



Memorandum

TO: HONORABLE MAYOR
AND CITY COUNCIL

FROM: Planning Commission

SUBJECT: SEE BELOW

DATE: April 25, 2011

COUNCIL DISTRICT: 9
SNI AREA: N/A

SUBJECT: FILE NO. PDC11-004. PLANNED DEVELOPMENT REZONING FROM A(PD) PLANNED DEVELOPMENT ZONING DISTRICT TO THE CN(PD) PLANNED DEVELOPMENT ZONING DISTRICT TO ALLOW: 1) DRIVE-THROUGH USES ADDED TO THE PREVIOUSLY APPROVED RANGE OF COMMERCIAL USES FOR A NEW 24,250 SQUARE-FOOT RETAIL CENTER ON AN APPROXIMATELY 2.17-ACRE PORTION OF THE SITE; AND 2) THE CONTINUED USE OF THE BALANCE OF THE SITE FOR RELIGIOUS ASSEMBLY AND ASSOCIATED SCHOOL USES WITH UP TO 53,102 SQUARE FEET OF BUILDING AREA.

RECOMMENDATION

The Planning Commission voted 7-0-0 to recommend that the City Council approve the proposed Planned Development Rezoning from A(PD) Planned Development Zoning District to CN(PD) Planned Development Zoning District to allow up to 24,250 square feet of commercial uses on 2.17 acres and up to 53,102 square feet for religious assembly uses on a 10.8 gross-acres.

OUTCOME

Should the City Council approve the Planned Development Rezoning, upon approval of a Planned Development Permit, the applicant would be allowed to amend the already approved plans to develop 2.17 acres of the site with a commercial center and a drive-thru pharmacy use and allow the continued use of a religious assembly uses with up to 53,102 square feet for on a 10.8 gross acres.

BACKGROUND

On April 20, 2011, the Planning Commission opened a public hearing to consider the proposed Planned Development Rezoning. The Director of Planning, Building and Code Enforcement recommended approval of the proposed Rezoning.

April 25, 2011

Subject: PDC11-004

Page 2

Staff provided introductory comments explaining that the primary purpose of the rezoning was to modify the existing Planned Development Zoning on the site to include a drive-through for a pharmacy use, which was not included in the previous rezoning due to an oversight. Staff added that a Planned Development Permit is already approved for the commercial center without a pharmacy use but absent the drive-through, and the remainder of this site is developed with a church and associate school/day care facility.

Karen Ngo, representing the applicant, stated that the new commercial development was intended to include three commercial buildings, with one of the buildings including a drive-through for a pharmacy.

No one from the public spoke on the item.

Commissioner Bit-Badal made a motion to recommend that the City Council approve the proposed Planned Development Zoning per staff's recommendation. The Planning Commission voted unanimously to approve the motion with a vote 7-0-0.

ANALYSIS

A complete analysis of the issues regarding this project, including General Plan conformance, is contained in the attached staff report.

EVALUATION AND FOLLOW-UP

A Planned Development Permit will be required to be filed to implement the proposed rezoning.

POLICY ALTERNATIVES

Not Applicable.

PUBLIC OUTREACH/INTEREST

- Criterion 1:** Requires Council action on the use of public funds equal to \$1 million or greater. **(Required: Website Posting)**
- Criterion 2:** Adoption of a new or revised policy that may have implications for public health, safety, quality of life, or financial/economic vitality of the City. **(Required: E-mail and Website Posting)**
- Criterion 3:** Consideration of proposed changes to service delivery, programs, staffing that may have impacts to community services and have been identified by staff, Council or a Community group that requires special outreach. **(Required: E-mail, Website Posting, Community Meetings, Notice in appropriate newspapers)**

Although this item does not meet any of the above criteria, staff followed Council Policy 6-30: Public Outreach Policy. A notice of the public hearing was distributed to the owners and tenants

HONORABLE MAYOR AND CITY COUNCIL

April 25, 2011

Subject: PDC11-004

Page 3

of all properties located within 500 feet of the project site and posted on the City website. The rezoning was also published in a local newspaper, the Post-Record. This memorandum is also posted on the City's website. Staff has been available to respond to questions from the public.

COORDINATION

This project was coordinated with the Department of Public Works and the City Attorney.

COST SUMMARY/IMPLICATIONS

Not applicable.

BUDGET REFERENCE

Not applicable.

CEQA

Mitigated Negative Declaration.

JOSEPH HORWEDEL, SECRETARY
Planning Commission

For questions, please contact Mike Enderby, Senior Planner at 408-535-7843.

Attachments: Planning Commission Staff Report
Reduced Plans with Draft General Development Standards
Public Works Memo

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC11-004

Submitted: March 7, 2011

PROJECT DESCRIPTION:

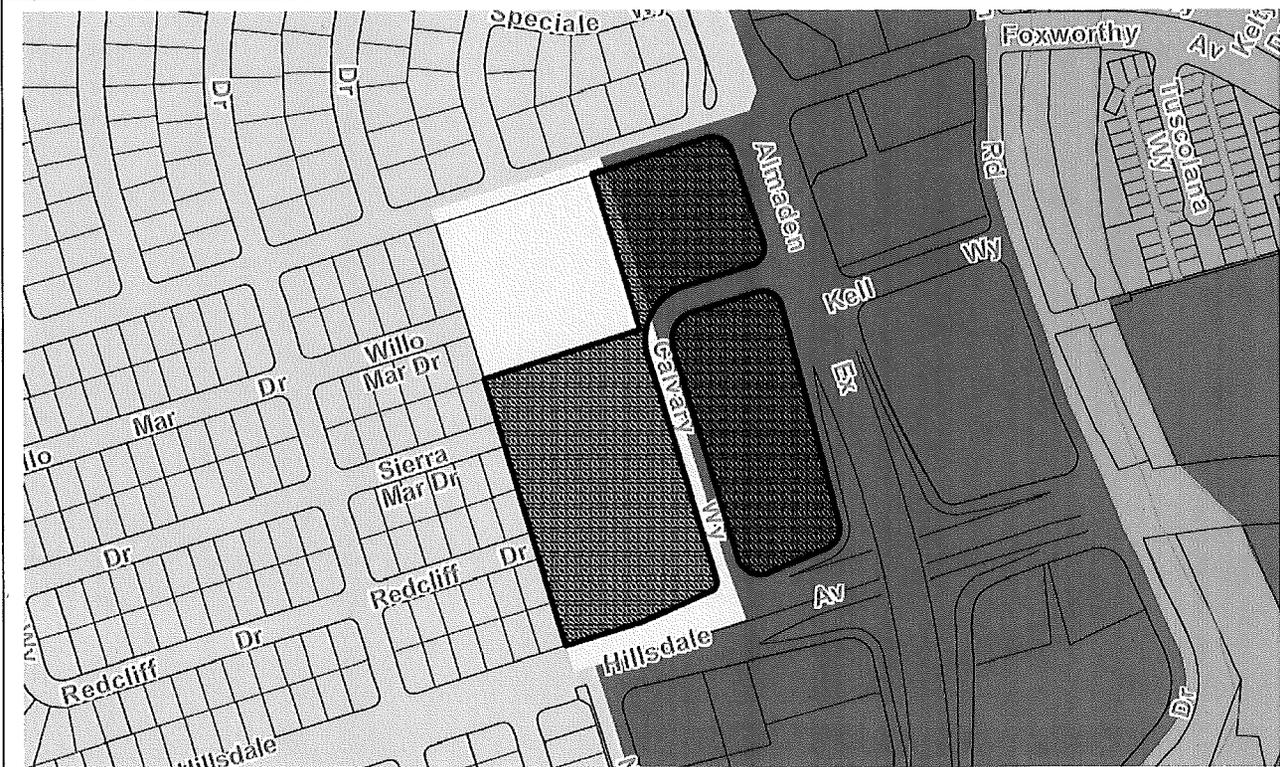
Planned Development Rezoning from A(PD) Planned Development Zoning District to the CN(PD) Planned Development Zoning District on an approximately 10.44-acre site to allow: 1) drive-through uses added to the previously approved range of commercial uses for a new 24,250 square foot retail center on an approximately 2.1-acre portion of the site; and 2) the continued use of the balance of the site for religious assembly and associated school uses within up to 53,102 square feet of building area.

Existing Zoning	A(PD) Planned Development
Proposed Zoning	CN(PD) Planned Development
General Plan	General Commercial and Public/Quasi-Public
Council District	9
Annexation Date	September 1, 1955
SNI	No
Historic Resource	No
Redevelopment Area	No
Specific Plan	No

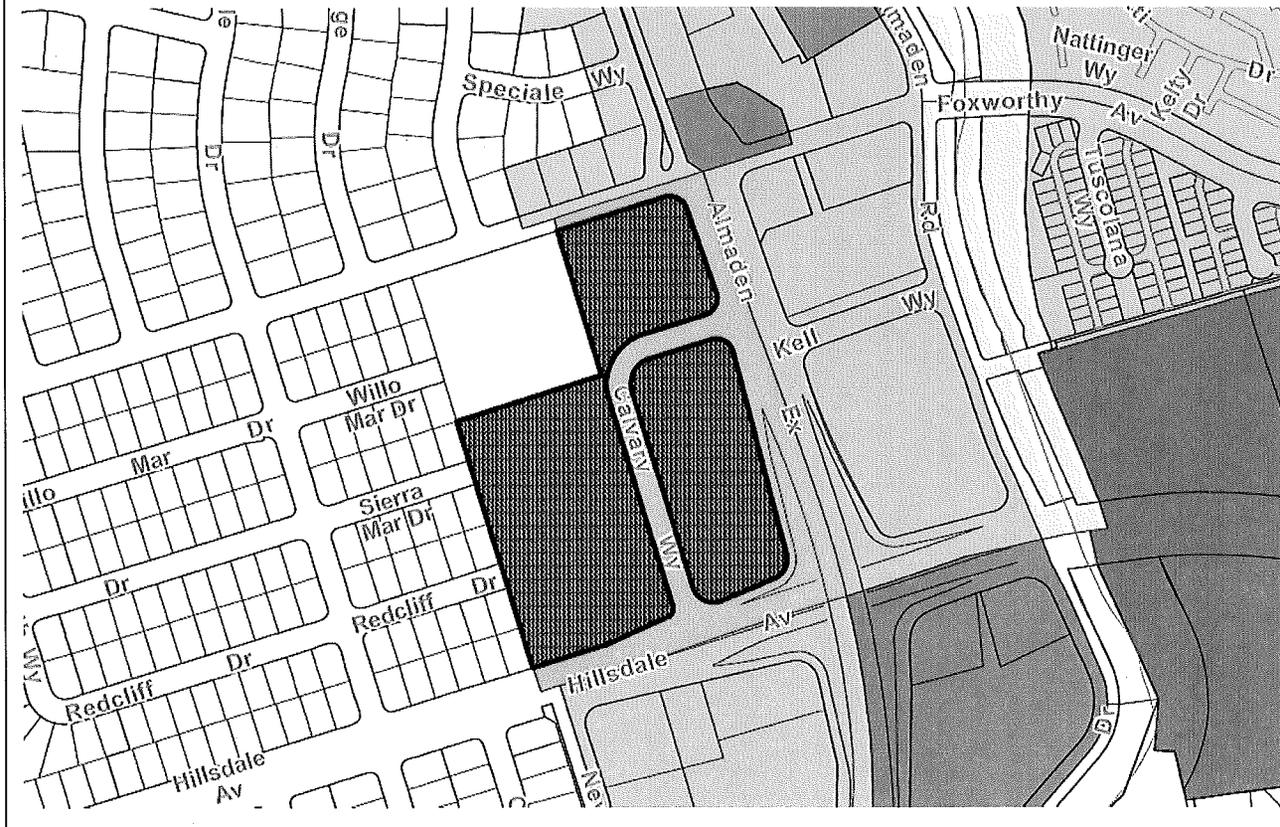
LOCATION: Southwest corner of Foxworthy Avenue and Almaden Expressway (1175 Hillsdale Avenue).



GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends approval of the proposed Planned Development Rezoning for the following reasons:

1. The proposed retail component and religious assembly component of the project conform to the General Plan Land Use/Transportation Diagram designations of General Commercial and Public/Quasi-Public respectively.
2. The project conforms to the Commercial Land Use Goals and Policies of the General Plan, in that it would provide neighborhood-serving commercial uses at a location easily accessible to the surrounding residential neighborhood.
3. The commercial component of the project conforms to the Commercial Design Guidelines.
4. The proposed commercial development with the addition of a drive-through use conforms to City Council Policy 6-10: Drive-Through Uses.
5. No changes to the previously approved development standards for the religious assembly and associated uses are proposed.

BACKGROUND

The subject site was recently rezoned in August, 2010 under File No. PDC08-015, to allow a 24,250 square-foot neighborhood retail center and allow the continued use of the balance of the site for religious assembly and associated uses on an approximately 10.44-acre site. Due to an oversight, the approved development standards of that previously approved Planned Development Zoning inadvertently identified the permitted and conditional uses as those of CP-Commercial Pedestrian Zoning District uses rather than those of the CN-Commercial Neighborhood Zoning District uses. The CP-Commercial Pedestrian Zoning District does not allow drive-through uses, even though the conceptual site plan had always proposed a drive-through pharmacy use as part of the proposal. It was staff's intent to include this as part of the previous approval. For this reason, the subject rezoning to CN(PD) Planned Development was filed by Sand Hill Property Company on March 7, 2011 to facilitate the development of the previously approved project with the added allowance of the drive-through use. No other changes to the previous approved project design are proposed. All proposed development standards are noted on the attached plans (see Sheet A-2).

The Planned Development Zoning is proposed to facilitate development that allows greater flexibility of the front setbacks and combination of uses. This rezoning now proposes a base zoning of CN-Commercial Neighborhood, rather than A-Agriculture to allow the option of commercial development through a conventional zoning district, should a Planned Development Permit not be implemented.

Project Description

The proposed physical development of this site would allow two key project components as noted below.

1. A 24,250 square feet neighborhood retail center comprised of three buildings. One of these would include a drive-through pharmacy. This portion of the project would be built at the southwest corner of Almaden Expressway and Foxworthy Avenue.

2. Religious assembly and associated uses consisting of 53,102 square feet. This would be located south of the proposed retail center and would span across Calvary Way. Under this project there would be no changes to the development standards from that which was approved under the previous approval. This Planned Development Zoning is intended to reflect the existing facility with a 1,700-person capacity sanctuary, an 80-student academy (K-8 school), a 60-child daycare center, and a future 72-student bible college. The previously approved bible college building has not yet been constructed, and would replace the existing building located on the site in the area bounded by Calvary Way, Hillsdale Avenue, and Almaden Expressway.

ANALYSIS

Project analysis includes evaluation of conformance with the following: 1) San Jose 2020 General Plan; 2) Commercial Design Guidelines; 3) City Council Policy 6-10: Drive-Through Uses; and 4) the California Environmental Quality Act (CEQA).

General Plan Conformance

Commercial Land Uses

The General Plan Commercial Land Use Goal is to provide a pattern of commercial development that best serves community needs through maximum efficiency and accessibility. The Commercial Land Use Policies support commercial development that is distributed in a manner that maximizes community accessibility to a variety of retail commercial outlets and services and minimizes the need for automobile travel. The proposed project is consistent with these policies through the provision of neighborhood-serving commercial uses within walking distance of an established residential neighborhood.

General Commercial and Public/Quasi-Public

The subject site is designated General Commercial and Public/Quasi-Public on the San Jose 2020 General Plan Land Use/Transportation Diagram. The General Commercial land use designation is intended for non-specialized, miscellaneous commercial uses, which includes both strip commercial areas along major thoroughfares as well as freestanding commercial establishments. The Public/Quasi-Public land use designation is used to designate public land uses and lands used by some private entities, including such institutions as churches, private schools, and private hospitals. The proposed rezoning is consistent with these land use designations because it will provide a range of various commercial and private-institution assembly and school uses along Almaden Expressway consistent with the General Plan land use designations.

Commercial Design Guidelines

The conceptual design includes single-story scale, pedestrian-accessible, and visually interesting design, which conforms to the Commercial Design Guidelines. The proposed development regulations are similar to the CN-Commercial Neighborhood Zoning District, but with slightly reduced front setbacks to be more pedestrian-oriented. The proposed commercial buildings will anchor the corners and provide good street presence on all surrounding streets. The taller commercial building, intended to serve a potential pharmacy use, is located on a portion of the site away from nearby residential uses on Foxworthy Avenue. Parking requirements are based on regulations set forth in the Zoning Ordinance in order to be consistent with commercial development throughout the City of San Jose. The conceptual architecture is a modern design with articulation, variations in elevation details, and a scale compatible with surrounding development.

City Council Policy 6-10: Drive-Through Uses

This project conforms to all applicable recommendations of the policy. The proposed project will facilitate a drive-through pharmacy use. The drive-through use will be placed more than 200 feet from residential uses in accordance with the policy. A pharmacy drive-through is substantially less intense than that of a drive-through restaurant, and therefore a stacking lane for two to three cars is sufficient to accommodate this use. The drive-through pick-up window is placed at the back of the building so that the drive-through lane does not need to wrap around the front of the building, thereby maximizing the landscape opportunities between the building and the street. This also eliminates a design constraint that would otherwise limit the ability to articulate the building elevations that face the public streets.

Environmental Review

An Addendum to a Mitigated Negative Declaration (MND) previously adopted on June 16, 2010, states that the proposed Planned Development Rezoning will not have a significant effect on the environment.

The primary issues addressed in the Initial Study include the potential impacts of the physical development of the site on; air quality, biological resources, geology and soils, and transportation and traffic. The MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. The mitigation measures will be included in the development standards of the Planned Development Zoning.

PUBLIC OUTREACH/INTEREST

The property owners and occupants within a 500-foot radius were sent public hearing notices for the City Council hearing. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed project. Staff has been available to discuss the proposal with interested members of the public.

- Criterion 1:** Requires Council action on the use of public funds equal to \$1 million or greater. **(Required: Website Posting)**
- Criterion 2:** Adoption of a new or revised policy that may have implications for public health, safety, quality of life, or financial/economic vitality of the City. **(Required: E-mail and Website Posting)**
- Criterion 3:** Consideration of proposed changes to service delivery, programs, staffing that may have impacts to community services and have been identified by staff, Council or a Community group that requires special outreach. **(Required: E-mail, Website Posting, Community Meetings, Notice in appropriate newspapers)**

Although this item does not meet any of the above criteria, staff followed Council Policy 6-30: Public Outreach Policy. A notice of the public hearing was distributed to the owners and tenants of all properties located within 500 feet of the project site and posted on the City website.

The rezoning was also published in a local newspaper, the Post-Record. This staff report is also posted on the City's website. Staff has been available to respond to questions from the public.

Project Manager: Jenny Nusbaum **Approved by:** *Laurel Peretti* **Date:** 04-12-11

Applicant: Sand Hill Property Company 489 S. El Camino Real San Mateo, CA 94402	Attachments: Reduced Plan Set with Draft Development Standards
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ADDENDUM TO A MITIGATED NEGATIVE DECLARATION

Pursuant to Section 15164 of the CEQA Guidelines, the City of San Jose has prepared an Addendum to a Mitigated Negative Declaration (MND) adopted for a previous project. Because minor changes made to the project described below do not raise important new issues about the effects on the environment, this project is adequately covered by this Addendum to the Negative Declaration from the previous project.

PROJECT DESCRIPTION AND LOCATION

PDC11-004, Planned Development Rezoning from A(PD) Planned Development Zoning District to the CN(PD) Planned Development Zoning District on an approximately 10.44-acre site to allow: 1) drive-through uses added to the previously approved range of commercial uses for a new 24,250 square feet retail center on an approximately 2.1-acre portion of the site; and 2) the continued use of the remaining portion of the site for religious assembly and associated school uses within up to 53,102 square feet of building area.

Council District 9.

County Assessor's Parcel Number 451-06-066

CERTIFICATION

The environmental impacts of this project were addressed by an Initial Study and documented by a Mitigated Negative Declaration for a Planned Development Zoning to allow a retail center including drive-through use on a 2.1-acre portion of a 10.44-acre site that includes existing religious assembly and associated uses, and certified as final on June 16, 2010. Specifically, the following impacts were reviewed and found to be adequately considered by the MND:

- | | | |
|-------------------------------------------------------------|------------------------------------------------------------|-----------------------------------------------------------------|
| <input checked="" type="checkbox"/> Traffic and Circulation | <input checked="" type="checkbox"/> Soils and Geology | <input checked="" type="checkbox"/> Noise |
| <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Hazardous Materials | <input checked="" type="checkbox"/> Land Use |
| <input checked="" type="checkbox"/> Urban Services | <input checked="" type="checkbox"/> Biotics | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Aesthetics | <input checked="" type="checkbox"/> Airport Considerations | <input checked="" type="checkbox"/> Microclimate |
| <input checked="" type="checkbox"/> Energy | <input checked="" type="checkbox"/> Relocation Issues | <input checked="" type="checkbox"/> Construction Period Impacts |
| <input checked="" type="checkbox"/> Transportation | <input checked="" type="checkbox"/> Utilities | <input checked="" type="checkbox"/> Facilities and Services |
| <input checked="" type="checkbox"/> Water Quality | <input checked="" type="checkbox"/> Flooding | <input type="checkbox"/> |

ANALYSIS:

The subject site was recently rezoned in August, 2010 under File No. PDC08-015, to allow a 24,250 square-foot neighborhood retail center and allow the continued use of the remaining portion of the site for religious assembly and associated uses on approximately 10.44 acres. Due to an oversight, the development standards of the previously approved Planned Development Zoning did not include CN-Commercial Neighborhood Zoning District uses. This rezoning now also proposes a base zoning of CN-Commercial Neighborhood, rather than A-Agriculture to allow the option of commercial development through a conventional zoning district consistent with the General Plan land use designations, should a Planned Development Permit not be implemented. The environmental effects of a drive-through use were analyzed in the adopted Initial Study and MND, and the associated technical report as documented on page 13 of the Initial Study and page 31 of the Transportation Impact Analysis.

Jenny Nusbaum
 Project Manager

Joseph Horwedel, Director
 Planning, Building and Code Enforcement

Date Jenny Nusbaum
 04.12.2011

Deputy John Danks
 4/12/2011

ALMADEN @ FOXWORTHY

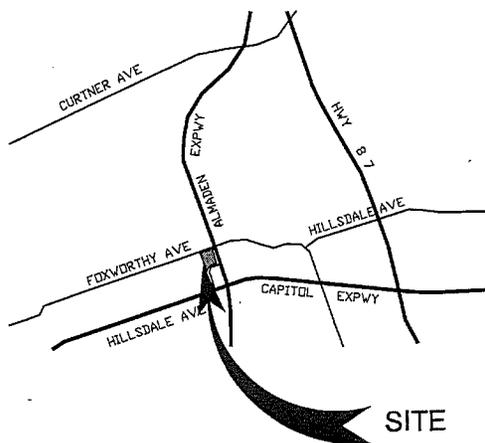
SAN JOSE, CALIFORNIA

MARCH 7, 2011

PD ZONING PDC 11- 004

FOR THREE COMMERCIAL BUILDINGS TOTALING
APPROXIMATELY 24,062 SQUARE FEET

VICINITY MAP



CONTACTS

DEVELOPER/ OWNER

SHP-LOS ALTOS, LLC
488 S. EL CAMINO REAL

SAN MATEO, CA 94402
PHONE (650) 344-1500
FAX (650) 344-0652
CONTACT KAREN NGO

CIVIL:

AMS ASSOCIATES, INC
85 MORAGA WAY
SUITE 200
ORINDA, CA 94563
PHONE (925) 253-2777
FAX (925) 253-2778
CONTACT LAWRENCE MAK

ARCHITECTURAL:

CSHQA
1450 HARBOR BLVD
SUITE A
WEST SACRAMENTO, CA 95691
PHONE (916) 231-0881
FAX (916) 231-0887
CONTACT J. MICHAEL BRADY

LANDSCAPE:

CSHQA, APA
CW MOORE PLAZA
250 S 5TH STREET
BOISE, ID 83702
PHONE (208) 343-4635
FAX (208) 343-1858
CONTACT KYLE HEMLY

SHEET INDEX

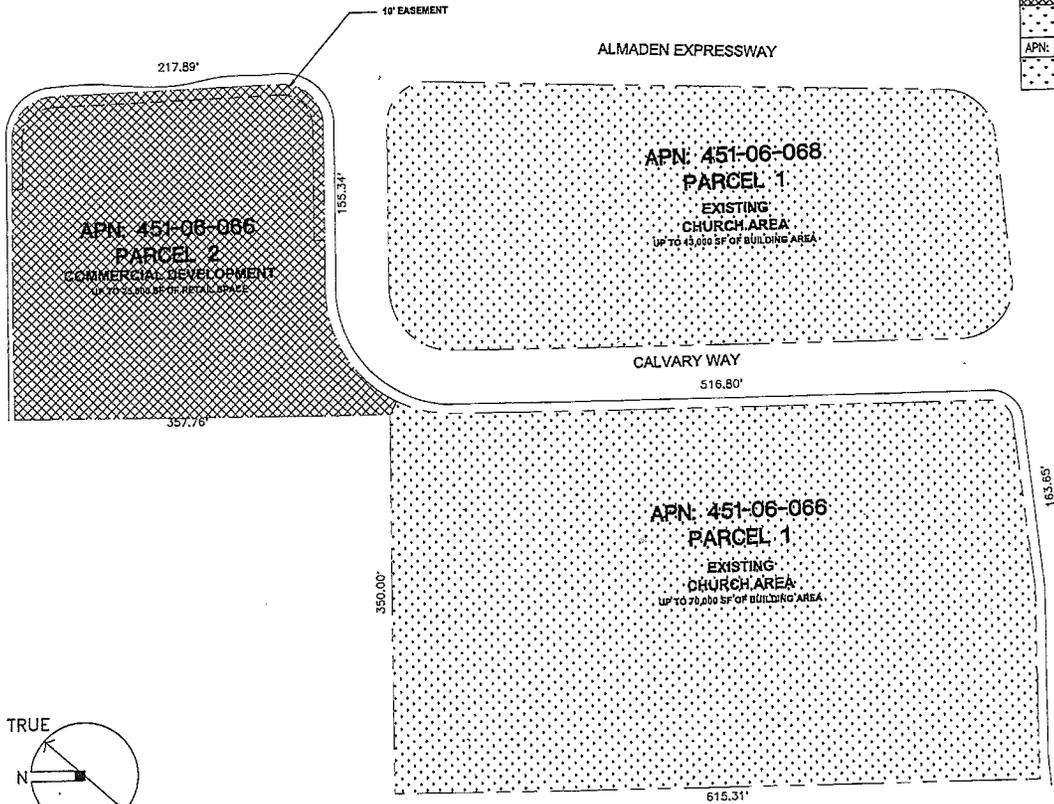
C	COVER SHEET
A1	GENERAL DEVELOPMENT PLAN
A2	DEVELOPMENT STANDARDS
A3	DEVELOPMENT STANDARDS
A4	ILLUSTRATIVE SITE PLAN & MONUMENT SIGN
A5	DIMENSIONED SITE PLAN
A6	BUILDING 1 FLOOR & ROOF PLANS
A7	BUILDING 1 ELEVATIONS
A8	BUILDING 2 FLOOR & ROOF PLANS
A9	BUILDING 2 ELEVATIONS
A10	BUILDING 3 FLOOR & ROOF PLANS
A11	BUILDING 3 ELEVATIONS
A12	BUILDING 3 ELEVATIONS
L-010	LANDSCAPE PLANTING PLAN
C-1	COVER SHEET
C-6	HORIZONTAL CONTROL PLAN
C-7	GRADING PLAN
C-8	UTILITY PLAN
C-9	EROSION CONTROL DETAILS
C-10	EROSION CONTROL DETAILS
C-11	EROSION CONTROL NOTES
C-12	EROSION CONTROL PLAN PHASE I
C-13	EROSION CONTROL PLAN PHASE II
C-14	PAVEMENT PLAN
C-15	DEMOLITION PLAN
C-16	TOPOGRAPHIC SURVEY
C-17	STORM WATER CONTROL PLAN
C-18	STORM WATER CONTROL PLAN

C COVER SHEET
SCALE NTS

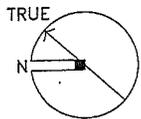
ALMADEN @ FOXWORTHY
ALMADEN EXPWY & FOXWORTHY AVE., SAN JOSE, CA
MARCH 7, 2011

CSHQA
a design collaboration

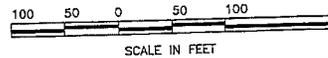
FOXWORTH AVENUE
263.64'



SYMBOL	AREA	AREA (AC)	% OF TOTAL AREA	PRIMARY LAND USES			
				RETAIL (SF)	F.A.R.	CHURCH (SF)	F.A.R.
APN: 451-06-066							
[Cross-hatched]	COMMERCIAL	2.17 AC	20.8 %	25,000 SF	0.26	-	-
[Dotted]	CHURCH	5.03 AC	48.2 %	-	-	70,000 SF	0.32
APN: 451-06-068							
[Dotted]	CHURCH	3.23 AC	31 %	-	-	13,000 SF	0.09
TOTAL		10.43 AC	100 %	25,000 SF	0.06	83,000 SF	0.18



A1 GENERAL DEVELOPMENT PLAN
SCALE 1" = 100'-0"



ALMADEN @ FOXWORTH
ALMADEN EXPWY & FOXWORTH AVE., SAN JOSE, CA
FEBRUARY 4, 2011

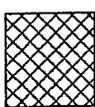
CSHQ
a design collaboration

DRAFT GENERAL DEVELOPMENT PLAN NOTES

Where these development standards and the diagram contained in the Land Use Plan are in conflict, these written development standards shall control and take precedent.

EXHIBIT C: LAND USE PLAN AND DEVELOPMENT STANDARDS

1. LAND USE



Area A

Permitted uses of the CN-Commercial Neighborhood Zoning District, as amended. Conditional and Special uses of the CN-Commercial Neighborhood Zoning District, as amended shall require a Planned Development Permit or Planned Development Permit Amendment, as designated by Title 20 of the San Jose Municipal Code.



Area B

Church/Religious Assembly

Incidental uses include Sunday school, private instruction, day care, offices, Bible College residency, ministry, and retail, as listed in the table below.

Building Capacities

Building/Use	# of people	Age	Building area
Sanctuary	1,700	All	22,242 sq. ft.
Academy	60 students 20 teachers	K-4 grade 6-14 years	14,000 sq. ft.
Child Care	60 kids 10 teachers	2-5 years	2,000 sq. ft.
Bible College	12 students	16-25 years	12,242 sq. ft.
Food Bank	20/hour max	18-60 years	N/A
"The Well" Child/Bookstore	25	All ages	2,500 sq. ft.

Weekly/Religious Usage

Building/Use	Sun.	Mon.	Tues	Wed.	Thurs.	Fri.	Sat.
Sanctuary	9 am-12 pm 6:30-9 pm	N/A	N/A	6-9 pm	N/A	N/A	N/A
Sunday School Ages 0-10	9 am-12 pm 6:30-9 pm	N/A	N/A	6-9 pm	N/A	N/A	N/A
Academy	N/A	8 am-4 pm	9 am-4 pm	9 am-4 pm	9 am-4 pm	9 am-4 pm	N/A
Child Care	N/A	7 am-6 pm	N/A				
Bible College Classes	N/A	9 am-5 pm	N/A				
Bible College Residency	Full Time	Full Time	Full Time	Full Time	Full Time	Full Time	Full Time
Food Distribution/Child's Ministry	N/A	N/A	10 am-4 pm	10 am-4 pm	N/A	N/A	N/A
"The Well" Child/Bookstore	8 am-10 pm	9 am-10 pm	9 am-10 pm	9 am-10 pm	9 am-10 pm	9 am-10 pm	8 am-10 pm

2. DEVELOPMENT STANDARDS

A. Setbacks

- Area A (commercial development)
 - North (Foxworthy Avenue): 10 feet
 - West: 8 feet
 - South (Calvary Way): 10 feet
 - East (Almaden Expressway): 20 feet
- Area B (church development)
 - North (Calvary Way & adj. church): 10 feet
 - West: 20 feet
 - South (Hilledale Avenue): 25 feet
 - East (Almaden Expressway): 10 feet

B. Height:

- Maximum building height: 35 feet
- Maximum number of stories: 2

C. Parking: Parking shall be required per Table 20-180, of Title 20 of the San Jose Municipal Code, as amended.

3. ENVIRONMENTAL MITIGATION

A. BIOLOGICAL RESOURCES

- Mitigation Measure BIO 1-1a: Schedule Construction to Avoid Raptor Nesting Season.** Construction shall be scheduled to avoid the nesting season to the extent feasible. The nesting season for most birds, including most raptors, in the San Francisco Bay area extends from February through August.
- Mitigation Measure BIO 1-1b: Survey For and Avoid Any Raptor Nesting Sites.** If it is not possible to schedule demolition and construction between September and January, then pre-construction surveys for nesting birds shall be completed by a qualified ornithologist to ensure that no nests will be disturbed during project implementation. The survey shall be completed no more than 14 days prior to the initiation of construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August). During this survey, the ornithologist shall inspect all trees and other possible nesting habitats immediately adjacent to the construction areas for nests. If an active nest is found sufficiently close to work areas to be disturbed by construction, the ornithologist, in consultation with CDFG, shall determine the extent of a construction-free buffer zone to be established around the nest, typically 250 feet, to ensure that raptor or migratory bird nests will not be disturbed during project construction.

5. CULTURAL RESOURCES

- Mitigation Measure CR-1a: Retain On-Call Archaeological Consultant.** Prior to issuance of a grading permit, the project sponsor shall retain the services of a qualified archaeological consultant with documented expertise in the investigation of prehistoric cultural resources in the Santa Clara Valley region to develop and implement a program of limited subsurface testing in order to identify or further characterize the potential to encounter subsurface cultural resources that may be present at the site. The results of the limited subsurface investigation shall be described in a report to be submitted to the City's Environmental Principal Planner. The report shall include the archaeologist's recommendations for any additional testing to be implemented prior to the initiation of site grading, as well as monitoring and any other precautionary measures to be implemented during site disturbance.
- Mitigation Measure CR-1b: Monitor Grading Activities.** There shall be monitoring of site grading activities to the extent determined by a qualified professional archaeologist to be necessary to ensure accurate evaluation of potential impacts to prehistoric resources.
 - If no resources are discovered, the archaeologist shall submit a report to the City's Environmental Principal Planner verifying that the required monitoring occurred and that no further mitigation is necessary.
 - If evidence of any archaeological, cultural, and/or historical deposits are found, hand excavation and/or mechanical excavation shall proceed to evaluate the deposits for determination of significance as defined by the CEQA Guidelines. The archaeologist shall submit reports, to the satisfaction of the City's Environmental Principal Planner, describing the testing program and subsequent results. These reports shall identify any program mitigation that the Developer shall complete in order to mitigate archaeological impacts (including resource recovery and/or avoidance, testing and analysis, removal, reburial, and curation of archaeological resources.)
 - In the event that human remains and/or cultural materials are found, all project-related construction shall cease within a 50-foot radius in order to proceed with the testing and mitigation measures required. Pursuant to Section 7050.5 of the Health and Safety Code and Section 6097.94 of the Public Resources Code of the State of California:
 - In the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the land owner shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.
 - A final report shall be submitted to the City's Environmental Principal Planner prior to release of a Certificate of Occupancy. This report shall contain a description of the mitigation programs and its results including a description of the monitoring and testing program, a list of the resources found, a summary of the resources analysis methodology and conclusions, and a description of the disposition/curation of the resources. The report shall verify completion of the mitigation program to the satisfaction of the City's Environmental Principal Planner.

- 3) *Mitigation Measure CR-2: Halt Work if Paleontological Resources Are Discovered.* If any paleontological resources are encountered during site grading activities, all ground disturbances shall be halted until the services of a qualified paleontologist can be retained to identify and evaluate the resource(s) and, if necessary, recommend mitigation measures to document and prevent any significant adverse effects on the resource(s). If evidence of any paleontological resources are found, hand excavation and/or mechanical excavation shall proceed to evaluate the deposits for determination of significance as defined by the CEQA Guidelines. The paleontologist shall submit reports, to the satisfaction of the City's Environmental Principal Planner, describing the testing program and subsequent results. These reports shall identify any program mitigation that the Developer shall complete in order to mitigate paleontological impacts (including resource recovery and/or avoidance, testing and analysis, removal, reburial, and curation of archaeological resources.)

C. HYDROLOGY AND WATER QUALITY

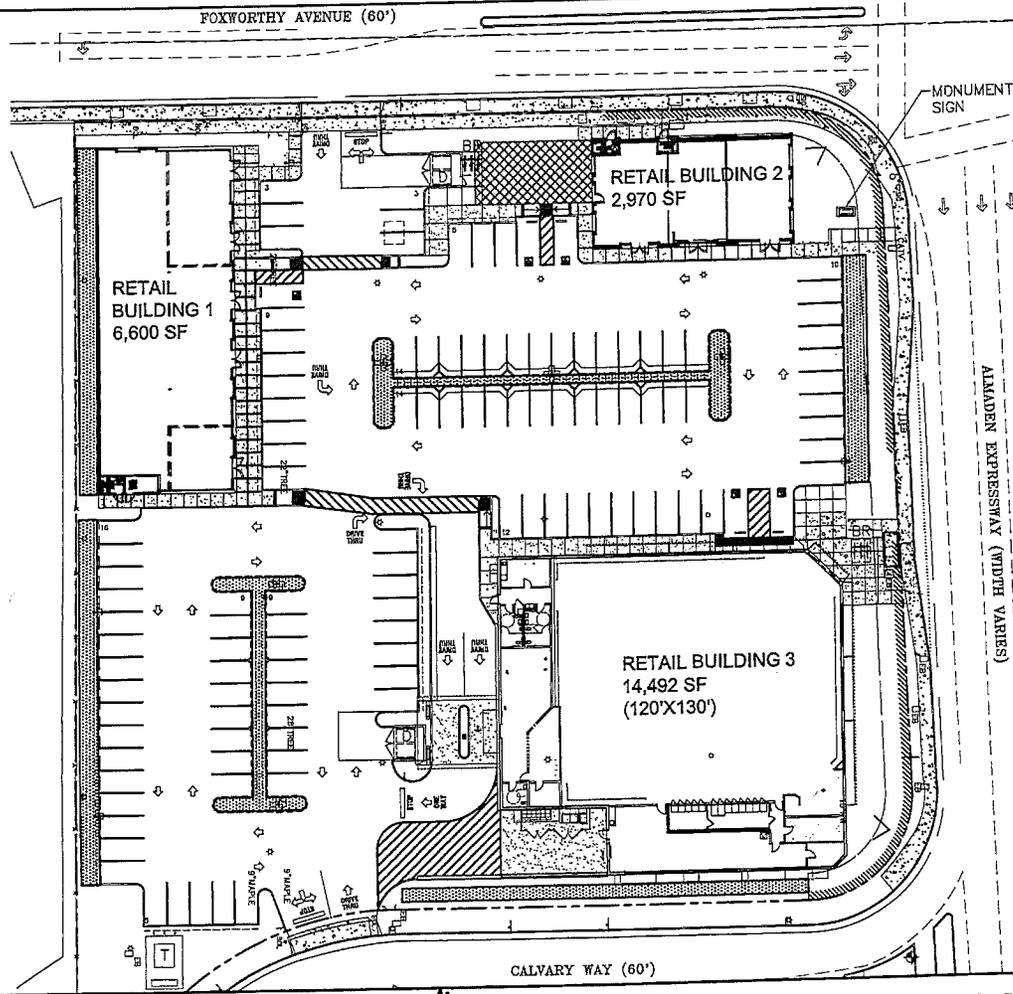
- 1) *Mitigation Measure HYD 1-1: The project sponsor shall comply With RWQCB Best Management Practices and City Policy for Construction-Period Stormwater Quality Protection.*
- i. During construction, burlap bags filled with drain rock shall be installed around storm drains to route sediment and other debris away from the drains.
 - ii. During construction, earthmoving or other dust-producing activities shall be suspended during periods of high winds.
 - iii. During construction, all exposed or disturbed soil surfaces shall be watered at least twice daily to control dust as necessary.
 - iv. During construction, stockpiles of soil or other materials that can be blown by the wind shall be watered or covered.
 - v. During construction, all trucks hauling soil, sand, and other loose materials shall be covered and/or all trucks will be required to maintain at least two feet of freeboard.
 - vi. During construction, all paved access roads, parking areas, staging areas and residential streets adjacent to the construction sites shall be swept daily (with water sweepers).
 - vii. During construction, vegetation in disturbed areas shall be replanted as quickly as possible.
- vi. Prior to construction grading for the proposed land uses, the applicant shall file a "Notice of Intent" (NOI) to comply with the General Permit administered by the Regional Board and shall prepare a Stormwater Pollution Prevention Plan (SWPPP) which addresses measures that would be included in the amendment to minimize and May 2010 Initial Study/Draft Mitigated Negative Declaration control construction and post-construction runoff. The following measures shall be included in the SWPPP:
- a. Preclude non-stormwater discharges to the stormwater system.
 - b. Effective, site-specific Best Management Practices for erosion and sediment control during the construction and post-construction periods.
 - c. Coverage of soil, equipment, and supplies that could contribute non-visible pollution prior to rainfall events or perform monitoring of runoff.
 - d. Perform monitoring of discharges to the stormwater system.

- ix. The developer shall submit a copy of the draft SWPPP to the City of San José Department of Public Works for review and approval prior to construction of the project site. The certified SWPPP shall be posted at the site and shall be updated to reflect current site conditions.
 - x. The developer shall comply with the City of San José Grading Ordinance, including erosion and dust control during site preparation and with the City of San José Zoning Ordinance requirements for keeping adjacent streets free of dirt and mud during construction.
 - xi. The developer shall restrict grading to the dry season (April 15 through October 15) or meet City requirements for grading during the rainy season.
- 2) *Mitigation Measure HYD 1-2: Post-Construction Water Quality Protection Actions.* The following standard measures, based on RWQCB Best Management Practices and City of San José requirements, are required to ensure compliance with NPDES permit requirements to reduce post-construction water quality impacts:
- i. When the construction phase is complete, a Notice of Termination (NOT) for the General Permit for Construction shall be filed with the RWQCB and the City of San José. The NOT shall document that all elements of the SWPPP have been executed, construction materials and waste have been properly disposed of, and a post-construction stormwater management plan is in place as described in the SWPPP for the project site.
 - ii. All post-construction Treatment Control Measures (TCMs) shall be installed, operated, and maintained by qualified personnel.
 - iii. On-site inlets shall be stenciled in conformance with City requirements and cleaned out a minimum of once per year, prior to the wet season.
 - iv. The property owner/site manager shall keep a maintenance and inspection schedule and record to ensure that the TCMs continue to operate effectively for the life of the project. Copies of the schedule and record must be provided to the City upon request and must be made available for inspection on-site at all times.
- 3) *Mitigation Measure NOI-1: Construction Noise Minimization.* The project developer shall implement the following standard measures:
- i. Noise-generating activities at the construction site or in areas adjacent to the construction site associated with the project in any way shall be restricted to the hours of 7:00 AM and 7:00 PM, Monday through Friday. No construction activities shall occur on weekends or holidays because the project site is within 500 feet of a residential area.
 - ii. Equip all internal combustion engine driven equipment with intake and exhaust mufflers in good condition and appropriate for the equipment.
 - iii. Locate stationary noise-generating equipment as far as possible from sensitive receptors when sensitive receptors adjoin or are near a construction project area.
 - iv. Utilize "quiet" air compressors and other stationary noise sources where technology exists.
 - v. The contractor shall prepare a detailed construction plan identifying the schedule for major noise-generating construction activities. The construction plan shall identify a procedure for coordination with the adjacent noise sensitive facilities so that construction activities can be scheduled to minimize noise disturbance.

- vi. Designate a "noise disturbance coordinator" who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator would determine the cause of the noise complaints (e.g., beginning work too early, bad muffler, etc.) and institute reasonable measures warranted to correct the problem. A telephone number for the disturbance coordinator shall be conspicuously posted at the construction site.
- vii. Control noise from construction workers radios so they are not audible from the western or northern property line.

4. WATER POLLUTION CONTROL PLANT

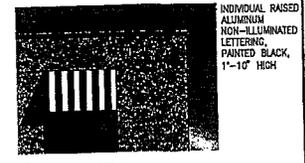
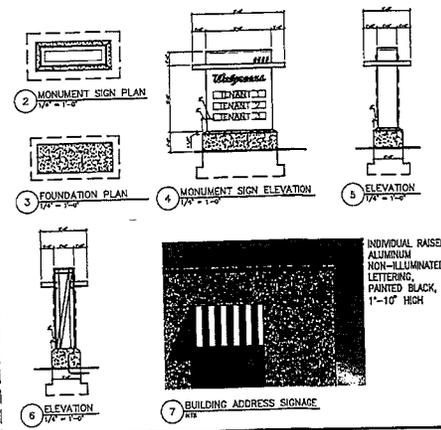
Pursuant to Part 2.75 of Chapter 15.12 of the San José Municipal Code, no vested right to a building permit shall accrue as the result of the granting of any land development approvals and applications when and if the City Manager make a determination that the cumulative sewage treatment demand on the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said plant will cause the total sewage treatment demand to meet or exceed the capacity of the San José-Santa Clara Water Pollution Control to treat such to meet or exceed the capacity of the San José-Santa Clara Water Pollution Control for the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantial conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approving authority.



TABULATION:

SITE AREA	2.17 AC (94,533 SF)
BUILDING AREA	24,062 SF
F.A.R.	25.5%
PARKING	117 STALLS
HANDICAPPED	5
8.5'x17' UNI-STALL	112
PARKING RATIO	4.8 / 1,000 SF
LANDSCAPE RATIO	17,746 SF (18.8%)
PARKING & DRIVEWAYS	52,537 SF (55.5%)

- D DUMPSTER
- T TRANSFORMER
- BR BIKE RACK



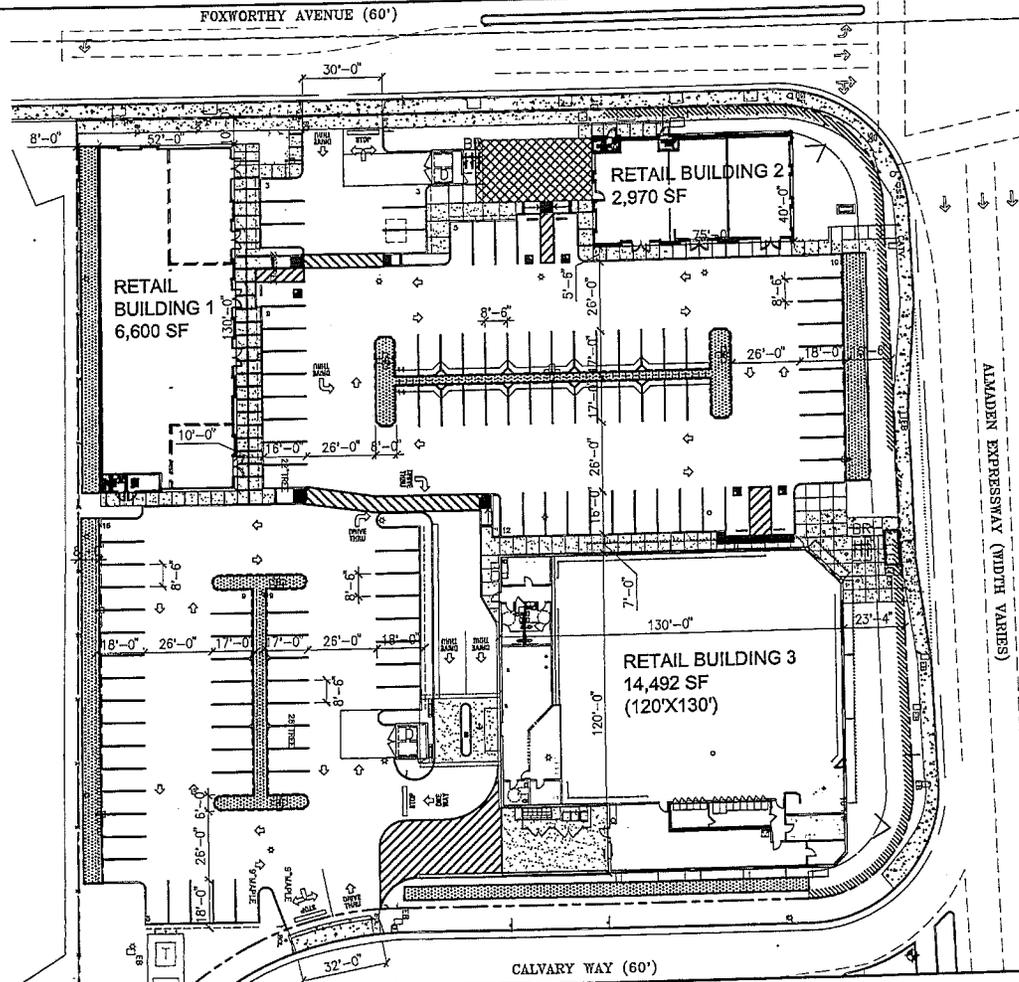
A4 SITE PLAN & MONUMENT SIGN

SCALE 1" = 20'-0"



ALMADEN @ FOXWORTHY
 ALMADEN EXPWY & FOXWORTHY AVE., SAN JOSE, CA
 FEBRUARY 4, 2011



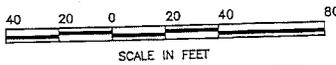


TABULATION:

SITE AREA	2.17 AC (94,533 SF)
BUILDING AREA	24,062 SF
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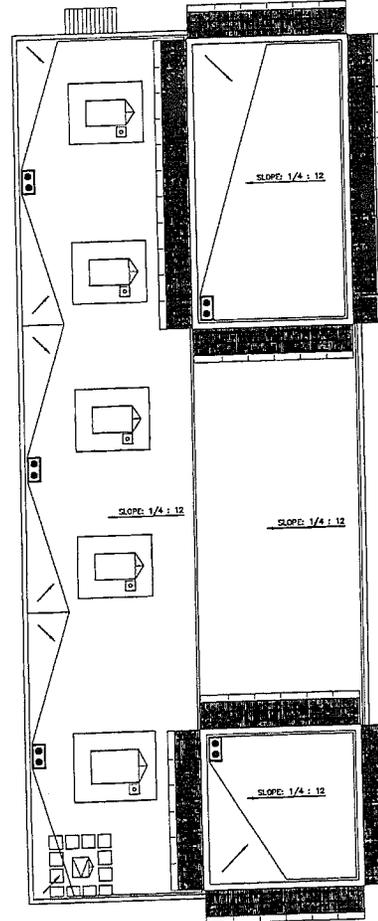
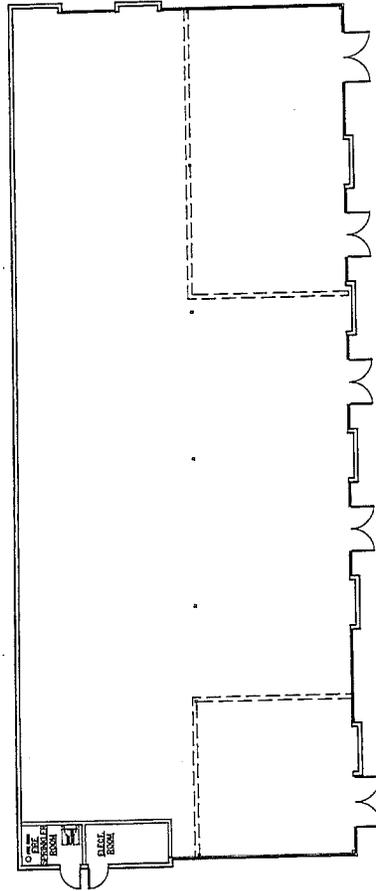
- D DUMPSTER
- T TRANSFORMER
- BR BIKE RACK

A5 SITE PLAN - DIMENSION
SCALE 1" = 20'-0"

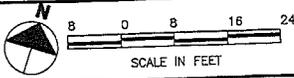


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FEBRUARY 4, 2011



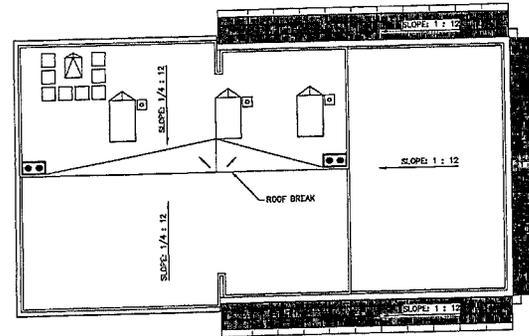
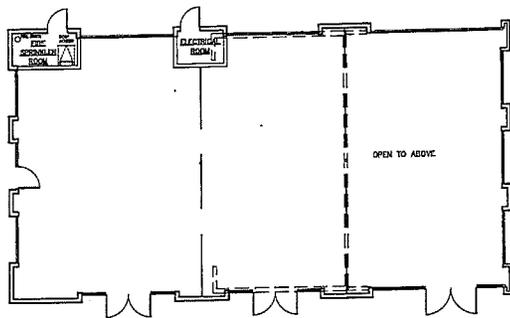


A6 BUILDING 1 FLOOR & ROOF PLANS
SCALE 1/8" = 1'-0"

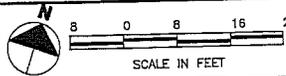


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FEBRUARY 4, 2011



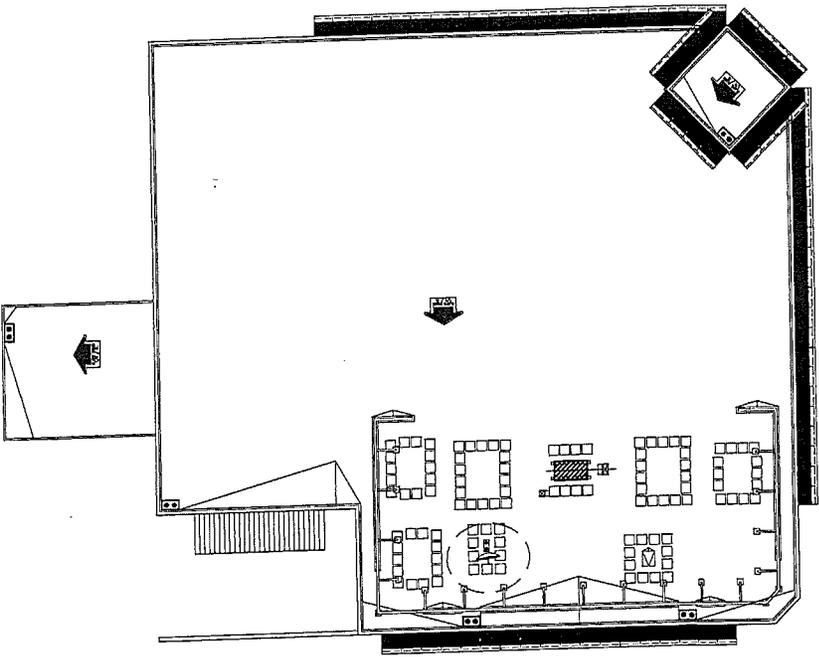
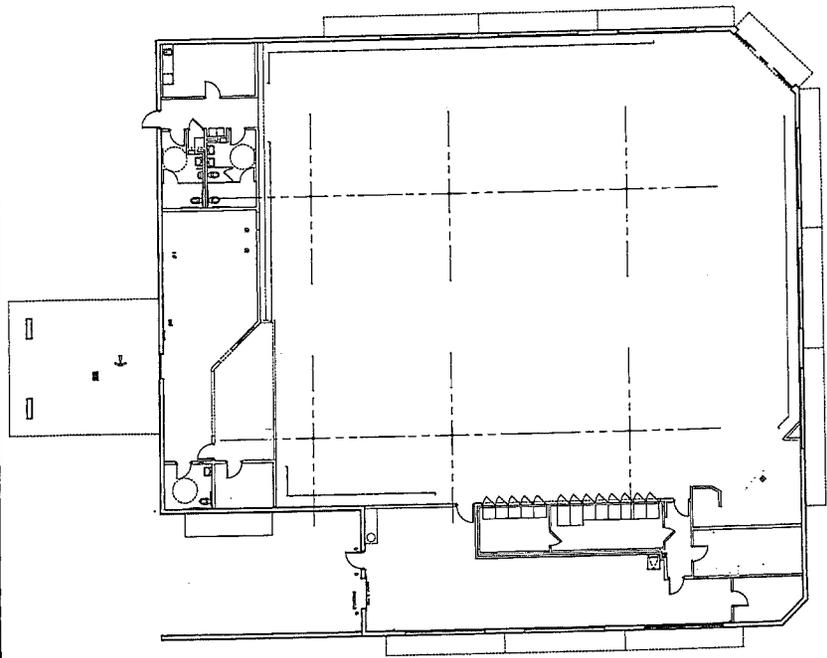


A8 BUILDING 2 FLOOR & ROOF PLANS
SCALE 1/8" = 1'-0"



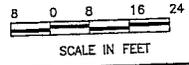
ALMADEN @ FOXWORTHY
ALMADEN EXPWY & FOXWORTHY AVE., SAN JOSE, CA
FEBRUARY 4, 2011





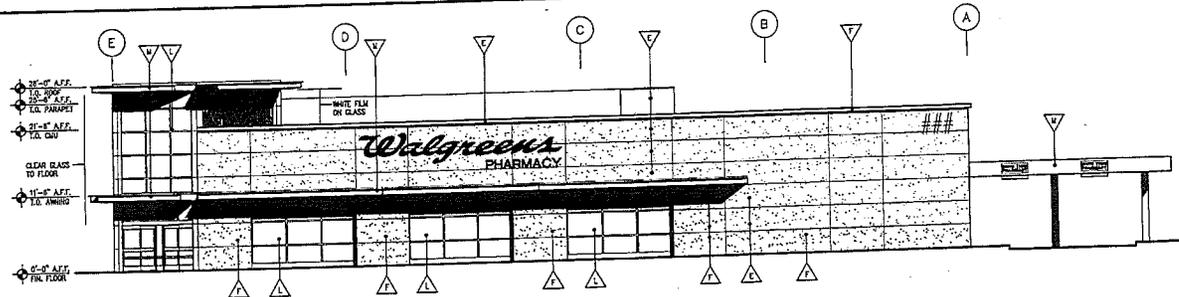
A10 BUILDING 3 FLOOR & ROOF PLANS

SCALE 3/32" = 1'-0"

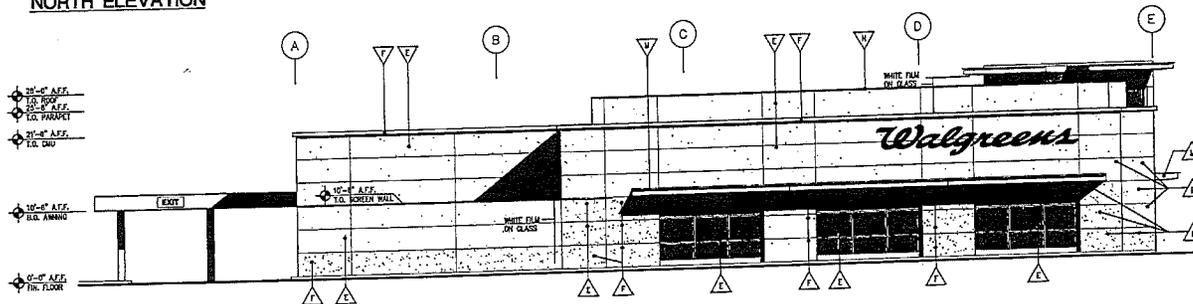


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 ALMADEN EXPWY & FOXWORTHY AVE., SAN JOSE, CA
 FEBRUARY 4, 2011

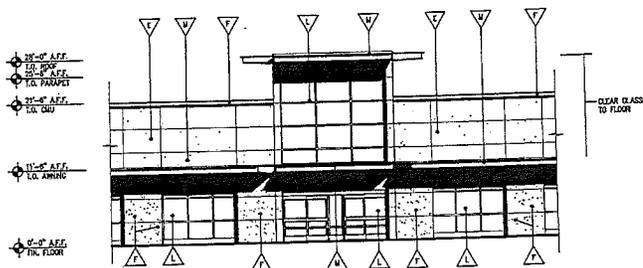




NORTH ELEVATION



SOUTH ELEVATION

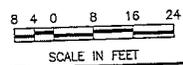


ENTRANCE ELEVATION

COLOR/MATERIAL LEGEND		
MATERIAL	MANUFACTURER	STYLE/COLOR
▽ STUCCO COLOR 5	PRATT & LAMBERT	"VANILLA" 2100
▽ STUCCO COLOR 5	KCI	"ORANGEWOOD TAY" K1-82
▽ STOREFRONT SYSTEM	KAWNEER	MIL FINISH ALUMINUM
▽ METAL EXTERIOR CANOPY	MIL FINISH ALUMINUM	MIL FINISH ALUMINUM
▽ PRE-FINISHED METAL COPING	UMA-GLAD	MATCH ADJACENT COLOR

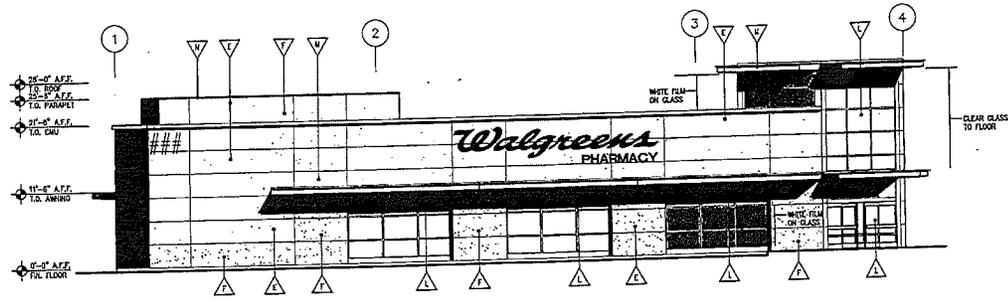
A11 BLDG 3 EXTERIOR ELEVATIONS

SCALE 3/32" = 1'-0"

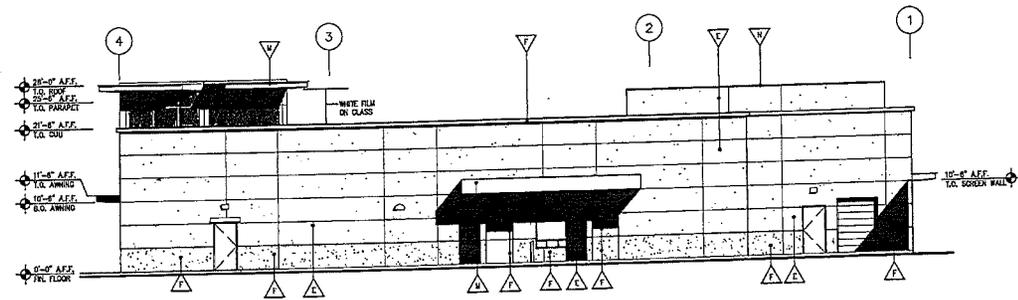


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ALMADEN EXPWY & FOXWORTHY AVE., SAN JOSE, CA
FEBRUARY 4, 2011





EAST ELEVATION



WEST ELEVATION

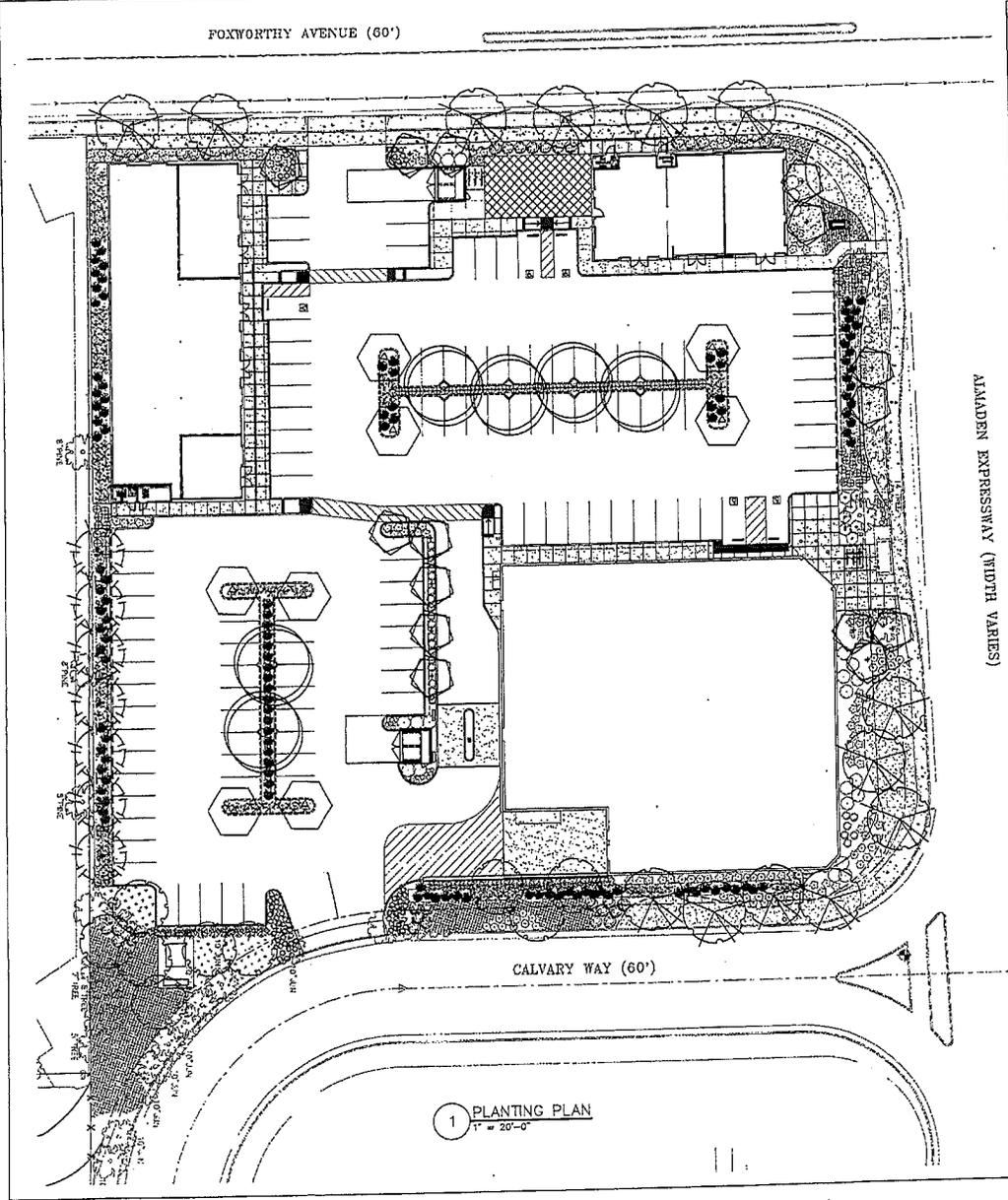
COLOR/MATERIAL LEGEND		
MATERIAL	MANUFACTURER	STYLE/COLOR
▽ STUCCO COLOR B	FRANT & LAMBERT	"VANILLA" 2100
▽ STUCCO COLOR B	KCI	"SPROCKEN TAY" 251 421
▽ STOREFRONT SYSTEM	KAWNEER	MILL FINISH ALUMINUM
▽ METAL EXTERIOR CANOPY	MILL FINISH ALUMINUM	MILL FINISH ALUMINUM
▽ FINE-FINISHED CUSTOM COLOR	UNW-GLAS	UNW-GLAS/CUT COLOR

A12 BLDG 3 EXTERIOR ELEVATIONS
SCALE 3/32" = 1'-0"



ALMADEN @ FOXWORTHY
ALMADEN EXPWY & FOXWORTHY AVE., SAN JOSE, CA
FEBRUARY 4, 2011

CSHOA
a design collaboration



ALMADEN EXPRESSWAY (WIDTH VARIES)

- GENERAL NOTES**
- IMMEDIATELY AFTER AWARD OF CONTRACT, VERIFY THE ACCURACY OF AVAILABILITY OF SPECIFIED PLANT MATERIAL. FROM CONTRACTOR, UNDERTAKE IF A SPECIFIED PLANT IS NOT AVAILABLE, THE PROJECT WILL PROCEED WITH ALTERNATE PLANT MATERIAL SELECTIONS, SUCH AS AVAILABLE, THE PROJECT WILL PROCEED WITH ALTERNATE PLANT MATERIAL SELECTIONS, SUCH AS AVAILABLE, THE PROJECT WILL PROCEED WITH ALTERNATE PLANT MATERIAL SELECTIONS, SUCH AS AVAILABLE.
 - LANDSCAPE INSTALLATION SPECIFICATIONS ARE IN BOOK FORM CONFORM TO ALL CONDITIONS AND REQUIREMENTS CONTAINED THEREIN. HAVE AVAILABLE ON THE JOB SITE AT ALL TIMES, AND IN OPERATIONAL ORDER, THE PROJECT CONSTRUCTION ENGINEER'S APPROVED APPROXIMATIONS, CHANGE ORDERS, AND / OR CONSTRUCTION CHANGE DIRECTIVES SPECIFIC TO THE LANDSCAPE INSTALLATION.
 - VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITY SYSTEMS PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION THAT MAY CAUSE DAMAGE TO SUCH SYSTEMS. CALL 1-800-485-5844 TO LOCATE EXISTING SYSTEMS. REPAIR / REPLACE DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER OR GOVERNING AGENCY, AND AT NO ADDITIONAL COST TO THE OWNER OR BIDDERS IN BID AWARD.
 - LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL MATERIALS, SUCH AS ROCK, TRUNK, CONSTRUCTION DEBRIS, INADEQUATE SOIL, AND OTHER MATERIALS, SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. SOIL SHALL BE AS PER SPECIFICATIONS. ALL PLANTED AREAS WITH CLEAN BARRIERS SHALL BE FREE OF DEBRIS. THE TOP SIX INCHES OF FILL MATERIAL SHALL BE STRIPPED FROM THE TOP OF THE TYPICAL, CLEAN TOPSOIL STRIPPED FROM THE SITE MAY BE UTILIZED FOR PLANTING OR TOPSOIL FILL. PRIOR APPROVAL HAS BEEN OBTAINED FROM THE AGENCIES.
 - EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (ONCE FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
 - PROVIDE ADEQUATE SOIL BARRIER COUNTER MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE AGENCIES IMMEDIATELY. FAILURE TO NOTIFY.
 - ALL PLANTING BEDS SHALL RECEIVE A 2" DEEP LAYER OF PINE BARK MULCH 1-1.5" IN SIZE, UNLESS OTHERWISE NOTED.
 - TYPICAL BEDS SHALL BE AS FOLLOWS (WHERE APPLICABLE): LAWN AREAS - 4" DEEP, PLANTING BEDS - 12" DEEP, CURB BELTWAYS - 18" DEEP. TOPSOIL SHALL BE IMPORTED SELECT TOPSOIL.
 - CONTRACTOR IS RESPONSIBLE TO REPAIR ALL LANDSCAPE PLANTING AREAS DAMAGED AS A RESULT OF NEW CONSTRUCTION. REPAIR SHALL BE ELECTRICAL, PLUMBING, REPAIRS SHALL BE LIMITED TO TRENCH, SHIELD, GROUND COVER AND LAWN MULCH. TYPICAL, EXISTING LANDSCAPE PAVING.
 - ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED FOR MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
 - CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PROVIDED ON ALL PLANS. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES BUT IS NOT LIMITED TO TREES, SHRUBS, ROCK, TOPSOIL, MULCH, SEEDS OR SOIL, LOGGING, AND GRIP LAWN QUANTITIES.

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
	Honeylocust	Gleditsia triacanthos 'Vermilion Chandelier'	24" box
	Reynold Ash	Fraxinus oxycarpa	15 Gallon
	Lavender Crepe Myrtle	Lagerstrœmia fraxil 'Mascotas'	15 Gallon
	Canary Island Pine	Pinus canariensis	24" box
	Coast Redwood	Sequoia sempervirens	15 Gallon
	Chantrelle Flowering Pear	Pyrus Calleryana 'Chantrelle'	24" box

SYM	COMMON NAME	BOTANICAL NAME	SIZE
	Red Escallonia	Escallonia rubra	15 gallon
	Frodes Escallonia	Escallonia n. exoniensis 'Frodes'	5 gallon
	Pithium Lemonwood	Pittosporum eugenioides 'Pithium'	15-gallon
	Purple Fountain Grass	Panicum salsicium 'Rubrum'	5 gallon
	New Zealand Flax	Phormium tenax	5 gallon
	Garden Parasitium	Passiflora glaucofolia	5 gallon
	Alder tree	Diorea bicolor	5 gallon
	Daylily	Hemerocallis hybrid	5 gallon
	Lily-of-the-Sea	Agapanthus 'Midnight Blue'	5 gallon
	Upright Rosemary	Roosmirus 'Blue Spikes'	5 gallon
	Radiant Phlox	Phlox rosea	5 gallon
	Pink Rockrose	Cistus 'Doris Hibernica'	5 gallon
	Blue Dot Grass	Hedisterichon sempervirens	5 gallon
	Indian Hawthorne	Rhodaphysa indica	5 gallon
	Corea ypsilon	San Diego Sedge	1 gallon
	Juncea effusa	Common Rush	1 gallon
	Carex buchananii	Lanthea Leaf Sedge	1 gallon

SYMBOL	DESCRIPTION
	SOD LAWN, 'MEDALLION DEAR' PESCUE BY PACIFIC SOD
	Lavender Montedanais (Lavender Lancelotti) from 1 gallon cone @ 35" O.C.
	Seevato 'Moove Clusters' (Pantflower) from 1 Gallon cone @ 24" O.C.
	Reardon's 'Huntington Carpet' (Prostrate Rosemary) from 1 gallon cone @ 35" O.C.

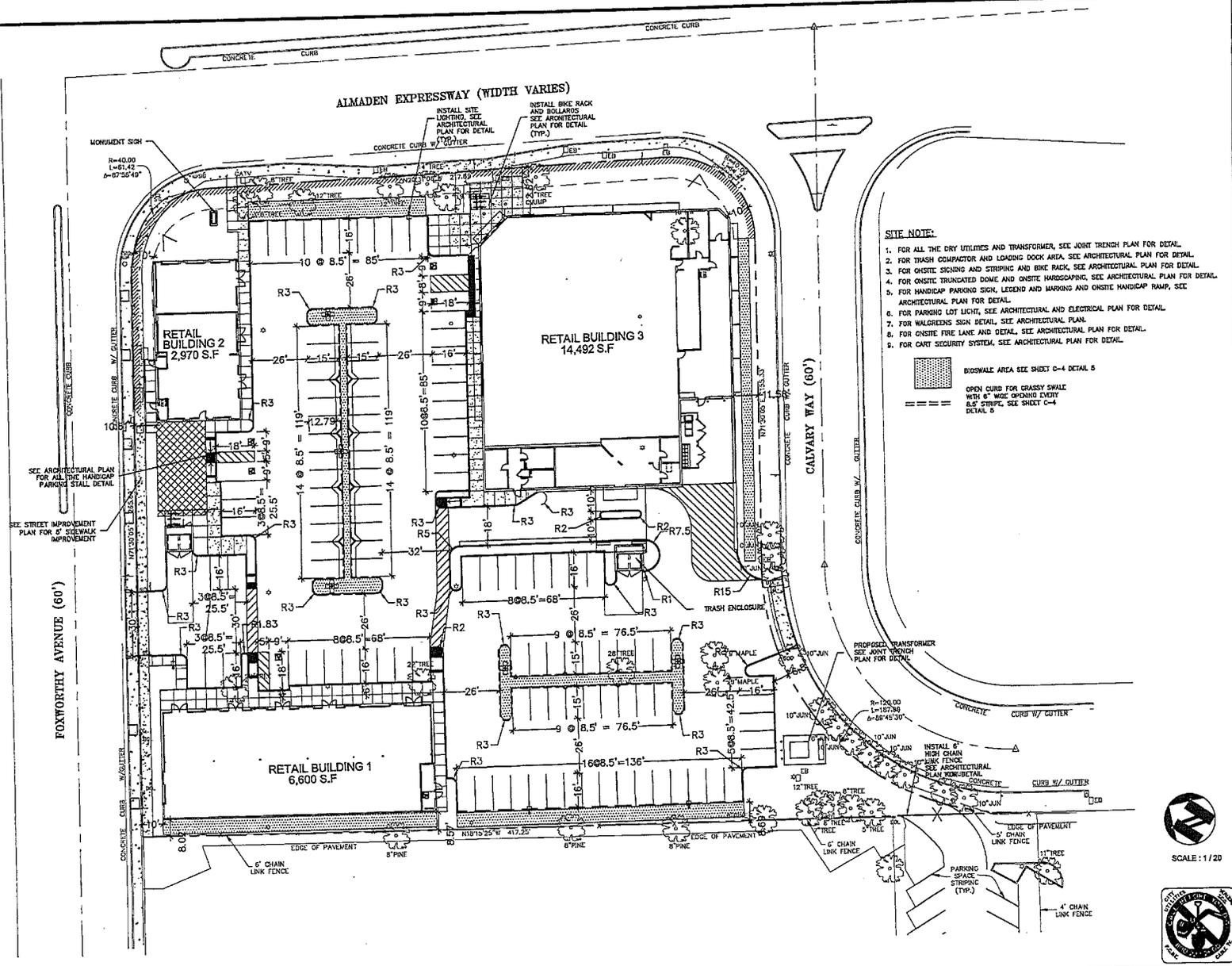
CSHQA
 CONSTRUCTION SOFTWARE
 11000 UNIVERSITY AVENUE, SUITE 100
 SAN DIEGO, CALIFORNIA 92121
 (619) 591-1100
 WWW.CSHQA.COM

LIBRARY CATALOG THAT
 IDENTIFIES PLANT MATERIAL
 SPECIFICATIONS FROM
 PLANS AND PROJECT
 MANUALS. IT PROVIDES
 A MAINTENANCE SCHEDULE
 AND A CHECKLIST OF
 PLANTING AND CARE
 REQUIREMENTS. IT IS
 AVAILABLE FOR
 PURCHASE OR
 RENTAL FROM
 CSHQA.

PLANTING PLAN
 STORE NUMBER 12548
WAL GREENS
 SEC. ALMADEN EXPRESSWAY & FOXWORTHY AVE
 SAN JOSE, CALIFORNIA

DATE: 11/11/03
 REVIEWED: [Signature]

L-010



- SITE NOTE:**
1. FOR ALL THE DRY UTILITIES AND TRANSFORMER, SEE JOINT TRENCH PLAN FOR DETAIL.
 2. FOR TRASH COMPACTOR AND LOADING DOCK AREA, SEE ARCHITECTURAL PLAN FOR DETAIL.
 3. FOR ONSITE SIGNING AND STRIPING AND BIKE RACK, SEE ARCHITECTURAL PLAN FOR DETAIL.
 4. FOR ONSITE TRUNCATED DOME AND ONSITE HARDSCAPING, SEE ARCHITECTURAL PLAN FOR DETAIL.
 5. FOR HANDICAP PARKING SIGN, LEGEND AND MARKING AND ONSITE HANDICAP RAMP, SEE ARCHITECTURAL PLAN FOR DETAIL.
 6. FOR PARKING LOT LIGHT, SEE ARCHITECTURAL AND ELECTRICAL PLAN FOR DETAIL.
 7. FOR WALGREENS SIGN DETAIL, SEE ARCHITECTURAL PLAN FOR DETAIL.
 8. FOR ONSITE FIRE LANE AND DETAIL, SEE ARCHITECTURAL PLAN FOR DETAIL.
 9. FOR CURT SECURITY SYSTEM, SEE ARCHITECTURAL PLAN FOR DETAIL.

BIOSWALE AREA SEE SHEET C-4 DETAIL 5
 OPEN CURB FOR GRASSY SWALE
 WITH 6" WIDE OPENING EVERY
 8.5' CENTER, SEE SHEET C-4
 DETAIL 5



ASSOCIATES, INC. PLANS AND ENGINEERING SERVICES
 2500 CALIFORNIA AVENUE
 SUITE 200
 SAN JOSE, CA 95128
 TEL: 408-253-3777 FAX: 408-253-3778

NO.	DATE	REVISION	DESCRIPTION



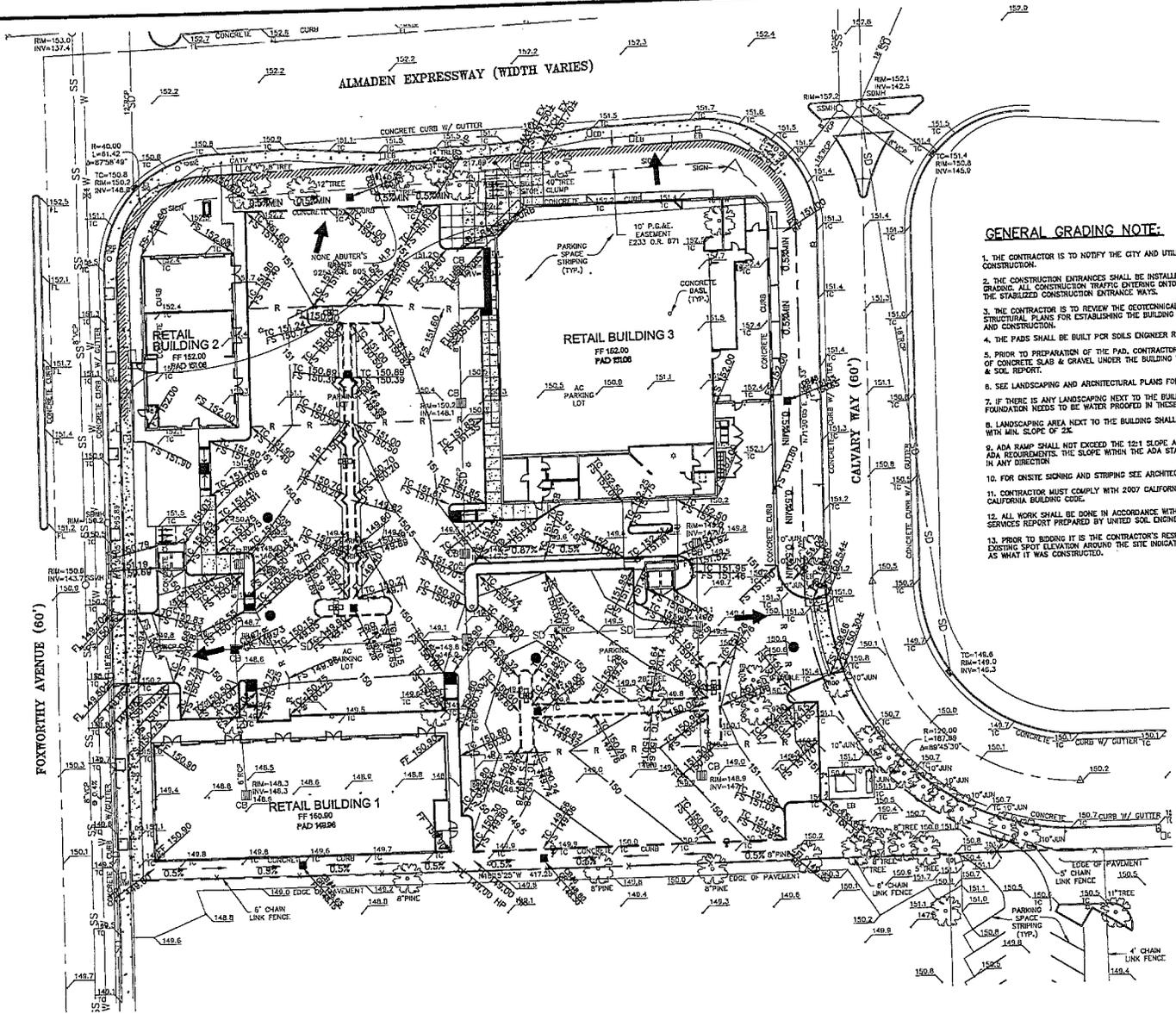
SCALE: 1/20



HORIZONTAL CONTROL PLAN STORE NUMBER 12458 WALGREENS SEC. ALMADEN/FOXWORTH & FOXWORTH AVE SAN JOSE, CA	CAD BY: [] DESIGNED BY: [] DRAWN BY: [] DATE: 08/01/07 REVIEWER: [] APPR: []
---------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------



PROJECT # 07-010



GENERAL GRADING NOTE:

1. THE CONTRACTOR IS TO NOTIFY THE CITY AND UTILITY COMPANIES PRIOR TO CONSTRUCTION.
2. THE CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE MATS.
3. THE CONTRACTOR IS TO REVIEW THE GEOTECHNICAL REPORT, ARCHITECTURAL AND STRUCTURAL PLANS FOR ESTABLISHING THE BUILDING PAD ELEVATIONS PRIOR TO BID AND CONSTRUCTION.
4. THE PADS SHALL BE BUILT PER SOILS ENGINEER RECOMMENDATIONS.
5. PRIOR TO PREPARATION OF THE PAD, CONTRACTOR TO REVIEW & VERIFY THICKNESS OF CONCRETE SLAB & GRAVEL UNDER THE BUILDING W/ ARCHITECTURAL, STRUCTURAL & SOIL REPORT.
6. SEE LANDSCAPING AND ARCHITECTURAL PLANS FOR THE HARDSCAPING DETAIL.
7. IF THERE IS ANY LANDSCAPING NEXT TO THE BUILDING OR THE SCREEN WALL, THE FOUNDATION NEEDS TO BE WATER PROOFED IN THESE LOCATIONS.
8. LANDSCAPING AREA NEXT TO THE BUILDING SHALL SLOPE AWAY FROM BUILDING WITH MIN. SLOPE OF 2%.
9. ADA RAMP SHALL NOT EXCEED THE 1:21 SLOPE AND SHALL BE CONSTRUCTED PER ADA REQUIREMENTS. THE SLOPE WITHIN THE ADA SHALL NOT EXCEED 2X SLOPE IN ANY DIRECTION.
10. FOR ONSITE SIGNING AND STRIPING SEE ARCHITECTURAL DRAWINGS.
11. CONTRACTOR MUST COMPLY WITH 2007 CALIFORNIA PLUMBING CODE AND 2007 CALIFORNIA BUILDING CODE.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REFERENCED GEOTECHNICAL SERVICES REPORT PREPARED BY UNITED SOIL ENGINEERING, INC.
13. PRIOR TO BIDDING IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY IF THE EXISTING SPOT ELEVATION AROUND THE SITE INDICATED IN THIS DRAWING IS THE SAME AS WHAT IT WAS CONSTRUCTED.

OUT: 1,267 C.Y.
 FILL: 630 C.Y.
 EXPORT: 637 C.Y.
 *NOT FOR BIDDING
 (CONTRACTOR TO VERIFY)



SCALE: 1/20



ams
 CONSULTING, INC. PLANNING DESIGNING SURVEYING
 15000 ALMADEN AVENUE
 SUITE 200
 SAN JOSE, CA 95131
 TEL: 408-253-2777 FAX: 408-253-2778

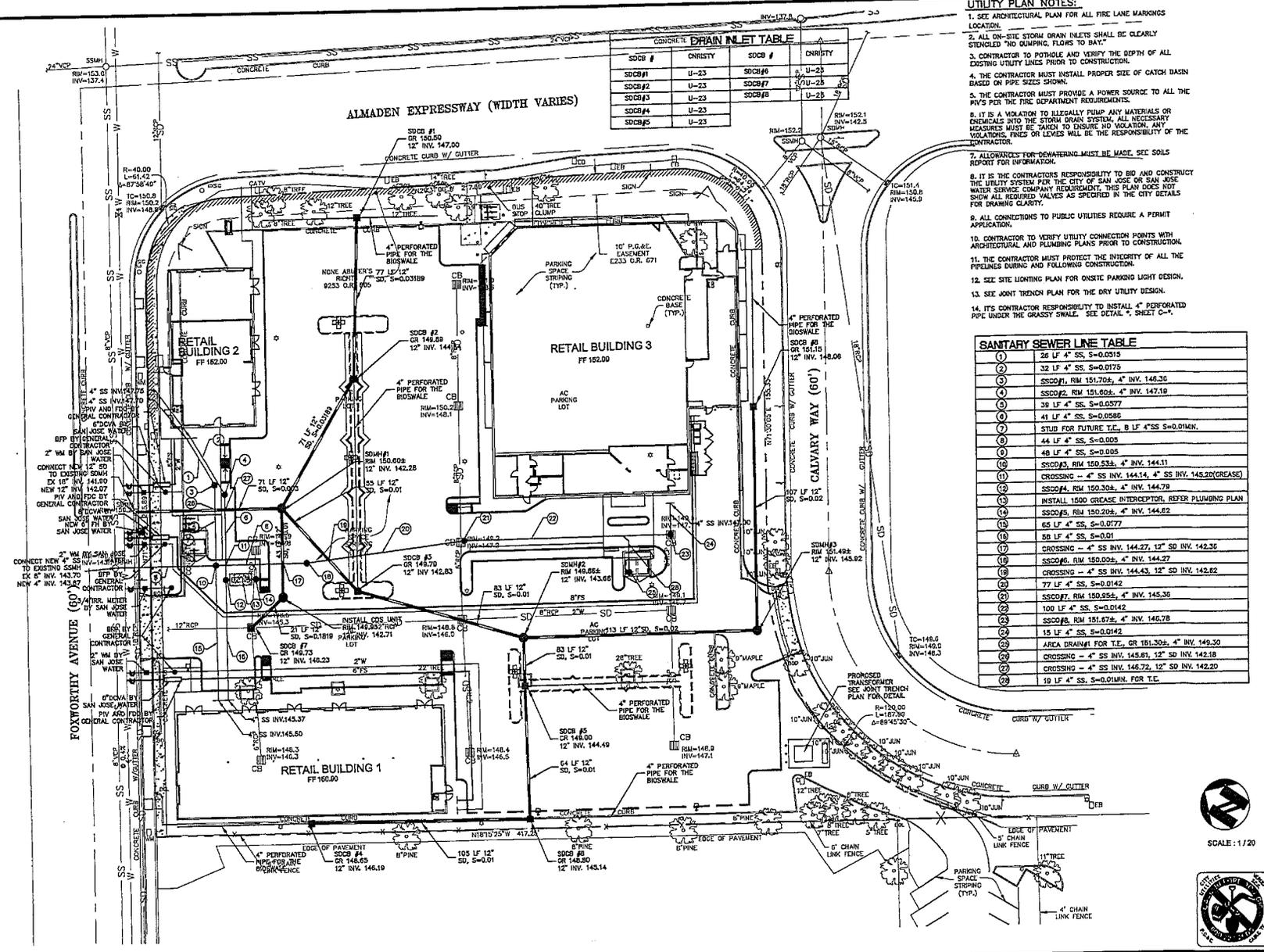
CHECKED BY: T. HUNT
 DRAWN BY: M. W. WILSON
 PREPARED BY: M. W. WILSON
 SUPERVISOR AND THAT
 ALL PROJECT REQUIREMENTS
 HAVE BEEN MET AND THAT
 THE PROJECT IS COMPLETE
 AND READY FOR FINAL
 APPROVAL BY THE CITY

NO.	DATE	BY	REVISIONS

NO.	DATE	BY	REVISIONS

GRADING PLAN STORE NUMBER 1248 WALGREENS SEC. ALMADEN EXPWY & FOXWORTHY AVE. SAN JOSE, CA	CLIENT: WALGREENS DRAWN BY: M. WILSON CHECKED BY: T. HUNT REVIEWED BY: M. WILSON
--------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------

C-7



CONCRETE DRAIN INLET TABLE

SDCB #	CRISTY	SDCB #	CRISTY
SDCB#1	U-23	SDCB#7	U-23
SDCB#2	U-23	SDCB#8	U-23
SDCB#3	U-23	SDCB#9	U-23
SDCB#4	U-23		
SDCB#5	U-23		

- UTILITY PLAN NOTES:**
- SEE ARCHITECTURAL PLAN FOR ALL FIRE LANE MARKINGS LOCATION.
 - ALL ON-SITE STORM DRAIN INLETS SHALL BE CLEARLY STENCILED "NO CUMMING, FLOWS TO BAY."
 - CONTRACTOR TO POTHOLE AND VERIFY THE DEPTH OF ALL EXISTING UTILITY LINES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR MUST INSTALL PROPER SIZE OF CATCH BASIN BASED ON PIPE SIZES SHOWN.
 - THE CONTRACTOR MUST PROVIDE A POWER SOURCE TO ALL THE PVS PER THE FIRE DEPARTMENT REQUIREMENTS.
 - IT IS A VIOLATION TO ILLEGALLY PUMP ANY MATERIALS OR ENDS INTO THE STORM DRAIN SYSTEM. ALL NECESSARY MEASURES MUST BE TAKEN TO ENSURE NO VIOLATION. ANY VIOLATIONS FINES OR LEVIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALLOWANCES FOR Dewatering MUST BE MADE. SEE SOILS REPORT FOR INFORMATION.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO BID AND CONSTRUCT THE UTILITY SYSTEM PER THE CITY OF SAN JOSE OR SAN JOSE WATER SERVICE COMPANY REQUIREMENT. THIS PLAN DOES NOT SHOW ALL REQUIRED VALVES AS SPECIFIED IN THE CITY DETAILS FOR DRAWING CLARITY.
 - ALL CONNECTIONS TO PUBLIC UTILITIES REQUIRE A PERMIT APPLICATION.
 - CONTRACTOR TO VERIFY UTILITY CONNECTION POINTS WITH ARCHITECTURAL AND PLUMBING PLANS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR MUST PROTECT THE INTEGRITY OF ALL THE PIPELINES DURING AND FOLLOWING CONSTRUCTION.
 - SEE SITE LIGHTING PLAN FOR ON-SITE PARKING LIGHT DESIGN.
 - SEE JOINT TRENCH PLAN FOR THE DRY UTILITY DESIGN.
 - ITS CONTRACTOR RESPONSIBILITY TO INSTALL 4" PERFORATED PIPE UNDER THE GRASSY SWALE. SEE DETAIL 4" SHEET C-0.

SANITARY SEWER LINE TABLE

1	30 LF 4" SS, S=0.0515
2	32 LF 4" SS, S=0.0175
3	SSCO#1, RM 151.7026, 4" INV. 145.35
4	SSCO#2, RM 151.6026, 4" INV. 147.18
5	38 LF 4" SS, S=0.0577
6	41 LF 4" SS, S=0.0586
7	STUB FOR FUTURE T.E., 8 LF 4" SS S=0.016M.
8	44 LF 4" SS, S=0.005
9	48 LF 4" SS, S=0.005
10	SSCO#3, RM 150.533, 4" INV. 144.11
11	CROSSING - 4" SS INV. 144.14, 4" SS INV. 145.20(GREASE)
12	SSCO#4, RM 150.304, 4" INV. 144.79
13	INSTALL 1500 GREASE INTERCEPTOR, REFER PLUMBING PLAN
14	SSCO#5, RM 150.206, 4" INV. 144.62
15	65 LF 4" SS, S=0.0177
16	68 LF 4" SS, S=0.01
17	CROSSING - 4" SS INV. 144.27, 12" SD INV. 142.35
18	SSCO#6, RM 150.026, 4" INV. 144.27
19	CROSSING - 4" SS INV. 144.43, 12" SD INV. 142.62
20	77 LF 4" SS, S=0.0142
21	SSCO#7, RM 150.054, 4" INV. 145.38
22	100 LF 4" SS, S=0.0142
23	SSCO#8, RM 151.8726, 4" INV. 146.78
24	115 LF 4" SS, S=0.0142
25	AREA DRAINAGE FOR T.E., CR 161.3026, 4" INV. 149.30
26	CROSSING - 4" SS INV. 145.81, 12" SD INV. 142.18
27	CROSSING - 4" SS INV. 146.72, 12" SD INV. 142.20
28	19 LF 4" SS, S=0.016M. FOR T.E.

LIBERTY COUNTY (TX)
 SPECIALIZATION IN
 CONSTRUCTION OF
 SANITARY SEWER
 AND WATER MAINS
 (REGISTERED ENGINEER)
 STATE OF CALIFORNIA
 NO. 50167
 AND 50168

ams
 ASSOCIATES, INC. PLANNING ENGINEERING SURVEYING

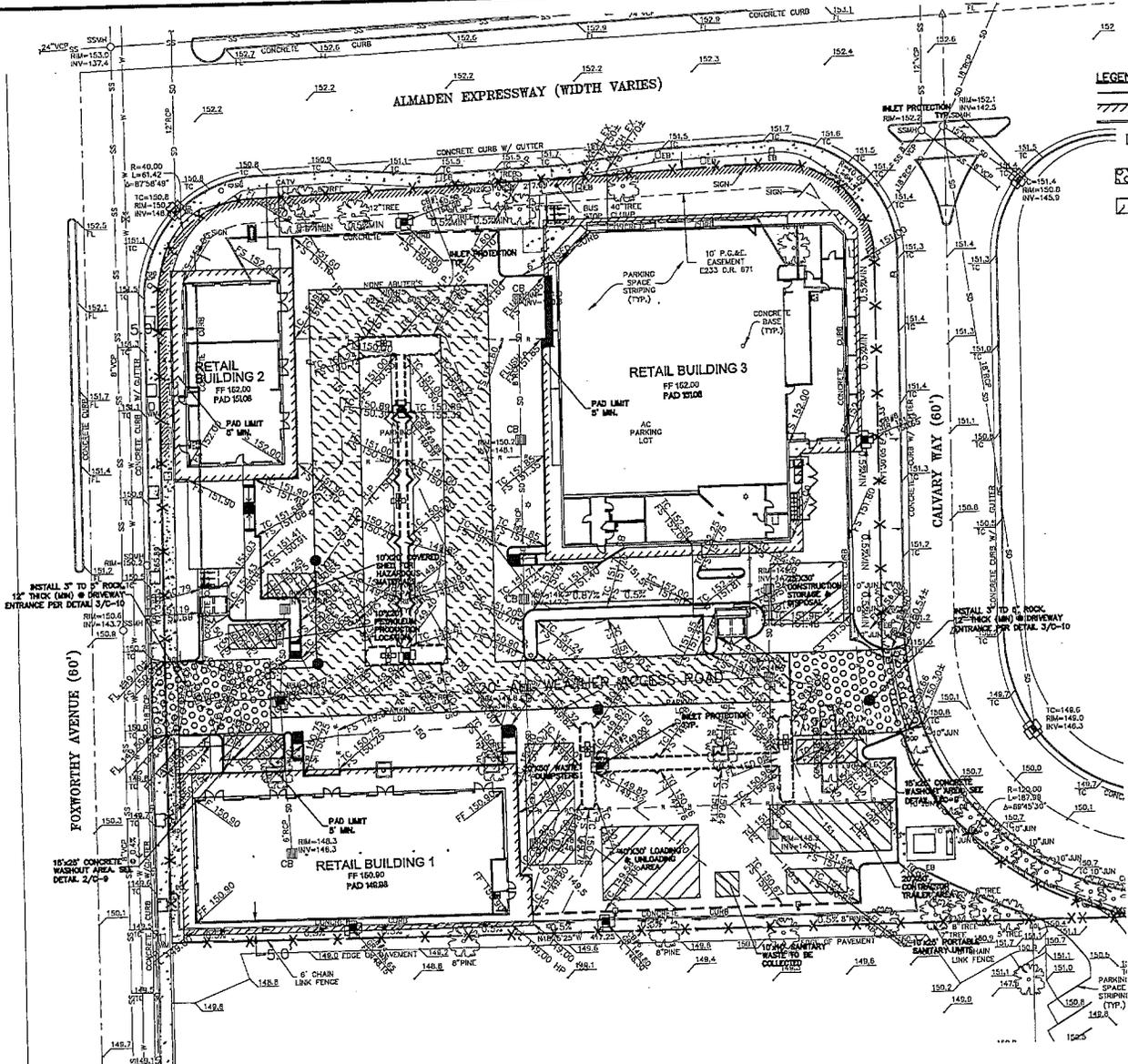
15000 W. 14TH AVENUE
 SUITE 100
 DENVER, CO 80202
 PHONE: 303-757-2777
 FAX: 303-757-2778

UTILITY PLAN
 STORE NUMBER 12548
WALGREENS
 SEC. ALMADEN EXPRESSWAY & FOXWORKY AVE
 SAN JOSE, CA

DATE: 02/20/11
 DRAWN BY: M
 CHECKED BY: M
 REVISIONS

SCALE: 1/120

C-8
 AUG PROJECT # 121010



- LEGEND:**
- STRAW ROLLS
 - PAD LIMIT
 - CURB LINE
 - STORM DRAIN SEDIMENT PROTECTION
SEE DETAIL 4/ C-10
 - STORM DRAIN STRUCTURE/INLET
(3"-5" ROCK, 12" THICK)
 - STABILIZED DRIVEWAY ENTRANCE
SEE DETAIL 3/ C-10
 - ALL WEATHER ACCESS ROAD
MIN. OF 12" CLASS II A.B.
CONFORM WITH CITY OF SAN JOSE
FIRE DEPARTMENT AND SOILS ENGINEER
RECOMMENDATION WHICH EVER IS MORE STRINGENT

NOTE: CONTRACTOR TO VERIFY EXACT LOCATION AND VOLUME OF IMPORTED OR EXPORTED SOIL ON SITE PRIOR TO BIDDING.





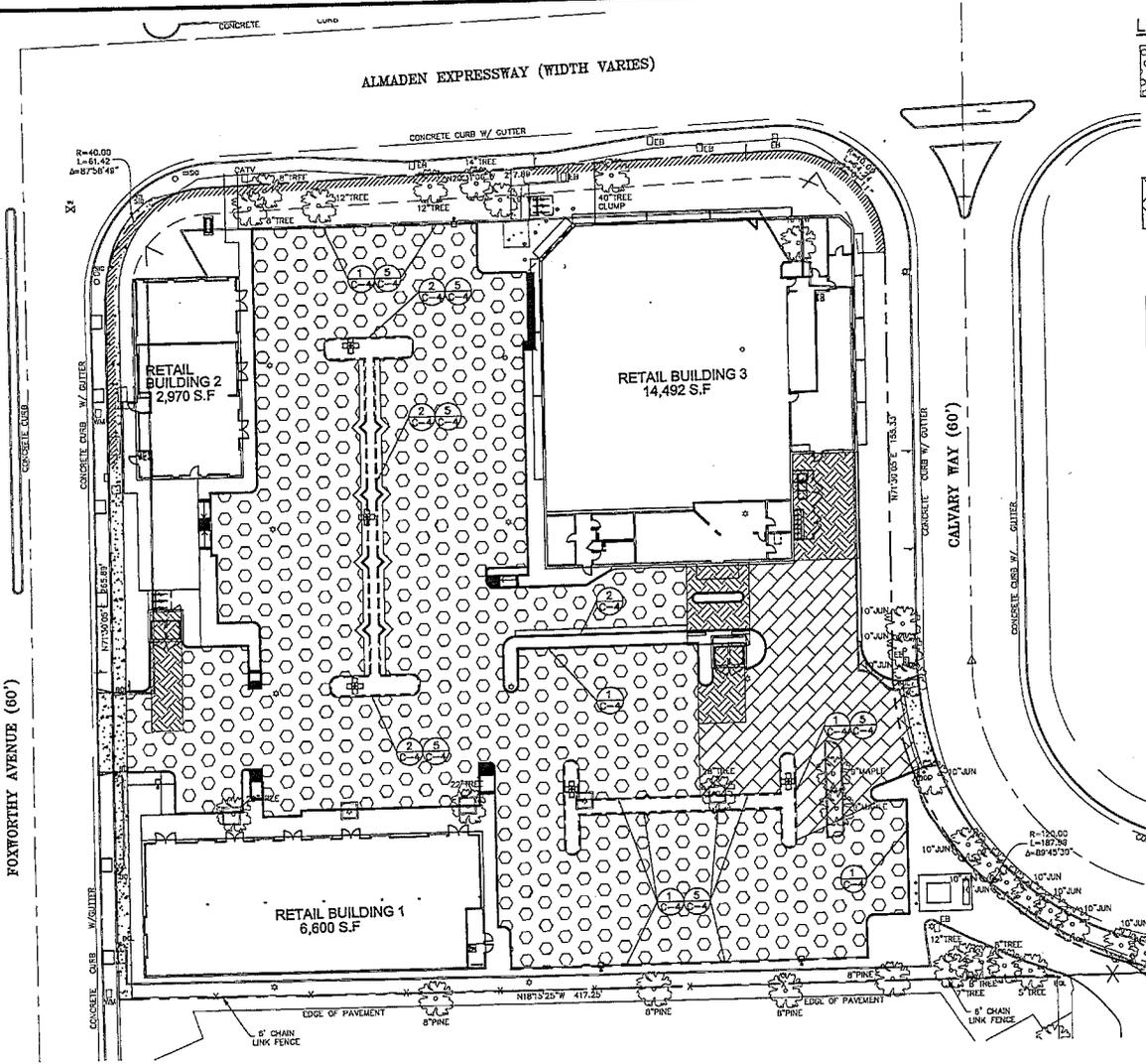
15 ALVARADO WAY
 SUITE 300
 SAN JOSE, CA 95128
 TEL: 415-353-7777 FAX: 415-353-7778
 CREDENTIALS: P.E. LICENSED ENGINEER SURVEYOR

EROSION CONTROL PLAN PHASE II
 STORE NUMBER 0248
WALGREENS
 SEC. ALVARADO & FOXWORTHY AVE.
 SAN JOSE, CA

REV.	DATE	BY	REVISIONS

CADD PLOT:
 DESIGNED BY:
 DRAWN BY:
 DATE: 02/28/01
 REVISIONS:
 1/01

C-13
 APPROVED BY:



LEGEND (FOR PAVEMENT PLAN)

- 

STANDARD DUTY ASPHALT PAVEMENT
 TI = 5.5
 3.5" AC OVER
 10" AB OVER
 12" AT LEAST 95% COMPACTED SUBBASE
- 

HEAVY DUTY ASPHALT PAVEMENT
 TI = 6.0
 3.5" AC OVER
 12" AB OVER
 12" AT LEAST 95% COMPACTED SUBBASE
- 

RECEIVING PAD, TRASH ENCLSURE,
 LOADING DOCK
 SEE ARCHITECTURAL AND STRUCTURAL
 PLAN FOR DETAIL AND SECTION

- NOTES:**
- FOR TRASH COMPACTOR DETAILS, SEE ARCHITECTURAL DRAWINGS.
 - FOR HARDSCAPE AND SIDEWALK DETAILS IN PLAZA AREA AND FRONT OF STORES, SEE ARCHITECTURAL AND LANDSCAPE DRAWING.
 - FOR LOADING DOCK DETAIL SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS.



SCALE: 1/20



ams
 ENGINEERING
 10000
 SAN JOSE, CA
 408-261-1111

DESIGNED BY: [Name]
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]

NO.	DATE	BY	REVISIONS

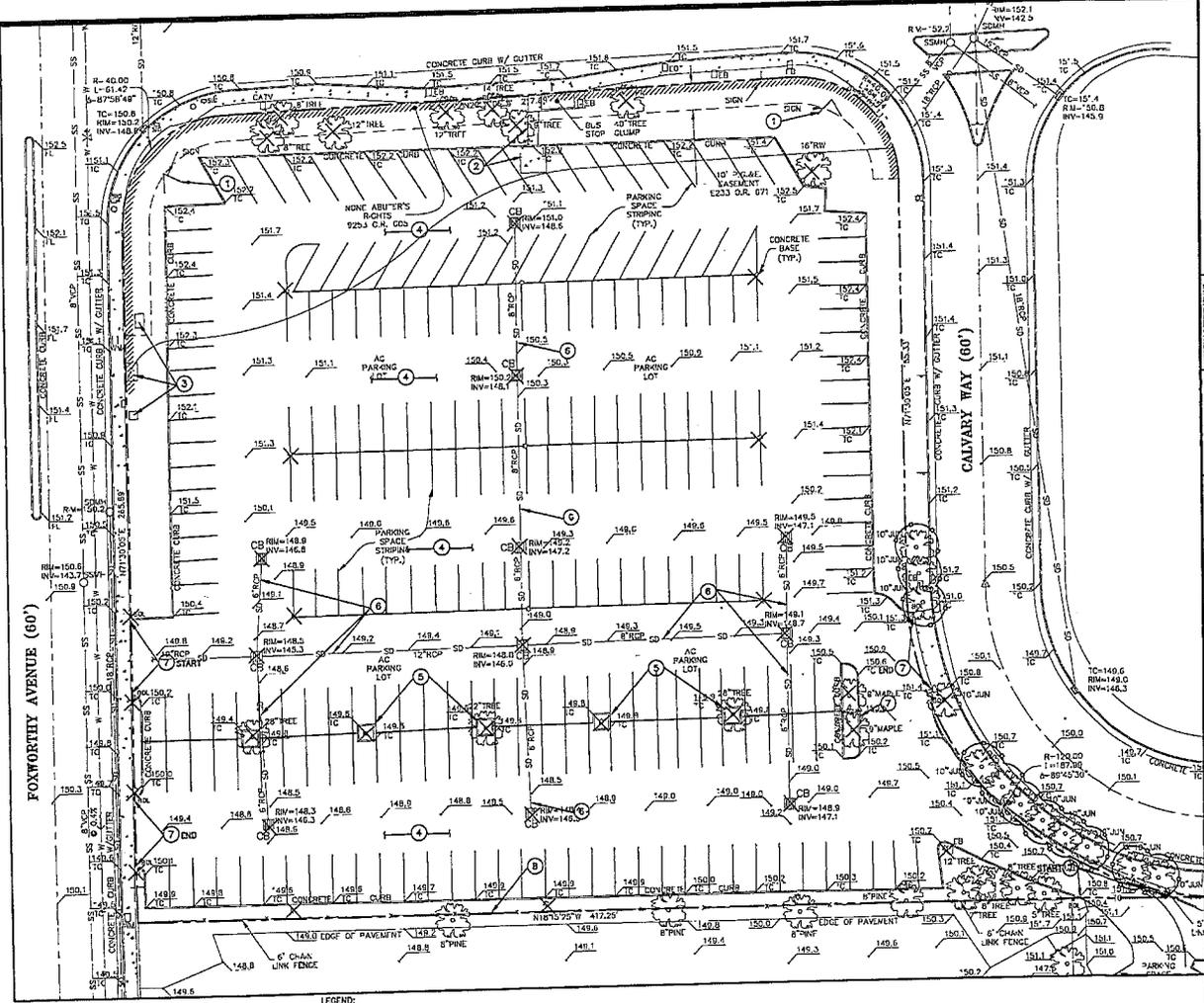
PROJECT: STORE NUMBER 12548
 WALGREENS
 SEC. ALMADEN EXPRESSWAY & FOXWORTHY AVE
 SAN JOSE, CA

PROJECT NUMBER: 12548
 STORE NUMBER: 12548
 WALGREENS
 SEC. ALMADEN EXPRESSWAY & FOXWORTHY AVE
 SAN JOSE, CA

C-14
 PROJECT NUMBER: 12548

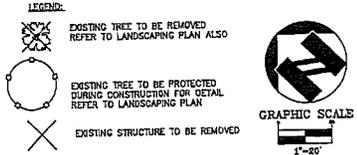
DEMOLITION NOTES:

- THE CONTRACTOR SHALL CAREFULLY AND THOROUGHLY EXAMINE THE PLAN AND THE SITE TO OBTAIN FIRST-HAND KNOWLEDGE OF EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF BIDDING.
- EXISTING STRUCTURES, FOUNDATIONS, TRASH, DEBRIS, LOOSE FILL, TREES, ROOTS, TREE REMAINS AND OTHER RUBBISH SHALL BE REMOVED, PILED OR OTHERWISE DISPOSED OF SO AS TO LEAVE THE AREAS THAT HAVE BEEN DISTURBED WITH A NEAT AND FINISHED APPEARANCE, FREE FROM DEBRIS.
- THE METHODS FOR REMOVAL OR SUBSURFACE IRRIGATION AND UTILITY LINES WILL DEPEND ON THE DEPTH AND LOCATION OF THE LINE IN RELATION TO FUTURE DEVELOPMENT, UNLESS OTHERWISE SPECIFIED. REMOVE THE PIPE AND COMPACT THE SOIL IN THE TRENCH ACCORDING TO THE APPLICABLE PORTIONS OF THESE SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES. THOSE SHOWN REPRESENT THE BEST INFORMATION AVAILABLE TO GMS ASSOCIATES, INC. AT THE TIME OF PREPARATION OF THESE PLANS. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THIS INFORMATION.
- LAWFUL DISPOSAL OF ALL EXCESS MATERIAL OFF THE PROPERTY.
- OBTAINMENT OF ANY PERMITS REQUIRED BY LOCAL AGENCIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL UTILITY LINES ON THE BUILDING AREA SHOULD BE REMOVED AND CARVED, VERIFY WITH SOIL ENGINEER.
- ANY DAMAGE TO EXISTING UNDERGROUND UTILITY LINES TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL NOT ALLOW RUBBLE TO ACCUMULATE ON THE PROPERTY. TEMPORARY STORAGE SHALL BE PERMITTED FOR CONTRACTOR'S CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY THEREOF.
- THE CONTRACTOR SHALL PERFORM HIS/HER WORK IN A MANNER TO RESULT IN MINIMUM INCONVENIENCE TO THE TRAFFIC, PEDESTRIANS AND EXISTING BUS FACILITY AT ALL TIMES DURING THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF PROPERTY AND PERSONS AFFECTED AS A RESULT OF THIS WORK. SAFETY MEASURES SUCH AS BARRICADES, FLAGMEN, SIGNS AND OTHER SUITABLE WARNING DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THE SAFETY OF THE PUBLIC, PEDESTRIANS AND EMPLOYEES (INCLUDING PERSONS EMPLOYED BY THE CONTRACTOR) AT ALL TIMES DURING THE COURSE OF CONSTRUCTION (DURING WORKING AND NON-WORKING HOURS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE CONDITIONS AND THE SAFETY OF PROPERTY AND PERSONS AT ALL TIMES THROUGHOUT THE CONTRACT PERIOD. THE CONTRACTOR SHALL HOLD HARMLESS AND DEFEND THE OWNER, ENGINEER AND THEIR ASSIGNS, EMPLOYEES OR AGENTS FROM ANY AND ALL CLAIMS, REAL OR ALLEGED, ARISING OUT OF THE PERFORMANCE OF THE WORK, EXCEPT IN THE CASE OF SOLE NEGLIGENCE OF THE OWNER, ENGINEERS AND THEIR ASSIGNS, EMPLOYEES OR AGENTS.
- ORGANIC MATERIAL SHALL BE REMOVED FROM THE SURFACE UPON WHICH THE FILL IS TO BE LACED. THE SURFACE SHALL THEN BE PLOWED OR SCARIFIED TO A DEPTH OF AT LEAST 8 INCHES AND UNTIL THE SURFACE IS FREE FROM RUBB, HUMMOCKS OR OTHER UNDESIRABLE FEATURES WHICH WOULD TEND TO PREVENT UNIFORM COMPACTION BY THE EQUIPMENT TO BE USED.
- WHERE LOOSE, UNCOMPACTED FILL OCCURS AT THE SURFACE OF THE SITE, THE MATERIALS SHALL BE EXCAVATED TO EXPOSE FIRM, NATURAL GROUND OR PREVIOUSLY COMPACTED FILL. THE EXPOSED SURFACE SHALL THEN BE PREPARED TO RECEIVE FILL IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF THESE SPECIFICATIONS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY CONSTRUCTION, PAVING UTILITIES, TREES, VEGETATION AND PUBLIC THROUGH FARES.
- DEMOLITION MAY CREATE A HAZARDOUS CONDITION BY THE RELEASE OF ASBESTOS FIBERS INTO THE AIR. SPECIAL ASBESTOS ABATEMENT PROCEDURES MAY BE REQUIRED. REMOVAL OF TOXIC AND ASBESTOS SHALL BE BY A QUALIFIED CONTRACTOR.
- THE CONTRACTOR IS TO GRIND THE EXISTING PAVEMENT, CONCRETE AND REUSE FOR BASE SECTION. THE CONTRACTOR IS TO COORDINATE WITH THE SOILS ENGINEER PRIOR TO USING THE EXISTING PAVEMENT.
- THE EXISTING AC PAVEMENT CAN BE GRIND TO 2" MINUS AND MIXED WITH SOIL AND UTILIZED AS FILL PER THE SOIL REPORT AND SOILS ENGINEER RECOMMENDATION. THE EXISTING CONCRETE CAN BE CRUSHED TO 2" MINUS AND MIXED WITH SOIL AND UTILIZED AS FILL OR OTHER CONSTRUCTION MATERIAL AS APPROVED BY THE GEOTECHNICAL ENGINEER.
- UNDERGROUND STRUCTURES AND OTHERS, WHERE THEY EXIST ON THE SITE, MUST BE TOTALLY REMOVED INCLUDING ALL DRAIN FIELDS AND CONNECTED LINES. UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER, DEPRESSIONS LEFT FROM ANY REMOVALS SHALL BE PROPERLY FILLED AND COMPACTED IN ACCORDANCE WITH THESE SPECIFICATIONS AND SOILS ENGINEER RECOMMENDATION.
- THE METHODS FOR REMOVAL OR SUBSURFACE IRRIGATION AND UTILITY LINES WILL DEPEND ON THE DEPTH AND LOCATION OF THE LINE IN RELATION TO FUTURE DEVELOPMENT, UNLESS OTHERWISE SPECIFIED. REMOVE THE PIPE AND COMPACT THE SOIL IN THE TRENCH ACCORDING TO THE APPLICABLE PORTIONS OF THESE SPECIFICATIONS.
- ANY WELLS ENCOUNTERED SHALL BE CAPPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY HEALTH DEPARTMENT. THE STRENGTH OF THE CAP SHALL BE EQUAL TO THE ADJACENT SOIL AND SHALL NOT BE LOCATED WITHIN 3 FEET OF STRUCTURAL FOOTING.
- UTILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD OBSERVATION AND RECORD DRAWINGS.
- THE CONTRACTOR SHALL REMOVE ALL STORM DRAIN LATERALS, CLEANOUTS, ETC. (ON SITE).
- THE CONTRACTOR SHALL NOTIFY ELECTRIC GAS COMPANY FOR REMOVAL OF GAS, TRANSFORMER AND ELECTRIC METERS AND FACILITIES 48 HOURS BEFORE DEMOLITION.
- THE CONTRACTOR SHALL NOTIFY TELEPHONE COMPANY FOR REMOVAL OF TELEPHONE LINES 48 HOURS BEFORE DEMOLITION.



- EXISTING SIGN TO BE REMOVED.
- EXISTING CONCRETE PAD TO BE REMOVED.
- EXISTING UTILITY BOXES TO REMAIN ADJUSTED TO GRADE AND PROTECTED DURING CONSTRUCTION.
- EXISTING AC PAVEMENT TO BE REMOVED, GRINDED AND REUSE FOR SOILS ENGINEER RECOMMENDATION.
- EXISTING PLANTER BOX TO BE REMOVED.
- EXISTING STORM DRAIN LINE TO BE REMOVED.
- EXISTING CURBS TO BE REMOVED.
- EXISTING FENCE TO REMAIN AND PROTECTED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY WATER DEPARTMENT AND CABLE TV 48 HOURS BEFORE DEMOLITION.
- ALL UTILITY LINES & BOXES WITHIN THE PUBLIC R.O.W. SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED.
- ALL THE EXISTING UTILITY LINES UNDER THE BUILDING SHALL BE REMOVED.
- PROVIDE TEMPORARY FENCING AND SECURITY DURING CONSTRUCTION.
- ALL EXISTING SIGNS IN PUBLIC RIGHT OF WAY SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED OR DIRECTED BY THE CITY.
- SEE JOINT TRENCH PLAN FOR ANY DEMOLITION OF EXISTING DRY UTILITIES, STRUCTURES AND OVERHEAD LINE.

- LEGEND:**
- (1) EXISTING SIGN TO BE REMOVED.
 - (2) EXISTING CONCRETE PAD TO BE REMOVED.
 - (3) EXISTING UTILITY BOXES TO REMAIN ADJUSTED TO GRADE AND PROTECTED DURING CONSTRUCTION.
 - (4) EXISTING AC PAVEMENT TO BE REMOVED, GRINDED AND REUSE FOR SOILS ENGINEER RECOMMENDATION.
 - (5) EXISTING PLANTER BOX TO BE REMOVED.
 - (6) EXISTING STORM DRAIN LINE TO BE REMOVED.
 - (7) EXISTING CURBS TO BE REMOVED.
 - (8) EXISTING FENCE TO REMAIN AND PROTECTED DURING CONSTRUCTION.
- LEGEND:**
- (Symbol: Tree with X) EXISTING TREE TO BE REMOVED REFER TO LANDSCAPING PLAN ALSO
 - (Symbol: Tree with circle) EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION FOR DETAIL REFER TO LANDSCAPING PLAN
 - (Symbol: Square with X) EXISTING STRUCTURE TO BE REMOVED




ams
 ASSOCIATES, INC. PLANNING ENGINEERS SURVEYORS

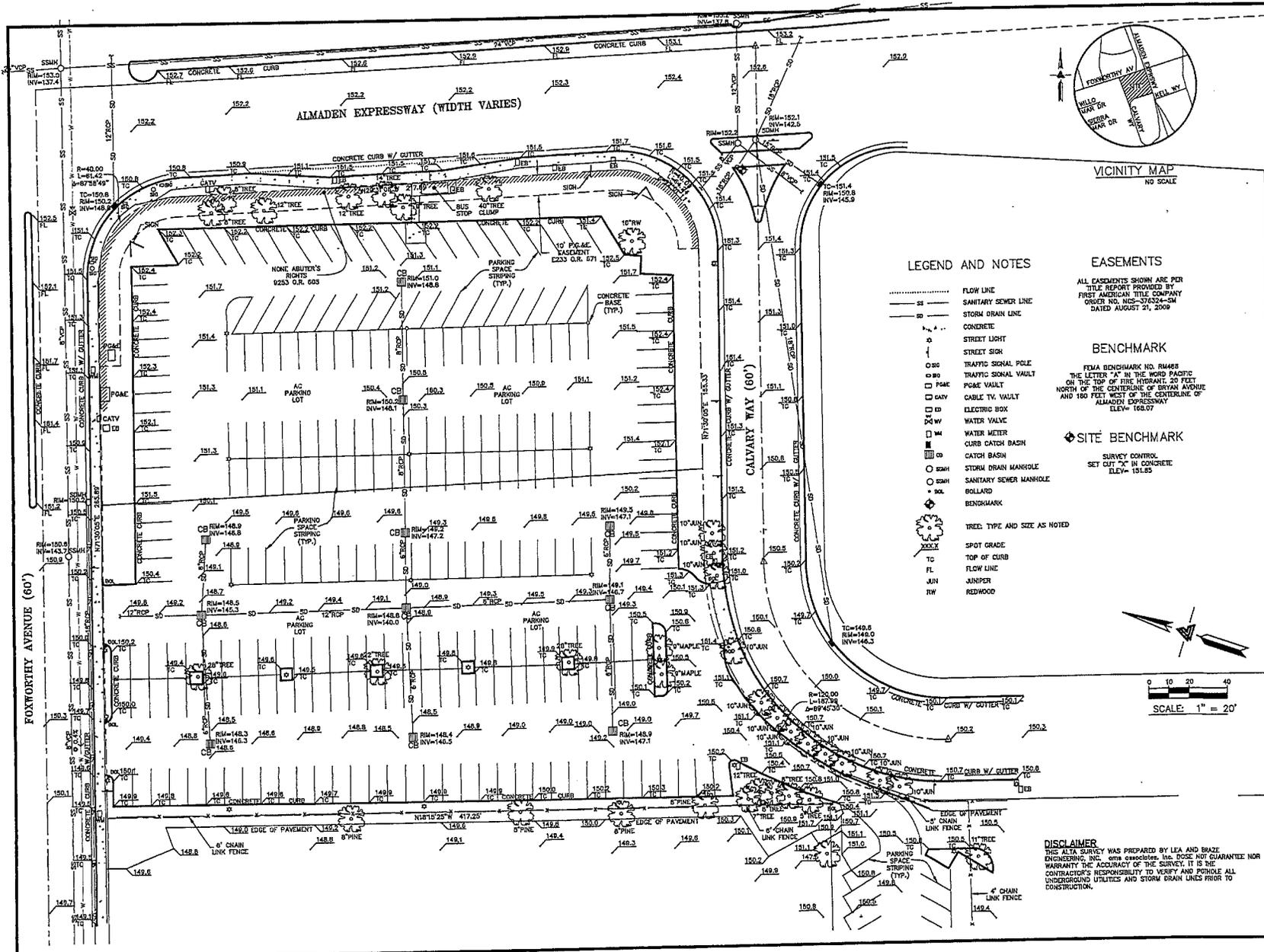
65 BLOSSOM WAY
 OAKLAND, CA 94612
 925-251-2777 FAX 925-251-2778

COUNTY OF SAN JOSE
 PLANNING DEPARTMENT
 1500 MARKET STREET, SUITE 200
 SAN JOSE, CA 95131
 PROJECT NO. 1500-0001

DEMOLITION PLAN
 STORE NUMBER 12548
WAL GREENS
 1500 MARKET STREET
 SAN JOSE, CA

DATE: 02/28/2005
 DRAWN BY: J. GONZALEZ
 CHECKED BY: J. GONZALEZ
 APPROVED BY: J. GONZALEZ

C-15
 1500 PROJECT 1500



LEGEND AND NOTES

- FLOW LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- CONCRETE
- STREET LIGHT
- STREET SIGN
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL VAULT
- PG&E VAULT
- CATV
- ED
- WM
- WATER METER
- CURB CATCH BASIN
- CATCH BASIN
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- BOLLARD
- BENCHMARK
- TREE: TYPE AND SIZE AS NOTED
- SPOT GRADE
- TC
- FL
- JUN
- RW

EASEMENTS

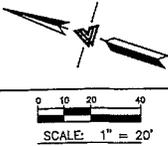
ALL EASEMENTS SHOWN ARE PER TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE COMPANY ORDER NO. NIS-376324-SM DATED AUGUST 21, 2009

BENCHMARK

FEMA BENCHMARK NO. 14485 THE LETTER "A" IN THE WORD PACIFIC ON THE TOP OF FIRE HYDRANT 20 FEET NORTH OF THE CENTERLINE OF BRYAN AVENUE AND 100 FEET WEST OF THE CENTERLINE OF ALMADEN EXPRESSWAY ELEV= 168.07

SITE BENCHMARK

SURVEY CONTROL SET OUT "X" IN CONCRETE ELEV= 151.83



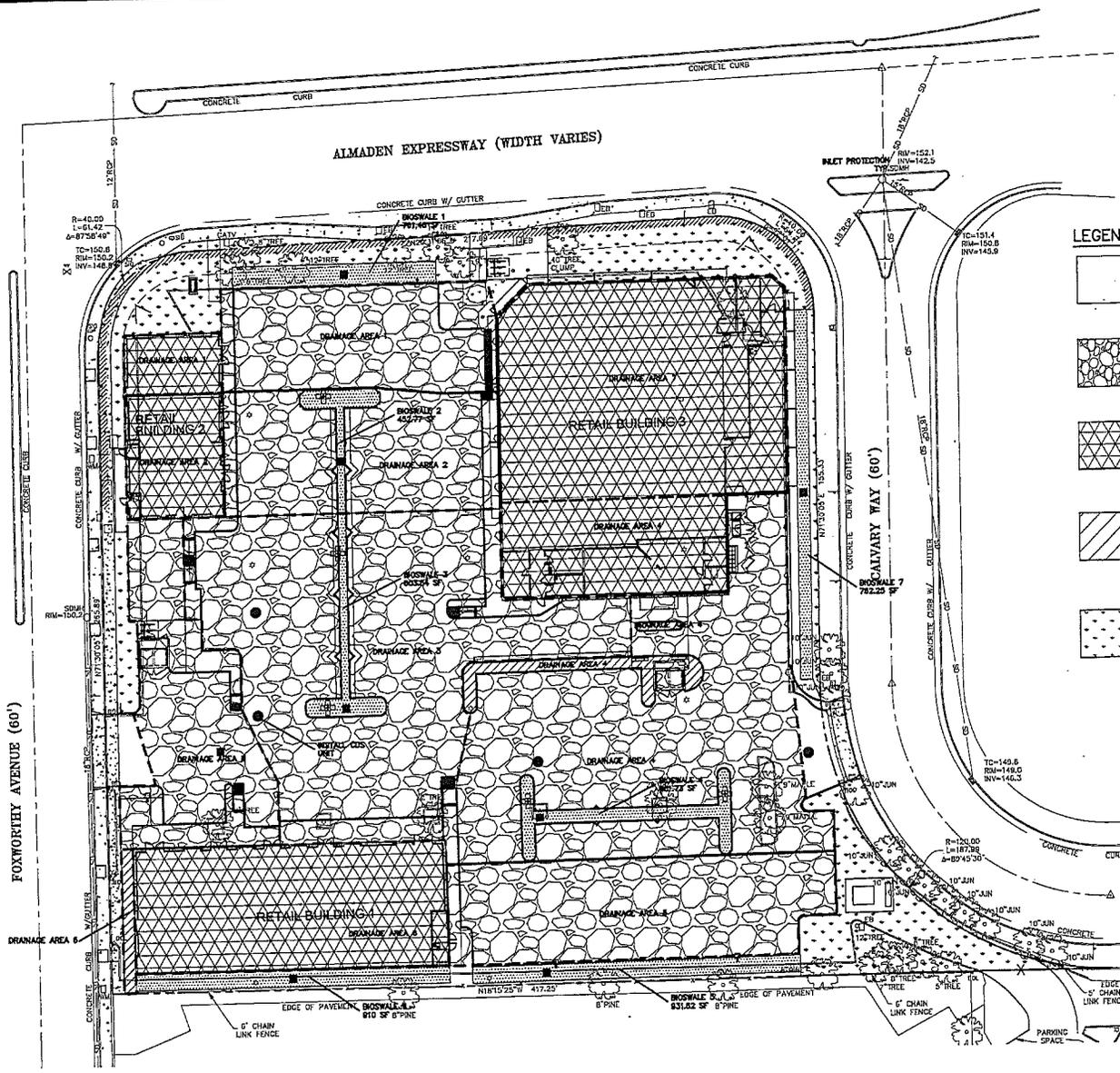
DISCLAIMER
THIS ALTA SURVEY WAS PREPARED BY LEA AND BRAZE ENGINEERING, INC. and associates. We DO NOT GUARANTEE NOR WARRANTY THE ACCURACY OF THE SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND LOCATE ALL UNDERGROUND UTILITIES AND STORM DRAIN LINES PRIOR TO CONSTRUCTION.

LEA & BRAZE ENGINEERING, INC.
10000 ALTA SURVEYING & ENGINEERING
2400 E. ENTRANCE AVE. SUITE 200
MAYWOOD, CALIFORNIA 94545
TEL: (925) 407-2019
WWW.LEABRAZE.COM

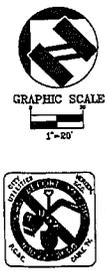


NO.	DATE	BY	REVISIONS

TOPOGRAPHIC SURVEY
STORE NUMBER 0248
WALGREENS
SEC. ALMADEN EXPRESSWAY & FOXWORTHY AVE
SAN JOSE, CA



- LEGEND**
-  BIOSWALE
 -  PAVING/PARKING LOT
 -  ROOF
 -  LANDSCAPING
 -  SELF-TREATED



 <p>ALMADEN COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT 1000 ALMADEN AVENUE, SUITE 200, SAN JOSE, CA 95128 TEL: 408-285-7777 FAX: 408-285-7778 WWW.AMSPROJECTS.COM</p>	
<p>STORM WATER CONTROL PLAN</p> <p>STORE NUMBER: 12548</p> <p>WALGREENS</p> <p>SEC. ALMADEN EXPRESSWAY & FOXWORTHY AVE SAN JOSE, CA</p>	
<p>DATE: 08/11/11</p> <p>DESIGNER: DAVIDE B. BAZZANI</p> <p>REVIEWER: [Signature]</p>	<p>DATE: 08/11/11</p> <p>DESIGNER: [Signature]</p> <p>REVIEWER: [Signature]</p>
<p>C-17</p> <p>DATE PLOTTED: 08/11/11</p>	

PROJECT DESCRIPTION:

THE SUBJECT SITE IS LOCATED ON THE SOUTHWESTERN CORNER OF FOXMORTHY AVENUE AND ALAMAYN EXPRESSWAY IN SAN JOSE. APN: 451-08-066

DESCRIPTION OF FACILITY ACTIVITY:

CONSTRUCTION OF THREE RETAIL BUILDINGS AND SITE IMPROVEMENTS, ROUGH GRADING, DRIVEWAY ENTRY, PARKING LOT AND DRAINAGE IMPROVEMENTS ARE PROPOSED FOR THIS PROJECT.

DESCRIPTION OF WATER BODIES:

THE PROJECT WILL TIE INTO THE CITY'S EXISTING STORM DRAIN SYSTEM. THE SYSTEM EVENTUALLY DRAINS TO THE CUADALUPE RIVER AND TO THE SAN FRANCISCO BAY.

IDENTIFICATION OF POTENTIAL POLLUTANTS:

POSSIBLE POLLUTANTS FOR THIS SITE INCLUDE TRASH, SEDIMENTS, NUTRIENTS, DUST, CONSTRUCTION DEBRIS, AUTOMOBILE DEBRIS AND PESTICIDES. THE CONSTRUCTION OF THE PROJECT AND THE LONG TERM MAINTENANCE SHOULD NOT ADD ANY OF THE FOLLOWING: COPPER, NICKEL, ZINC, CADMIUM, MERCURY, CHLORINE, DDT, DIELDRIN AND PCB'S.

GEOTECHNICAL INVESTIGATION SUMMARY:

ACCORDING TO AN EXPLORATION PREPARED BY UNITED SOILS ENGINEERS DATED JANUARY 2010, THE SITE LIES WITHIN A ZONE WITH HIGHEST MEASURED GROUND WATER LEVELS AT APPROXIMATELY 25 FEET BELOW SITE GRADES. GROUND WATER WAS ENCOUNTERED AT 25 FEET DURING EXCAVATIONS. HOWEVER IT SHOULD BE NOTED THAT GROUND WATER CAN FLUCTUATE DUE TO VARIATIONS IN RAINFALL, TEMPERATURE AND OTHER FACTORS NOT EVIDENT AT THE TIME OF THESE OBSERVATIONS.

THE NEAR-SURFACE SOILS ACROSS THE SITE DOWN TO A DEPTH OF APPROXIMATELY 2 FEET BELOW THE GROUND SURFACE (SBROW CLAY). THE GEOTECHNICAL INVESTIGATION DID NOT INCLUDE INFORMATION ON THE PERMEABILITY OF THE SOIL.

BMP DESCRIPTION:

THIS PROJECT USES BMP RECOMMENDATIONS FROM THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM, INCLUDING 4 BIO-SWALES AND VEGETATED BUFFER STRIPS. THE SITE, AS EXISTING, IS APPROXIMATELY 27,036 SF WITH APPROXIMATELY 22,440 SF OF IMPERVIOUS SURFACE. THIS PROJECT WILL REDUCE THE IMPERVIOUS SURFACE BY APPROXIMATELY 3,468 SF TO APPROXIMATELY 18,657 SF (68% OF THE SITE).

THE SITE IS DIVIDED INTO 4 DRAINAGE MANAGEMENT ZONES. ZONES A, B AND C UTILIZE BIO-SWALES TO TREAT RUNOFF. ZONE D USES A VEGETATED BUFFER STRIP. ROOF RUNOFF FROM THE BUILDING DOWNSPOUTS ARE ALSO DIRECTED THROUGH VEGETATED PLANTING AREAS.

POST CONSTRUCTION BMP MAINTENANCE AND/OR SOURCE CONTROL:

FUEL, OIL, PETROLEUM PRODUCTS, PESTICIDES AND OTHER STORM DRAINAGE POLLUTANT SPILLS NEED TO BE CONTAINED. OWNERS SHOULD USE ABSORBENT MATERIAL ON SMALL SPILLS RATHER THAN MOPPING SPILLS DOWN. REMOVE THE ABSORBENT MATERIAL PROMPTLY AND DISPOSE OF PROPERLY, AS REQUIRED BY CITY, STATE AND FEDERAL REGULATIONS. DRAINAGE INLETS SHALL BE INSPECTED MONTHLY AND KEPT CLEAN OF ANY TRASH THAT MAY HAVE ACCUMULATED. IT IS THE RESPONSIBILITY OF THE PROPERTY MANAGER/OWNER TO HAVE THOSE INSPECTIONS PERFORMED, DOCUMENTED AND ANY REPAIRS MADE.

A. LANDSCAPE MAINTENANCE

LANDSCAPE AREAS SHALL BE COVERED WITH PLANTS OR SOME TYPE OF GROUND COVER TO MINIMIZE EROSION. NO AREAS ARE TO BE LEFT AS BARE SOIL THAT COULD EXPOSE. HOURLY SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL.

PESTICIDES AND FERTILIZERS SHALL BE STORED AS HAZARDOUS MATERIALS AND IN APPROPRIATE PACKAGING. OVER SPRAYING ONTO PAVED AREAS SHALL BE AVOIDED WHEN APPLYING FERTILIZERS AND PESTICIDES. PESTICIDES AND FERTILIZERS WILL BE PROHIBITED FROM STORAGE OUTSIDE.

THE LANDSCAPE AREAS SHALL BE INSPECTED AND ALL TRASH PICKED UP AND OBSTRUCTIONS TO THE DRAINAGE FLOW REMOVED ON A MONTHLY BASIS MINIMUM. THIS SITE HAS BEEN DESIGNED WITH EFFICIENT IRRIGATION AND DRAINAGE TO REDUCE PESTICIDE USE. PLANTS HAVE BEEN SELECTED BASED ON SIZE AND ARE SITUATED TO REDUCE MAINTENANCE AND ROUTINE PRUNING.

B. DRAINAGE COLLECTION MANAGEMENT

THE STORM DRAIN SYSTEM CONSISTS OF AREA DRAINS, CATCH BASINS, COLLECTION AND DISTRIBUTION PIPING, SWALES AND CLEAN OUTS.

THE STORM DRAINAGE COLLECTION SYSTEM SHALL BE CLEANED YEARLY BY THE PROPERTY MANAGER/OWNER. THE INSPECTION SHALL BE PERFORMED DURING THE DRY SEASON. THIS INCLUDES THE FOLLOWING:

** ALL TRASH AND OBSTRUCTIONS SHALL BE REMOVED FROM THE TREATMENT AREAS, AREA DRAINS, CLEANOUTS AND CATCH BASINS.

C. BIO-RETENTION AREAS MAINTENANCE AGREEMENTS:

** UPON ACCEPTANCE OF THE DESIGN CONCEPT, A MAINTENANCE AGREEMENT WILL BE DEVELOPED REQUIRING THE PROPERTY MANAGER/OWNER TO PROVIDE THE FOLLOWING INFORMATION ON A ROUTINE BASIS. THESE REQUIREMENTS APPLY ONLY TO THE PORTION OF THE BIO-RETENTION AREA USED FOR STORM WATER TREATMENT.

MAINTENANCE STANDARDS:

** SOIL AND PLANTING MUST BE MAINTAINED, INCLUDING ROUTINE PRUNING, MOWING, IRRIGATION, REPLACEMENT OF MULCH, WEEDING AND FERTILIZING WITH A SLOW-RELEASE FERTILIZER WITH TRACE ELEMENTS.

** REMOVE OBSTRUCTIONS AND TRASH FROM BIO-RETENTION AREAS.

** ONLY PESTICIDES AND FERTILIZERS THAT ARE ACCEPTED WITHIN THE INTEGRATED PEST MANAGEMENT APPROACH FOR USE IN BIO-RETENTION AREAS SHALL BE USED.

** EROSION AT INFLOW POINTS MUST BE REPAIRED.

BIO-RETENTION AREAS SHALL BE INSPECTED AND MAINTAINED MONTHLY TO REVIEW:

** OBSTRUCTION AND TRASH.

** IF PAVED WATER IS OBSERVED, THE SURFACE SOIL SHALL BE REMOVED AND REPLACED AND SWI-DRAIN SYSTEM INSPECTED.

** CONDITION OF GRASSES.

D. TRAINING PROGRAM

A COPY OF THE STORM WATER MANAGEMENT PLAN (SWMP) WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE SWMP.

MATERIAL PRESENTED IN THE INTEGRATED PEST MANAGEMENT PROGRAM WILL BE MADE AVAILABLE TO PERSONNEL IN CHARGE OF FACILITY MAINTENANCE AND WILL BE DISTRIBUTED TO THE SUBCONTRACTOR REPRESENTATIVE ENGAGED IN THE MAINTENANCE OR INSTALLATION OF THE SWMP.

A COPY OF THE YEARLY INSPECTION REPORTS SHALL BE MANAGED BY THE PROPERTY MANAGER/OWNER.

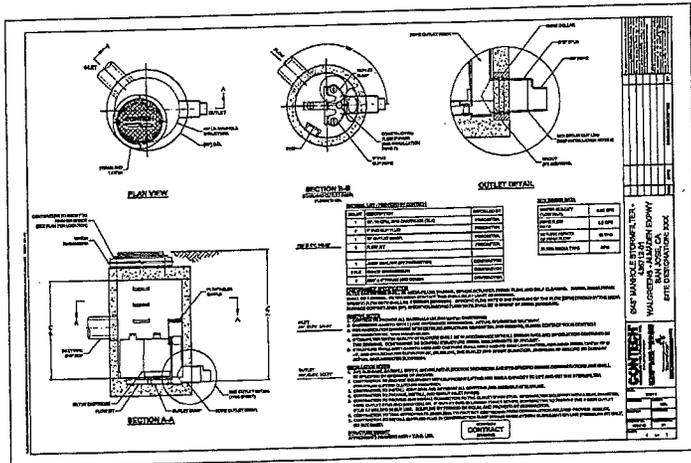
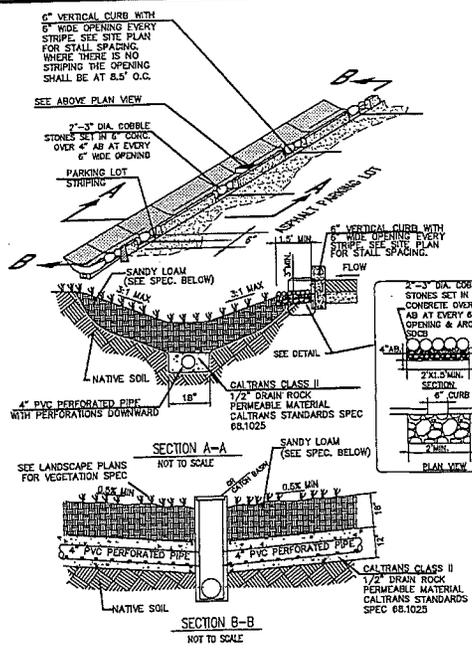


TABLE 1: PERVIOUS AND IMPERVIOUS SURFACE COMPARISON

DESIGNATION	TOTAL AREA (Ac)	IMPERVIOUS AREA (Ac)	RUNOFF COEFFICIENT "C"	PERVIOUS AREA (Ac)	RUNOFF COEFFICIENT "C"	TREATMENT FLOW (CFS) Q
1	5,876.10	0.14	0.9	0	0	0.0232
2	7,431.67	0.17	0.6	0	0	0.0306
3	14,643.03	0.34	0.8	0	0	0.0612
4	17,891.48	0.41	0.39	0.9	0.007	0.0713
5	6,549.83	0.15	0.15	0.9	0	0.027
6	7,050	0.18	0.18	0.9	0.007	0.0288
7	10,686.22	0.25	0.25	0	0	0.045
8	5,563.16	0.13	0.13	0.0	0	0.0234

TABLE 2: DRAINAGE AREA SUMMARY

DRAINAGE ZONE DESIGNATION	TOTAL AREA (Ac)	IMPERVIOUS AREA (Ac)	RUNOFF COEFFICIENT "C"	PERVIOUS AREA (Ac)	RUNOFF COEFFICIENT "C"	TREATMENT FLOW (CFS) Q
1	5,876.10	0.14	0.9	0	0	0.0232
2	7,431.67	0.17	0.6	0	0	0.0306
3	14,643.03	0.34	0.8	0	0	0.0612
4	17,891.48	0.41	0.39	0.9	0.007	0.0713
5	6,549.83	0.15	0.15	0.9	0	0.027
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7	10,686.22	0.25	0.25	0	0	0.045
8	5,563.16	0.13	0.13	0.0	0	0.0234



- NOTES:**
1. SANDY LOAM/LOAMY SAND: FINES SHOULD BE LIMITED TO 20% OR LESS PASSING THROUGH A #20 SIEVE. MINIMUM INFILTRATION RATE BETWEEN 6" TO 107" DE.
 2. PLANTING MAY INCLUDE TREES.
 3. 4" PVC PERFORATED PIPE WITH PERFORATIONS DOWNWARD AND MINIMUM 3/4" DRAIN HOLES SIZE.

TABLE 3: TREATMENT AREA SIZING SUMMARY

DRAINAGE ZONE DESIGNATION	IMPERVIOUS AREA TREATED (SF)	TREATMENT AREA REQUIRED (4% OF IMPERVIOUS AREA SF)	TREATMENT AREA PROVIDED (SF)	TCM NO.
1	5,876.16	235.05	761.46	1
2	7,431.67	297.27	452.77	2
3	14,643.03	585.72	603.84	3
4	16,809.91	672.4	681.73	4
5	6,549.83	262	631.62	5
6	6,790	270.4	610	6
7	10,686.22	427.45	762.25	7
8	5,563.16	AREA TREATED WITH EDGE	N/A	8

ASSOCIATES, INC. PLANNING ENGINEERING ARCHITECTURE

STORM WATER CONTROL PLAN

STORM NUMBER: 12548

WALGREENS

SITE ADDRESS: FOXMORTHY AVENUE, SAN JOSE, CA

CADD PLOT: EXISTING

DATE: 12/22/10

REVIEWER: [Signature]

DATE: 12/22/10

BY: [Signature]

DATE: 12/22/10

REVISIONS

C-18

ANY PROJECT # 15316