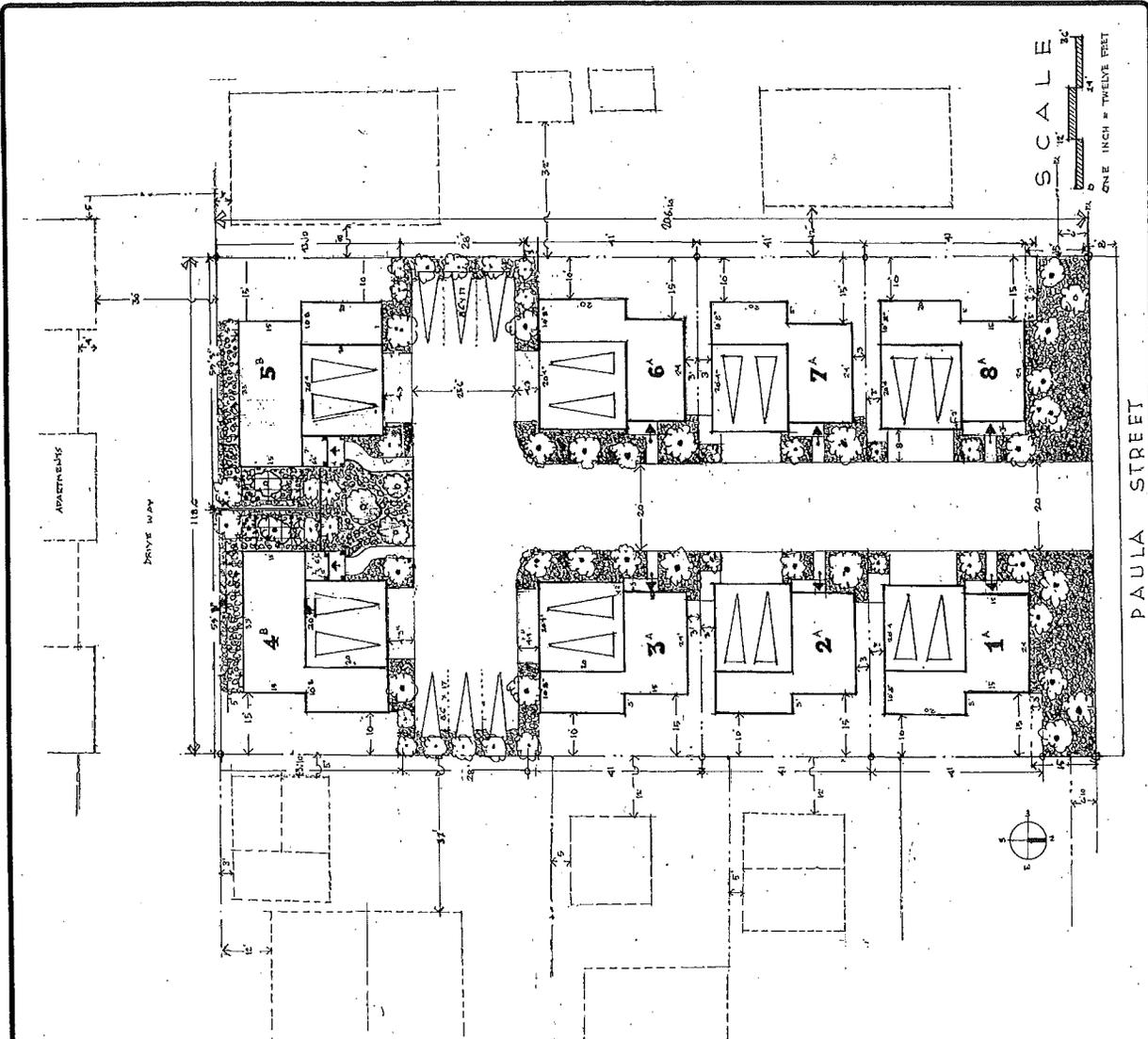
PAULA STREET



REVISIONS	BY	DATE

ROCKWELL HOMES
 2160 SOUTH BASCOM AVE.
 CAMPBELL CA. 95008
 1-408-879-2900

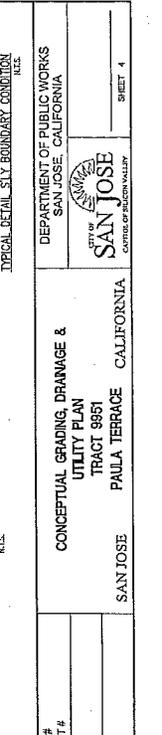
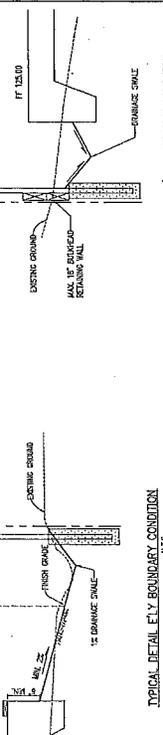
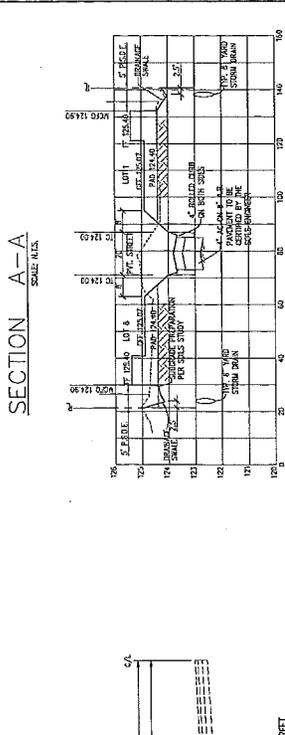
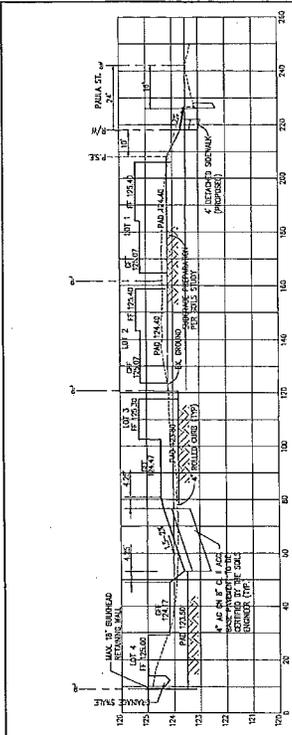
DRAWN BY
 DICK FINNEGAN
 ARCHITECT
 11/27/86
 1" = 20'-0"
 JOB NO.
 3



PAULA TERRACE
 8 SINGLE FAMILY HOMES
 3 BEDROOM • 2½ BATHS
 2 CAR GARAGE
 PLAN • A • 1668
 PLAN • B • 1996

PARKING
 8 • 2 CAR GARAGES = 16
 GUEST SPACES = 8
 ON SITE TOTAL = 24
 REQUIRED PARKING-208

DICK FINNEGAN
 ARCHITECT
 11-831-424 - 1009



CONCRETE ROLLED CURB & GUTTER DETAIL

1. THE CURB SHALL BE CONCRETE WITH A MINIMUM STRENGTH OF 4000 PSI.

2. THE CURB SHALL BE 12" HIGH AND 12" WIDE AT THE TOP.

3. THE CURB SHALL BE 12" WIDE AT THE BOTTOM.

4. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

5. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

6. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

7. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

8. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

9. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

10. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

TYPICAL HALF STREET SECTION - PAULA STREET

1. THE CURB SHALL BE CONCRETE WITH A MINIMUM STRENGTH OF 4000 PSI.

2. THE CURB SHALL BE 12" HIGH AND 12" WIDE AT THE TOP.

3. THE CURB SHALL BE 12" WIDE AT THE BOTTOM.

4. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

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7. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

8. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

9. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

10. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

TYPICAL STREET SECTION - PRIVATE STREET

1. THE CURB SHALL BE CONCRETE WITH A MINIMUM STRENGTH OF 4000 PSI.

2. THE CURB SHALL BE 12" HIGH AND 12" WIDE AT THE TOP.

3. THE CURB SHALL BE 12" WIDE AT THE BOTTOM.

4. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

5. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

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9. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

10. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

TYPICAL DETAIL W.T.Y. BOUNDARY CONDITION

1. THE CURB SHALL BE CONCRETE WITH A MINIMUM STRENGTH OF 4000 PSI.

2. THE CURB SHALL BE 12" HIGH AND 12" WIDE AT THE TOP.

3. THE CURB SHALL BE 12" WIDE AT THE BOTTOM.

4. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

5. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

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TYPICAL DETAIL E.T.Y. BOUNDARY CONDITION

1. THE CURB SHALL BE CONCRETE WITH A MINIMUM STRENGTH OF 4000 PSI.

2. THE CURB SHALL BE 12" HIGH AND 12" WIDE AT THE TOP.

3. THE CURB SHALL BE 12" WIDE AT THE BOTTOM.

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5. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

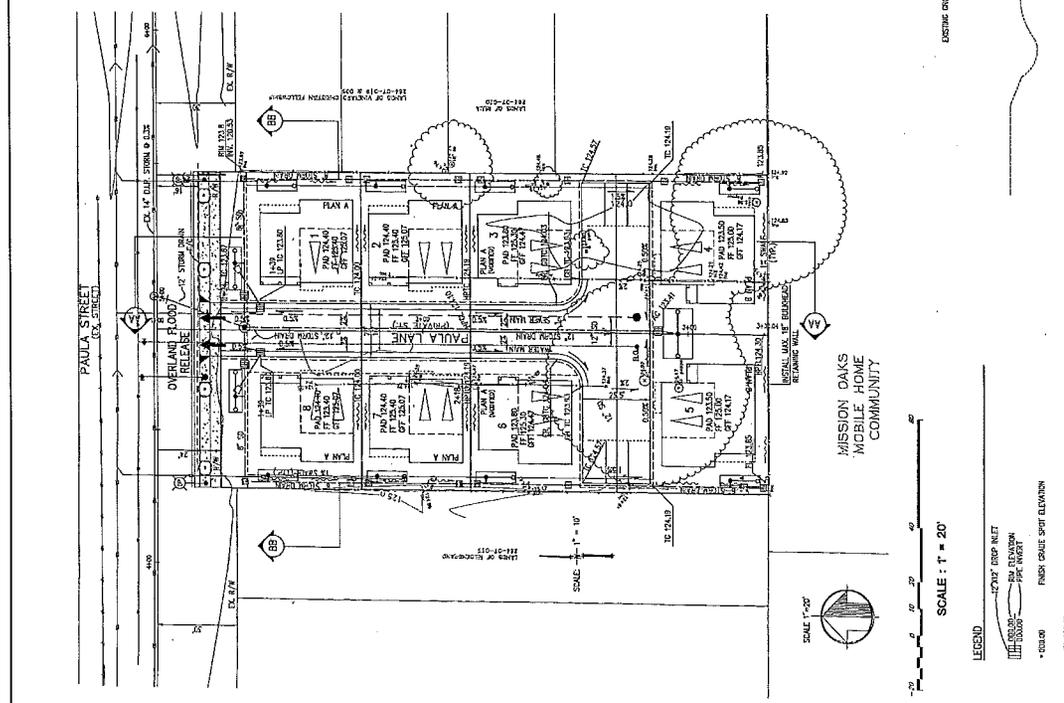
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9. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.

10. THE CURB SHALL BE 12" WIDE AT THE TOP AND 12" WIDE AT THE BOTTOM.



MISSION OAKS MOBILE HOME COMMUNITY

SCALE: 1" = 20'

LEGEND

- 1" = 20' DROP NIT
- 1" = 20' FINISH GRADE
- 1" = 20' TOP OF CURB ELEVATION
- 1" = 20' TOP OF GROUND ELEVATION

DATE: 11/10/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]
 SHEET NO: [Number]

PERMIT #
 PROJECT #
 CONTRACT #

MHI Engineering Co.
 16275 WILSON BOULEVARD
 (408) 779-7391 FAX: (408) 228-5172

DEPARTMENT OF PUBLIC WORKS
 SAN JOSE, CALIFORNIA

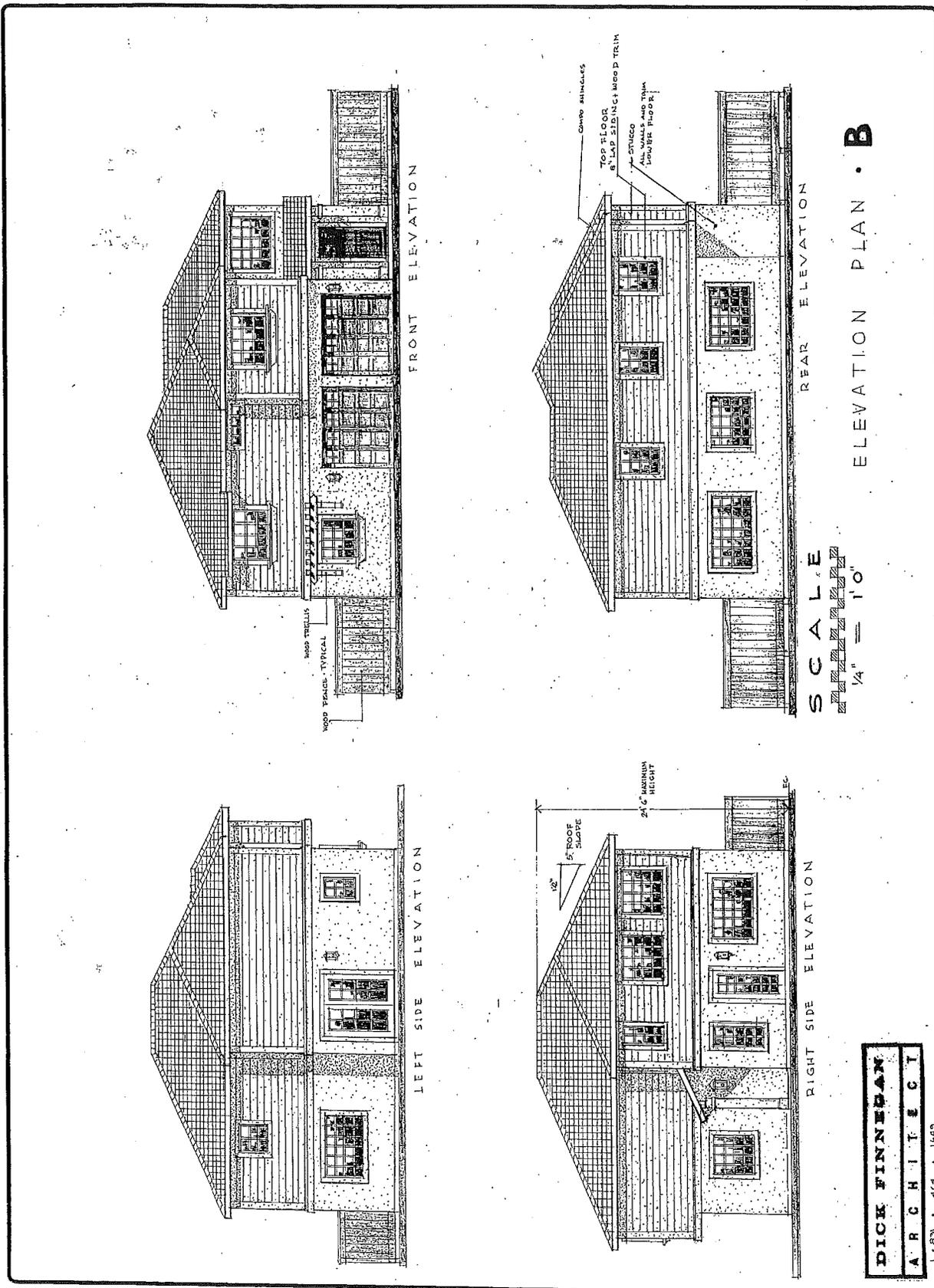
CITY OF SAN JOSE
 OFFICE OF PUBLIC WORKS

SAN JOSE CALIFORNIA
 TRACT 9851
 PAULA TERRACE
 SHEET 4

REVISIONS	BY	DATE

ROCKWELL HOMES
 2160 SOUTH BASCOM AVE
 CAMPBELL CA. 95008
 1-408-879-2900

DICK FINNERDAN DESIGNED	DATE 11/20/10	SCALE 1/4" = 1'-0"	SHEET NO. 7	TOTAL SHEETS 10
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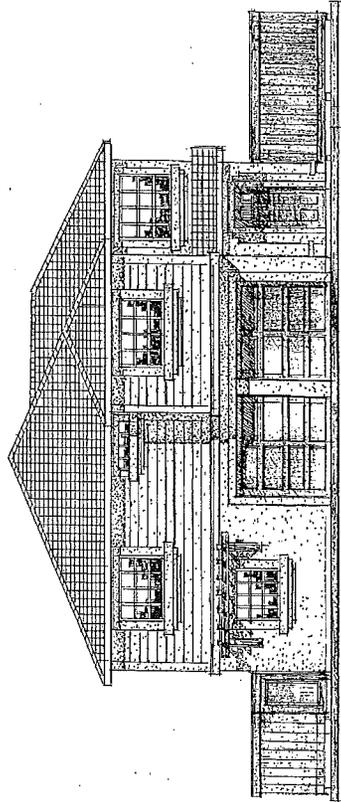


DICK FINNERDAN
ARCHITECT
 1-831-454-1669

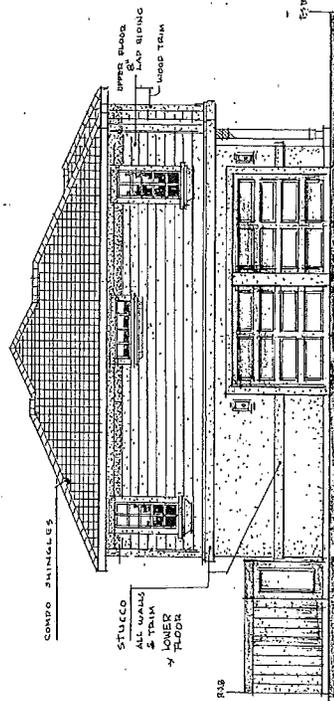
REVISIONS	BY	DATE
	8/30/11	DF

ROCKWELL HOMES
 2160 • SOUTH BASCOM AVE
 CAMPBELL, CA • 95008
 1 • 4 0 8 • 8 7 9 • 2 9 0 0

OWNER	DICK FINNIGAN
DESIGNED	11/27/10
DATE	10/10
DATE NO.	
SHEET	8
OF	8

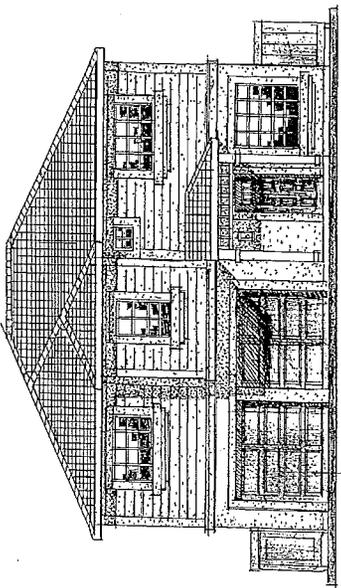
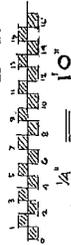


FRONT ELEVATION - 2 - PLAN - B

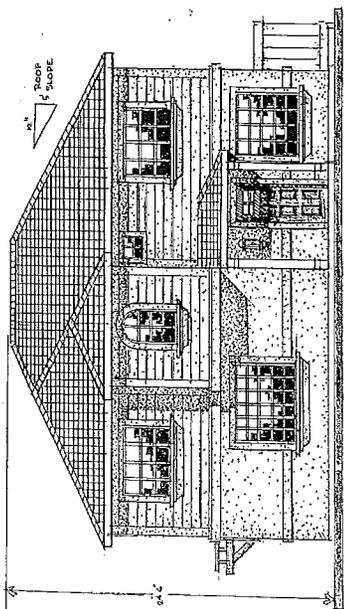


LEFT SIDE ELEVATION - LOTS 4&6 - PLAN - A

SCALE



FRONT ELEVATION - 2 - PLAN - A



FRONT ELEVATION - VARIATION - 3 - PLAN - A

DICK FINNIGAN
 ARCHITECT
 1-531-464-1009

