

COUNCIL AGENDA: 11-9-10
ITEM: 11.3



Memorandum

TO: HONORABLE MAYOR AND
CITY COUNCIL

FROM: Joseph Horwedel

SUBJECT: SEE BELOW

DATE: October 14, 2010

COUNCIL DISTRICT: 10
SNI: NA

TRANSMITTAL MEMO

File No. PDC07-064. A Planned Development Rezoning from R-1-1 Single-Family Residence Zoning District to A(PD) Planned Development Zoning District to allow for the development of up to nine (9) single-family detached units on a 0.93 gross acre site.

The Planning Commission will hear this project on October 27, 2010. The memorandum with Planning Commission recommendations will be submitted under different cover. We hope the submittal of this staff report is of assistance in your review of this project.

/s/

JOSEPH HORWEDEL, DIRECTOR
Planning, Building and Code Enforcement

For questions please contact Lesley Xavier at (408) 535-7852.

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC07-064

Submitted: August 21, 2007

PROJECT DESCRIPTION:

A Planned Development Rezoning from R-1-1 Single-Family Residence Zoning District to A(PD) Planned Development Zoning District to allow for the development of up to nine (9) single-family detached units on a 0.93 gross acre site.

LOCATION:

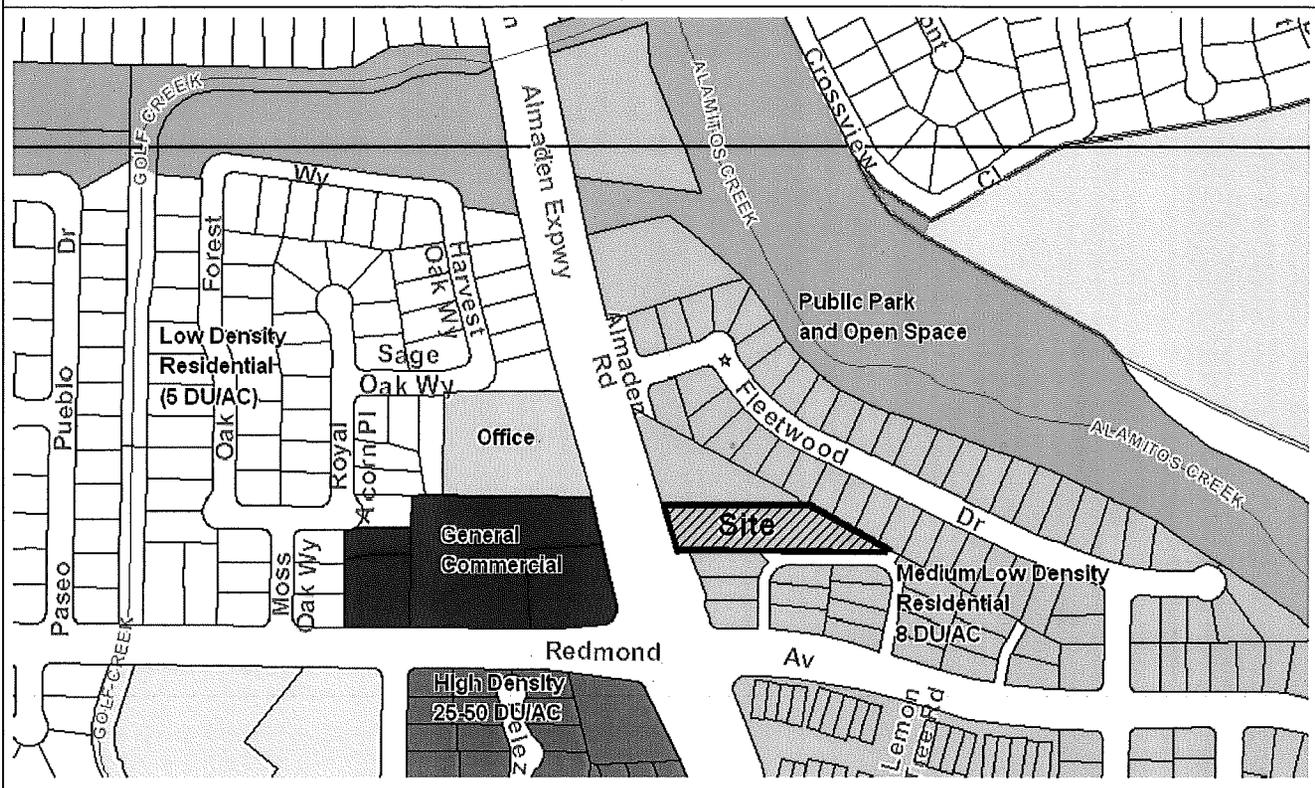
The east side of Almaden Expressway, approximately 250 feet north of Redmond Avenue.

Zoning	R-1-1 Single-Family Residence
General Plan	Medium Low Density Residential (8 DU/AC)
Council District	10
Annexation Date	February 8, 1971 (Almaden No. 6)
SNI	NA
Historic Resource	NA
Redevelopment Area	NA
Specific Plan	NA

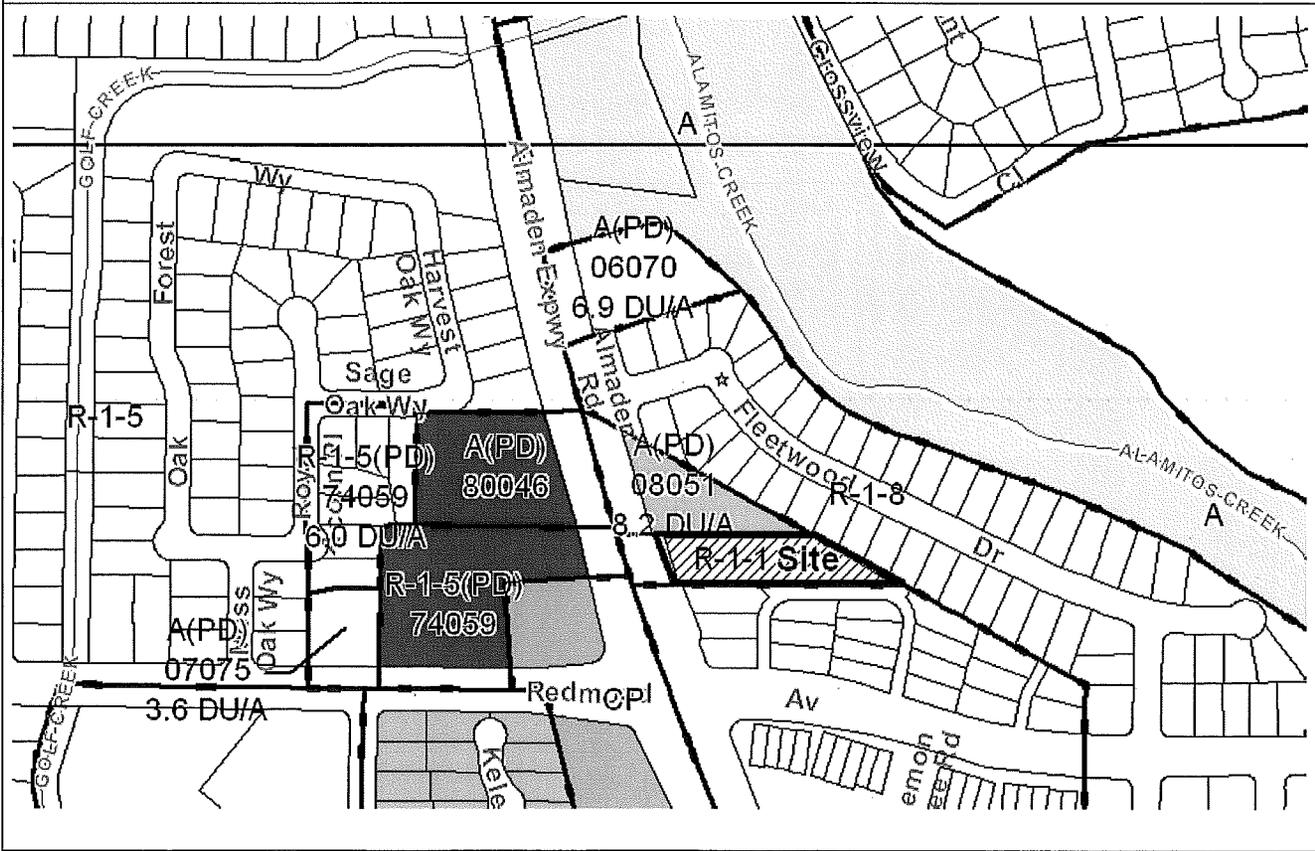
Aerial Map



GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends approval of the proposed Planned Development Rezoning to allow for the development of up to nine (9) single-family detached dwelling units on the subject site for the following reasons:

1. The proposed Planned Development Rezoning at a density of 10 DU/AC conforms to the San Jose 2020 General Plan's Discretionary Alternate Use Policy-Two Acre Rule in that it is an infill site constrained by its shape, the site design includes the extension of Almaden Road across the site to the north and onto the subject site in order to provide a shared private access to both sites, and the site design provides a larger setback from the existing single-family residences.
2. The proposed Planned Development Rezoning to increase the number of permitted single-family detached residential units on the subject site is consistent with the goals and policies of the San Jose 2020 General Plan, specifically:
 - a. The Growth Management Major Strategy, as the change will facilitate infill development within an urbanized area.
 - b. The Housing Major Strategy, as the project will maximize the infill housing opportunity in a form that is compatible with the surrounding development pattern.
 - c. Residential Land Use Policy No. 14 as the single-family residential development is designed with limited access to arterial streets.
 - d. Urban Design Policy No. 3 as the single-family residential development provides internal circulation within neighborhoods.
3. The project is consistent with the Residential Design Guidelines.

BACKGROUND & DESCRIPTION

The applicant, Michael Hudson of Hudson Industrial Equities, Inc., is requesting to rezone the subject 0.93 gross acre site located on the east side of Almaden Expressway, approximately 250 feet north of Redmond Avenue from R-1-1 Single-Family Residence District to A(PD) Planned Development Zoning District to allow for the development of up to nine (9) single-family detached homes, which is at a net density of 10 DU/AC.

All of the existing buildings on the subject site are proposed for demolition as a part of this project. The single-family ranch style residential structure proposed for demolition was constructed in 1950. This zoning application proposes small lot, three-story, single-family detached units in a courthome configuration that are accessed from the extension of Almaden Road, a public street, and off of a new private drive that will be shared with the adjacent Woodrum Property located to the north. Each unit has four bedrooms and an attached two-car garage. Access to the site will occur from the extension of Almaden Road via Fleetwood Drive.

The Woodrum property, located adjacent to the subject site to the north, is currently occupied with a vacant single-family residential structure and various accessory structures. The Woodrum property was recently the subject of a Planned Development Rezoning (File no. PDC08-051) that allowed for the development of up to seven (7) single-family detached residential units. The Woodrum property and the subject site are now under the same ownership. The demolition of structures on both the subject site and the Woodrum property will be required to accommodate the new shared private driveway.

Site and Surrounding Uses

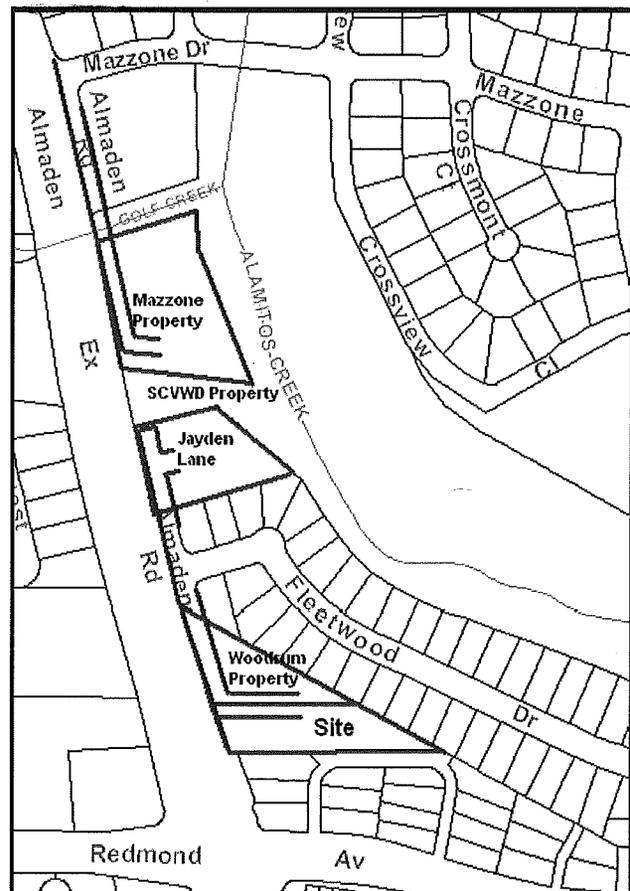
The subject site is rectangular in shape and is bounded by single-family detached residential to the north, east, and south and Almaden Expressway to the west. The site is developed with a single-family residential structure, maintenance garage, office and accessory structures that were used to house a landscaping business, which are all now vacant.

Previous Planning Approvals Affecting the Project Site

On June 5, 2007, the City Council approved a Planned Development Rezoning (File No. PDC06-070), commonly known as Jayden Lane, on the site at 16310 Almaden Road, which is situated northerly of the subject site. The approved Planned Development Zoning allows for the development of up to six (6) single-family detached residential units on the 1.07 gross-acre site, at a density of 6.9 DU/AC. The density of the Jayden Lane project is consistent with the General Plan land use designation for the site of Medium Low Density Residential (8 DU/AC). As a part the Jayden Lane Planned Development Zoning, the City Council included the recommendation that at the time that the three (3) underutilized properties to the north and south of the subject site are proposed for development, staff shall explore the feasibility of alternative access to those sites utilizing Almaden Expressway in order to reduce or avoid reliance on access through Fleetwood Drive.

The three other undeveloped properties mentioned in the Council recommendation include the subject site and two others (Mazzone and Woodrum), all of which are located along Almaden Expressway between Redmond Avenue and Mazzone Drive. The Mazzone property was the subject of a General Plan Amendment that was approved by the City Council on April 27, 2010 and changed the land use designation on the site from Very Low Density Residential (2 DU/AC) to Medium Low Density Residential (8 DU/AC). There are no pending development applications on file at this time. On January 26, 2010, the City Council approved a Planned Development Zoning that allows for the development of up to seven (7) single-family detached residences on the 0.85 gross acre Woodrum property. Netting out the proposed private road, this project with its seven (7) units is at a net density of 10.7 DU/AC.

Since receiving this direction from City Council, City staff has worked with the Santa Clara County (SCC) Roads and Airports Department to discuss the potential for the implementation of the acceleration and deceleration lane. In a letter dated April 23, 2009, the SCC Roads and Airports Department states that they prefer no access directly to or from Almaden Expressway and that the existing Almaden Road frontage road should be extended to each site from its stubbed locations to form a continuous frontage road.



Development of the sites noted in the above illustration would be accessed from frontage roads that do not connect neither to Almaden Expressway nor across the SCVWD property.

On September 1, 2009, a community meeting was held with area residents to discuss access and traffic movement as it relates to the four key undeveloped properties noted on the illustration above. Based on the discussion of that meeting, City staff sent a letter to the County with specific access design questions. The County responded that based on their adopted Future Width Line Study (FWL), the minimum spacing between openings is 600 feet, and the design for a frontage road that connects to the expressway would not comply with the FWL standards. Given the 600 foot requirement, it is not possible to design an access route with direct access from Almaden Expressway to all four of the sites. Specifically, the center of the subject site is approximately 340 feet from Redmond Avenue, which is less than the 600 feet required.

Therefore, access to the subject site may only occur through Fleetwood Drive. However, the Mazzone property could be accessed independently from the north via Mazzone Drive. The County also had concerns about limited sightlines around the required soundwall, traffic that would be required to merge through a bicycle lane, and the opportunity for the illegal mid crossing of Almaden Expressway to access Jeffrey Fontana Park that is located across the expressway to the west.

It should be noted that there are access points on Almaden Expressway that do not meet the current adopted Future Width Line Study (FWL). However, in a majority of the cases the access was constructed prior to the current adopted requirements and specifically in the case of the site at the northeast corner of Almaden Expressway and Coleman Road, the site did not have any alternative access as the sites in question.

In order to provide connectivity between the existing and new neighborhoods, staff has also studied the extension for Almaden Road between Fleetwood Drive and Mazzone Drive. The community has expressed opposition to this connection. The portion of the Santa Clara Valley Water District (SCVWD) site located between the Jayden Lane project and the Mazzone property, would need to be acquired or an easement secured to provide this connection. This would also require the relocation of an above-grade vault. Given the difficulty and cost of relocating an above-grade vault, and the community opposition, staff is proposing that Fleetwood Drive and Mazzone Drive not be connected via Almaden Road. However, at the time of development of the Mazzone property and the Jayden Lane property, a pedestrian, bicycle, and Emergency Vehicle Access (EVA) connection should be provided across the SCVWD property.

In conclusion, an acceleration and deceleration lane from Almaden Expressway cannot be designed to provide safe access to all four development sites. The existing Almaden Road frontage road is partially constructed and intended to provide access to these sites. In addition, direct access to and from the expressway is inconsistent with the following San Jose 2020 General Plan Policies:

- Residential Land Use Policy No. 14, which : Single-family and duplex residential development should be designed with limited access to arterial streets as follows:
 - (1) No direct frontage or access on six lane arterials or within 350 feet of the intersection of two arterials.
 - (2) No direct frontage or access on four lane arterials; direct frontage or access is strongly discouraged.
 - (3) The use of frontage roads, corner lots, open-end cul-de-sacs or other street design solutions for access is encouraged.

- **Urban Design Policy No. 3:** Residential subdivisions should be designed to provide for internal circulation within neighborhoods, prevent through vehicular traffic from traversing neighborhoods, and encourage pedestrian and bicycle connections between neighborhoods and to adjacent commercial uses and transit facilities.

In addition, the number of trips or traffic on Fleetwood Drive that would be added by the proposed development on the subject site, the Woodrum property, and the approved development of the Jayden Lane project, would be 210 daily trips, which combined with the 500 daily existing trips from existing residences on Fleetwood Drive (710 total daily trips). This is well within the daily capacity of 1,500 trips for Fleetwood Drive.

ANALYSIS

The proposed rezoning was analyzed with respect to: 1) conformance with the San Jose 2020 General Plan, 2) neighborhood connectivity and circulation, 3) conformance with the Residential Design Guidelines, 4) sustainability, and 5) conformance with the California Environmental Quality Act (CEQA).

San Jose 2020 General Plan Conformance

The subject site has a San Jose 2020 General Plan Land Use Transportation Diagram land use designation of Medium Low Density Residential (8 DU/AC). This designation is typified by 5,445 to 6,000 square-foot subdivisions that are prevalent in San Jose, and is the density at which the surrounding single-family detached residential neighborhood is built. A majority of the adjacent Fleetwood Drive neighborhood have lot sizes between 6,000 and 7,000 square feet (7 to 8 DU/AC), with the smallest lot at 5,917 square feet and the largest lot at 9,315 square feet. The project proposes a net density of 10 DU/AC, which is slightly more than the allowable 8 DU/AC of the Medium Low Density Residential land use designation. Under the 8 DU/AC land use designation, a total of seven (7) dwelling units would be allowed. The project proposes nine (9) dwelling units, which exceeds the number of allowed units by two (2).

The proposed project is an infill development that proposes the use of the General Plan Discretionary Alternate Use Policy Two Acre Rule which can allow for an increase in density and still be deemed in compliance with the General Plan Land Use/Transportation Diagram land use designation for the subject site. One of the goals of the General Plan is to encourage infill development. The Two Acre Rule states that for some infill sites, physical or environmental constraints may require innovative design solutions. To further this objective, existing parcels of two acres or less may have an allowed use other than that designated on the Land Use/Transportation Diagram as follows; parcels with a residential land use designation may be developed at a higher or lower density range. The appropriate density for a given site should be determined based on compatibility with surrounding land uses. Projects developed under this policy should be of exceptional design. The design expectations are not as high for projects that do not seek to utilize the Two Acre Rule.

With the use of the Two Acre Rule, the applicant is able to increase the number of units by 2 for a total of nine (9) units, a modest increase. The proposed project meets the requirements of the Two Acre Rule in that; (1) it is located on an infill site that is constrained by its parallelogram shape at the eastern property line, (2) the site design includes the extension of Almaden Road to the south across the Woodrum site to the north and onto the subject site, which will provide access to both sites, (3) the site design provides larger setbacks from the existing single-family residences to the east in excess of those required under the standard R-1-8 Single-Family Residence Zoning District and the Residential Design Guidelines, (4) and the unique site design provides shared driveways that allow for increased landscaping along the new street and drive. Further discussion of these elements and how they exceed typical standards is included in the Site Design section of this report below.

In addition, the proposed project on the subject site is consistent with the following General Plan Goals and Policies as discussed in the following:

1. Growth Management Major Strategy: The purpose of a growth management strategy is to find the delicate balance between the need to house new population and the need to balance the City's budget, while providing acceptable levels of service.

The proposed project will facilitate infill development within an urbanized area. Infill development can be more easily supported by existing infrastructure and facilities such as libraries, schools, parks, community centers and commercial amenities.

2. Housing Major Strategy: This strategy seeks to maximize housing opportunities on infill parcels already served by the City and to consider the addition of new residential lands only when the City is confident that urban services can be provided.

The proposed project will maximize the infill housing opportunity and at the same time be compatible with the surrounding development pattern and is very similar to the approved project on the Woodrum property located to the north across the shared driveway.

3. Urban Conservation Policy No. 2: The City should encourage new development which enhances the desirable qualities of the community and existing neighborhoods.

The proposed project would allow for the development of under utilized land that would complete the adjacent neighborhood.

4. Neighborhood Identity Policy No. 3: Public and private development should be designed to improve the character of existing neighborhoods. Factors that cause instability or create urban barriers should be discouraged or removed.

The character of the existing neighborhood is 6,000 to 7,000 square foot lots with one to two story single-family detached homes. The proposed project provides a consistent development pattern and vehicular, pedestrian and bicycle access between the existing development and the proposed. This project will facilitate the completion of the existing Fleetwood Drive neighborhood.

5. Residential Land Use Policy No. 24: New residential development should create a pedestrian friendly environment by connecting the features of the development with safe, convenient, accessible, and pleasant pedestrian facilities. Such connections should also be made between the new development, the adjoining neighborhood, transit access points, and nearby commercial areas.

The conceptual site design includes the extension of a private street with a sidewalk from Fleetwood Drive through the Woodrum property to the north thereby connecting the new development with an existing pedestrian network and the adjacent neighborhood.

Neighborhood Connectivity and Circulation

The subject site is accessed via an extension of Almaden Road, including sidewalk, curb, and gutter, from the north along the western edge of the property and terminating at the southern property line. At the southern terminus of the new extension, the street will turn into a private shared driveway that will be used by four of the units on the adjacent Woodrum site and by the proposed development on the subject site. The Almaden Road extension will provide access to the subject site, the Woodrum property to the north, and connect these two new developments with the existing Fleetwood Drive neighborhood. The property owner of the subject site and that of the Woodrum property have negotiated an easement and maintenance agreement that will allow for the construction of the shared private driveway, which

straddles the shared property line, the construction of the extension of Almaden Road, and any necessary structure demolition required to construct the access.

Conformance with the Residential Design Guidelines

Site Plan

This zoning application proposes three-story, single-family detached residences in a predominantly courthome-type configuration. A courthome development is generally defined by the Residential Design Guidelines as a cluster of typically four units oriented toward a common courtyard or driveway with all of the garage doors accessed from the courtyard. This reduces the dominance of the garage doors facing the street. While the rear units have their front doors oriented to the courtyard driveway, but the front units have unit entrances and porches oriented to the main private street. There are two units at the narrow, or back end of the site, are small lot single-family houses and not arranged in a courthome configuration due to the unique site constraints.

The project conforms to the key elements of the courthome design policies as described above. The benefit of this design is that it minimizes the amount of driveways on the private street, which in turn maximizes the landscaping along front setbacks next to the street. The new private street that extends along the north property line was coordinated with the approval of the adjacent Woodrum site, approved as part of PDC08-051.

Setbacks

The proposed setbacks are consistent with the setbacks of the approved project on the Woodrum Property to the north. The Guidelines recommend that the front setback to the first floor living area be at least 12 feet, 10 feet to a porch, and 12 feet to a non entry side attached garage. The project provides a front setback between eight (8) and 13 feet with a majority of the building setbacks being at 13 feet and a front porch setback of eight (8) feet. Due to the triangular shape of the site and the need to provide a reasonable setback between the project and the existing single-family detached residences that border the property to the east, a reduced front setback is appropriate as the new lots do not abut a street with existing single-family residences, but a private drive.

The project provides the appropriate internal setbacks and building separations for units within the same courtyard per the guidelines. Since the courtyard area is shared by both pedestrians and vehicles, the project is required to provide an average of 200 square feet (average) of landscaping for each unit within the courtyard area to maintain an attractive appearance. This project exceeds the recommendations of the Residential Design Guidelines since the average amount of internal landscaping per unit within each court is almost 220 square feet per unit. To further improve the project's appearance, other site design and architectural details will be introduced at the Planned Development Permit stage consistent with the Residential Design Guidelines, such as, special paving within the courtyard areas.

Adjacent to the south property line, the Guidelines recommend a perimeter setback of five (5) feet in between new houses units and property lines when adjacent to existing private driveways and/or the sides of other existing single-family residences. Consistent with this guideline, the project provides a five (5) foot setback between the southern property line and the new residential buildings.

Height

The Guidelines recommend a maximum building height of 30 feet and two stories. The project proposes a maximum of 35 feet and three (3) stories. However, the proposed third story is sensitively designed to

appear as if the house is only two-stories. The 35 foot height limit is consistent with many two story homes in the City as the R-1-8 Single-Family Residence Zoning District allows a maximum building height of 35 feet.

Parking

The Guidelines recommend that courthome units provide two covered parking spaces per unit plus one off-lot parking space for units with a driveway apron and 1.3 off-lot parking spaces for units without a driveway apron. The off-lot parking spaces should be located within 150 feet of each unit, which includes on street parking. Consistent with the guidelines, the project proposes for each unit to have a two car garage. Four of the units have a driveway apron and five do not. The Guidelines require for the project to provide 11 off-lot parking spaces and consistent with this, the project proposes 12 spaces.

Open Space

The Guidelines recommend a minimum of 400 square feet of private open space per unit. The project proposes a minimum of 432 square feet of open space per unit, which exceeds the recommended amount and most lots are provided with close to 600 square feet of private open space. The Guidelines recommend common open space for projects that exceed 20 units. As this project is for nine (9) units, no common open space is required.

Sustainability

This project is subject to the City of San Jose Green Building Ordinance for New Construction Private Development. A future Planned Development Permit for this project will be conditioned to submit a GreenPoint or LEED checklist prior to issuance of a building permit. At this time, it is known that the developer intends to utilize the following green building measures:

- Minimum 20% fly ash mix in concrete
- Turf installations will be minimized and no turf installed on any slopes
- Door and window headers sized for load
- Minimum 16" overhangs and gutters
- Fire resistant roofing and siding materials
- Building envelope efficiency will exceed Title 24 by $\geq 15\%$
- Zero VOC wall and ceiling paint
- Thermal mass floors (ground floor)
- Ultra high efficiency HVAC
- OSB and engineered floor joists used

Environmental Review

A Mitigated Negative Declaration (MND) was circulated for public review on October 7, 2010. The circulation period ends on October 27, 2010. The MND states that the proposed Planned Development Rezoning will not have a significant effect on the environment. The primary issues addressed in the Initial Study include the potential impacts of the physical development of the site on; air quality, biological resources, cultural/historic resources, hazards and hazardous materials, and noise. The MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. The mitigation measures will be included in the development standards of the Planned Development Zoning. The entire MND and Initial Study are available for review on the Planning web site at: www.sanjoseca.gov/planning/eir/MND.asp

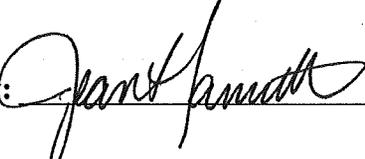
PUBLIC OUTREACH/INTEREST

The property owners and occupants within a 1,000-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

On April 22, 2010, a community meeting was held at the Almaden Community Center on Camden Avenue, at which six area neighbors were present. The neighbors expressed concerns with regards to parking in the neighborhood and that overflow from this project would park on Fleetwood Drive and that the lights on the new residences would shine onto the existing adjacent homes. The neighbors liked the fact that the new residences were not backed directly up to the existing homes, that there was a good separation between existing and new. As previously noted, there was a community meeting on September 1, 2009 which discussed site access issues for this project, as well as two other nearby properties along Almaden Expressway with pending development applications.

General Correspondence

In addition, one e-mail was received from an area neighbor. The letters stated their concern that this project would bring too much through traffic in the neighborhood and add too many homes.

Project Manager: Lesley Xavier **Approved by:**  **Date:** 10/18/10

Owner/Applicant: Hudson Industrial Equities, Inc. Attn: Michael Hudson 483 Horning Street San Jose, CA 95112	Attachments: Plan Set Development Standards Neighbor Correspondence
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FILE NO. PDC07-064
DEVELOPMENT STANDARDS

USE: Single-family detached residential

MAXIMUM NUMBER OF UNITS: 9 units

SETBACKS:

Perimeter:

- Building to eastern perimeter property line – 9 feet
- Building to southern perimeter property line – 5 feet
- Building to western perimeter property line – 8 feet

From Private Street/Drive:

- Front to building – 13 feet*
- Front to porch – 8 feet*
- Front to attached garage non-entry side – 12 feet

** Setback is measured from the back of walk. In the case that there is no sidewalk, the setback shall be measured from the edge of the private drive.*

Internal:

- Side to property line – 4 feet minimum
- Rear to property line – 15 feet minimum

MAXIMUM BUILDING HEIGHT: 35 feet/3 stories

PARKING REQUIREMENTS:

- Two covered parking spaces per unit plus one off-lot parking space for units with a minimum 17 foot long driveway apron and 1.3 off-lot parking spaces for units without such a driveway apron.

PRIVATE OPEN SPACE:

- A minimum of 400 square feet of open space per unit.

COURTYARD LANDSCAPING:

- A minimum of 200 square feet average per unit.

ACCESSORY STRUCTURES/BUILDINGS:

- Permitted as of right, per Chapter 20.30, Part 5 Accessory Buildings and Structures, of the Zoning Ordinance, as amended.

MINOR ARCHITECTURAL PROJECTIONS:

- Minor architectural projections such as fireplaces and bay windows, may project into any setback or building separation by up to 2 feet for a length not to exceed 10 feet or 20% of the building elevation length.

ARCHITECTURAL DESIGN:

- The architectural design of the houses shall conform to the standards of the Residential Design Guidelines.

Xavier, Lesley

From: dksams@aol.com
Sent: Sunday, August 30, 2009 9:14 PM
To: Office of Councilmember Nancy Pyle
Cc: dow5m@yahoo.com; Xavier, Lesley; strangis@aol.com
Subject: Almaden Valley Development between Redmond Ave and Mazzone Dr

Dear Council Member Pyle,

We are residents who recently moved into the Almaden Hills Estates development less than 1 year ago. Part of the reason that we chose to relocate to this San Jose neighborhood was the fact that it is quiet and exclusive with only one entrance/one exit. By having a limited number of households within Almaden Hills Estates, we have the unique opportunity to really get to know our neighbors and to keep a closer watch out for unwanted intruders and crime. The new proposed development between Redmond and Mazzone, as we understand it, may bring through traffic to our neighborhood connecting us to Fleetwood Drive. This in our opinion would not only change the day to day living environment that we currently enjoy but would also stand to negatively impact our future property values. Therefore, we strongly suggest that the city reconsider options for building a deceleration lane off of Almaden Expressway to access the new developments. By doing so, the homeowners in our area and the Fleetwood Drive homeowners could maintain the current limited access which has afforded the high standard of living that we are each accustomed to. We would furthermore suggest that the cost of the access lane be included in the overall cost to the developer since they are the ones who stand to benefit the most financially from the new project.

We appreciate this opportunity to have our thoughts heard and look forward to attending the upcoming community meeting on Sept. 1st.

Thank you and best regards,

Dana and Stacey Sams
1026 Crossbow Court, San Jose

cc:
Almaden Hills Estates Homeowners Association
Lesley Xavier, City of San Jose Planning Division
Jerry Strangis, Project Consultant

8/31/2009

FLEETWOOD ALMADEN ESTATES

16440 ALMADEN EXPRESSWAY,
SAN JOSE, CALIFORNIA 95120

PROJECT INFORMATION

APN: 038-24-001
Address: 16440 Almaden Expressway, San Jose, CA 95120
County: General Plan Designation: Medium Density Residential (M DRAC)
Planning Zoning Designation: P-1
Proposed Zoning: Designation: APD
Proposed Use: Single Family Residential, Private Circulation, Private Open Space
Site Area: 45,608 SF or 1.03 AC
Proposed Number of Units: 8
Proposed Site Coverage:
Buildings = 10775 SF (24.3%)
Construction = 15,251 SF (33.4%)
Landscape = 1724 SF (3.8%)
Proposed Density = 8 DU / 1.03 AC = 87 DU/AC
Parking Required: Covered 2 Spaces = 8 Units = 16 Spaces
Open = 10 Spaces = 10 Units = 10 Spaces
Total Required = 26 Covered + 10 Open = 36 Spaces
Units of Approval: 12 Spaces + 3 Units = 15 Spaces
House with Approval = 12 Spaces + 3 Units = 15 Spaces
Total Required = 26 Covered + 10 Open = 36 Spaces

Partially Proposed: 18 Covered + 12 Open

Construction Schedule:
Commencement: November 2010
Completion: August 2014

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7Z CONCEPTUAL LANDSCAPE PLANS
8 THREE DIMENSIONAL PLAN
8A AIRBORNE VIEW

CONSULTANTS

CONSULTANT	ADDRESS	PHONE	WEBSITE
HH ALMADEN, LLC	455 HAWKING STREET SAN JOSE, CA 95122	408-292-0281	www.hhalmaden.com
VEE CONSULTANTS	823 THE ALAMANDA 5TH FLOOR SAN JOSE, CA 95128	408-292-0281	www.veeconsultants.com
HORSHO ASSOCIATES	184 THE ALAMANDA SAN JOSE, CA 95128	408-292-0281	www.horsho.com
MR. MICHAEL HEDGECOCK	MR. MICHAEL HEDGECOCK 1000 27th STREET SAN JOSE, CA 95128	408-292-0281	www.michaelhedgcock.com
THE SCHWENKER COMPANY	22 HARTWICK WAY SAN JOSE, CA 95128	408-292-0281	www.schwenker.com
MR. ERIC SCHWENKER	MR. ERIC SCHWENKER 1000 27th STREET SAN JOSE, CA 95128	408-292-0281	www.eric-schwenker.com

VICINITY MAP



HH ALMADEN, LLC
455 HAWKING STREET
SAN JOSE, CA 95122

General Development Plan-Exhibit C
FLEETWOOD ALMADEN ESTATES
Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 12-8-2008 Drawing Title:

Scale:

TITLE SHEET

Revision:

3-8-10 PLANNING COMMENTS

1

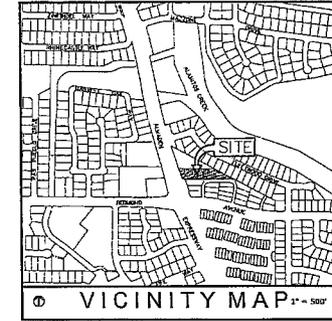
of

Sheets

LPMD
Architects
1288 Kifer Road # 206
Sunnyvale - CA 94085
Telephone : 408-692-0280
Fax : 408-692-0281

DEVELOPMENT STANDARDS

ENVIRONMENTAL MITIGATIONS

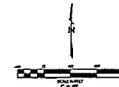
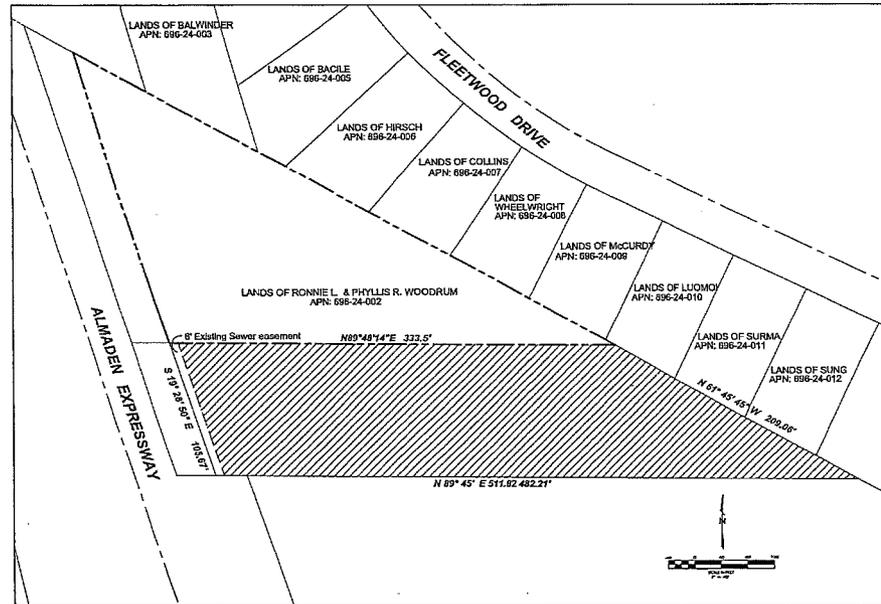


LEGEND

- Project Boundary
- Adjacent Property Line
- Easement

PERMITTED USES:

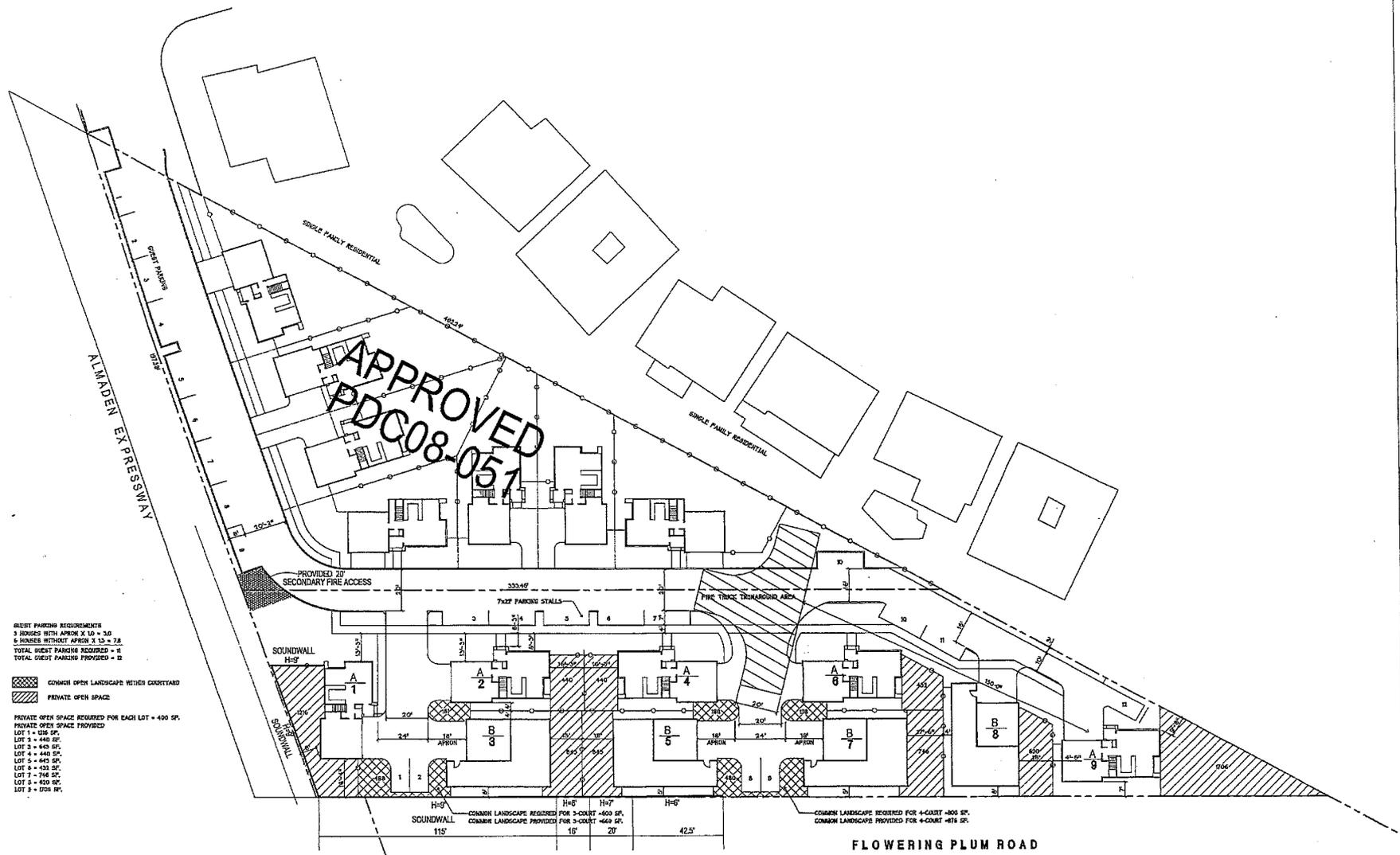
Single Family Residential (with private circulation) AREA +/- 0.93 Acres PERCENTAGE 100%



ALL INFORMATION ON THIS PLAN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONTRACTOR'S AGREEMENT TO CONSTRUCT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

REV. DATE FEBRUARY 2009

	REVISIONS BY DATE CSJ BY DATE CSJ
	Mr. Michael Hudson Hudson Industrial Equities, INC. 483 Horning Street San Jose, CA 95112
<p>VERO consultants <small>Planning Engineering Landscape Architecture</small> <small>1000 N. 1st St., Suite 100, San Jose, CA 95113</small></p>	
GENERAL DEVELOPMENT PLAN PDC 07-056 FLEETWOOD ALMADEN ESTATES LAND USE PLAN	SAN JOSE CALIFORNIA 3/21/09 2.0
	SHEET 2.0 OF 10 SHEETS PW PROJECT # 3-



GUEST PARKING REQUIREMENTS
 3 HOUSES WITH APRON X 1.0 = 3.0
 8 HOUSES WITHOUT APRON X 1.0 = 7.8
 TOTAL GUEST PARKING REQUIRED = 11
 TOTAL GUEST PARKING PROVIDED = 12

COMMON OPEN LANDSCAPE WITHIN COURTYARD
 PRIVATE OPEN SPACE

PRIVATE OPEN SPACE REQUIRED FOR EACH LOT = 400 SF.
 PRIVATE OPEN SPACE PROVIDED
 LOT 1 = 126 SF.
 LOT 2 = 440 SF.
 LOT 3 = 440 SF.
 LOT 4 = 440 SF.
 LOT 5 = 430 SF.
 LOT 6 = 746 SF.
 LOT 7 = 420 SF.
 LOT 8 = 120 SF.

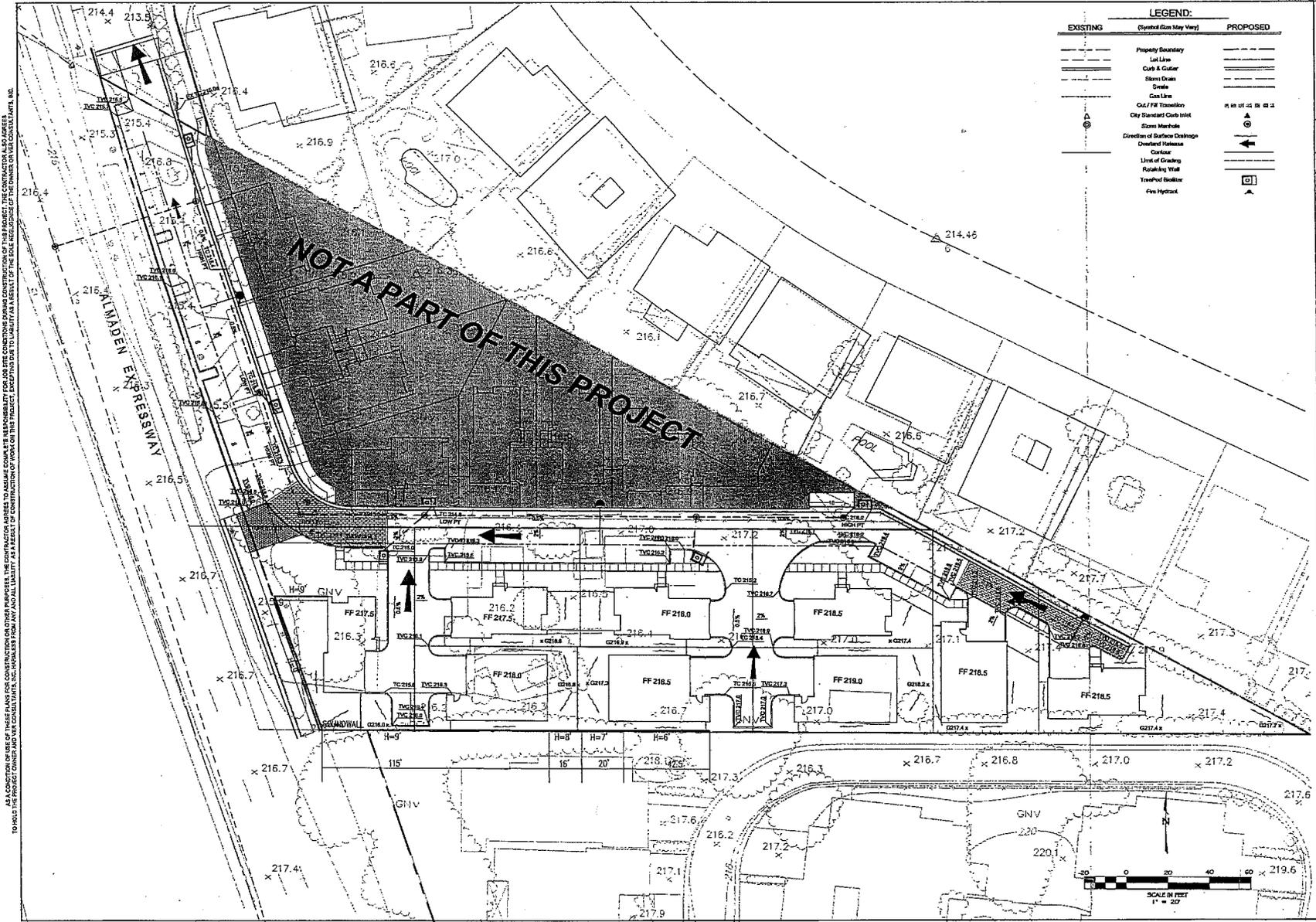
COMMON LANDSCAPE REQUIRED FOR 3-COURT = 400 SF.
 COMMON LANDSCAPE PROVIDED FOR 3-COURT = 460 SF.
 COMMON LANDSCAPE REQUIRED FOR 4-COURT = 400 SF.
 COMMON LANDSCAPE PROVIDED FOR 4-COURT = 476 SF.

HH ALMADEN, LLC
 453 HOPKINS STREET
 SAN JOSE, CA 95122

General Development Plan-Exhibit C
FLEETWOOD ALMADEN ESTATES
 Almaden Expressway at Fleetwood Drive
 SAN JOSE - CALIFORNIA

Date:	01-9-2008	Drawing Title:	CONCEPTUAL SITE PLAN
Scale:	1" = 30'	Sheet No.:	3
Revisions:	3-8-2010 PLANNING COMMENTS	Drawn By:	

LPMD
Architects
 1288 Kifer Road # 206
 Sunnyvale - CA 94089
 Telephone : 408-992-0260
 Fax : 408-992-0281



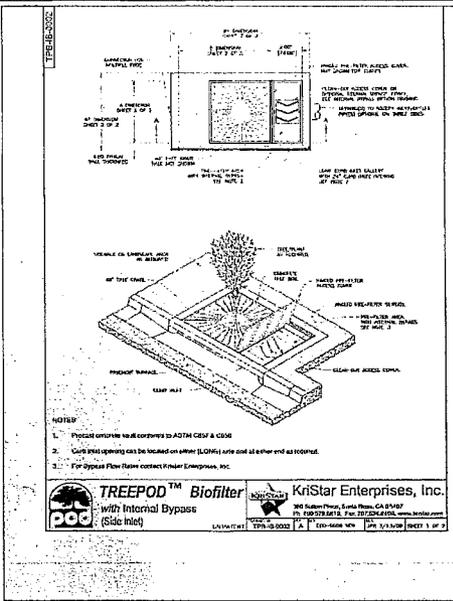
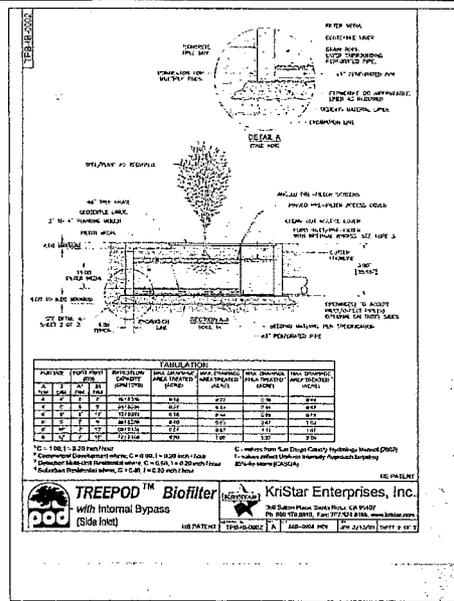
AS A CONDITION OF USE OF THESE PLANS FOR CONSTRUCTION OR OTHER PURPOSES, THE CONTRACTOR AGREES TO ASSUME COMPLETE RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS AND TO MAINTAIN THE SAME THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO MAINTAIN THE SAME THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO MAINTAIN THE SAME THROUGHOUT THE CONSTRUCTION PERIOD.

LEGEND:	
EXISTING	PROPOSED
(Symbol: Dashed line)	Property Boundary
(Symbol: Solid line)	Lot Line
(Symbol: Dashed line with dots)	Curb & Gutter
(Symbol: Dashed line with triangles)	Storm Drain
(Symbol: Dashed line with circles)	Scale
(Symbol: Dashed line with squares)	Gas Line
(Symbol: Dashed line with diamonds)	Old / FR Traversal
(Symbol: Dashed line with crosses)	City Standard Curb Inlet
(Symbol: Dashed line with asterisks)	Storm Manhole
(Symbol: Arrow pointing right)	Direction of Surface Drainage
(Symbol: Arrow pointing left)	Overland Release
(Symbol: Arrow pointing up)	Culvert
(Symbol: Arrow pointing down)	Line of Grading
(Symbol: Arrow pointing right with 'R')	Retaining Wall
(Symbol: Arrow pointing left with 'L')	Transect Marker
(Symbol: Arrow pointing up with 'U')	Fire Hydrant

NO. 1	DATE	BY	CHKD	REVISIONS
NO. 2				
NO. 3				
NO. 4				
NO. 5				
NO. 6				
NO. 7				
NO. 8				
NO. 9				
NO. 10				
Mr. Michael Hudson Hudson Industrial Equities, INC. 483 Horning Street San Jose, CA 95112				
VERO consultants <small>Planning Engineering Landscape Architecture</small> <small>www.veroconsultants.com</small>				
GENERAL DEVELOPMENT PLAN PDC 07-056 FLEETWOOD ALHADEN ESTATES GRADING & DRAINAGE PLAN SAN JOSE, CALIFORNIA				
SHEET 4.0 OF 10 SHEETS PW PROJECT # 3-				

REV. DATE FEBRUARY 2009

A & B CONDUCTED AS PART OF THE PRELIMINARY DESIGN AND CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY DATA TO THE CONSULTANT. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY DATA TO THE CONTRACTOR. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY DATA TO THE CONTRACTOR. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY DATA TO THE CONTRACTOR.



FILTERRA STORMWATER BIORETENTION FILTRATION SYSTEM OR CONTECH URBANGREEN BIOFILTER MAY BE INSTALLED IN LIEU OF THE KRISTAR TREEPOD BIOFILTER.

TREATMENT CONTROL SUMMARY						
DRAINAGE AREA	DRAINAGE AREA SIZE	TREE CREDIT	PERVIOUS SURFACE TYPE	IMPERVIOUS SURFACE TYPES	PROPOSED TREATMENT CONTROLS	CONFORMS TO SDGHS STANDARD?
A	3,954 SF	N/A	LANDSCAPING	STREETS, DRIVEWAYS & SIDEWALKS	TREEPOD BIOFILTER	YES*
B	3,937 SF	N/A	LANDSCAPING	STREETS, DRIVEWAYS & SIDEWALKS	TREEPOD BIOFILTER	YES*
C	7,910 SF	N/A	LANDSCAPING	STREETS, DRIVEWAYS & SIDEWALKS	TREEPOD BIOFILTER	YES*
D	3,869 SF	N/A	LANDSCAPING	STREETS, DRIVEWAYS & SIDEWALKS	TREEPOD BIOFILTER	YES*
E	5,088 SF	N/A	LANDSCAPING	STREETS, DRIVEWAYS & SIDEWALKS	TREEPOD BIOFILTER	YES*
F	4,214 SF	N/A	LANDSCAPING	STREETS, DRIVEWAYS & SIDEWALKS	TREEPOD BIOFILTER	YES*

TREEPOD BIOFILTER SIZING SHOWN HEREON IS APPROXIMATE. CONTACT KRISTAR AT 1-800-579-8819 FOR FINAL TREEPOD SIZING CALCULATIONS.

Mr. Michael Hudson
 Hudson Industrial Equities, Inc.
 483 Horning Street
 San Jose, CA 95112

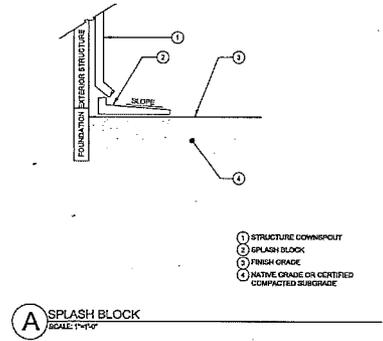
VERO
 consultants
 Planning | Engineering | Architecture

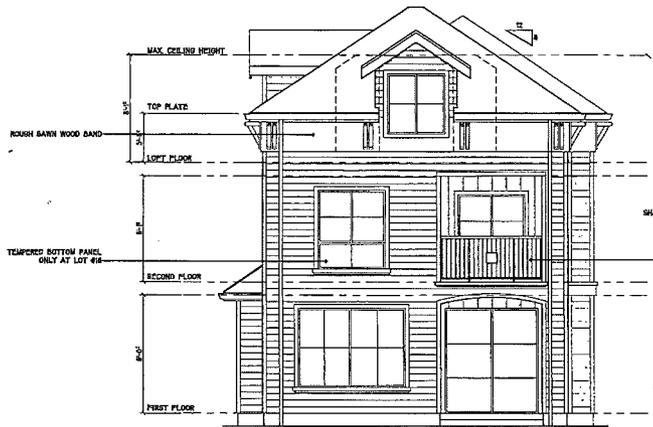
GENERAL DEVELOPMENT PLAN
 PDC 07-056
 FLEETWOOD ALMADEN ESTATES
 CONCEPTUAL STORMWATER CONTROL PLAN
 SUPPLEMENTAL REPORT
 SAN JOSE, CALIFORNIA

SHEET
4.0B
 OF 10 SHEETS
 PW PROJECT #
 3-

LOT	ROOF AREA	YARD AREA
1	618 SF	2690 SF
2	750 SF	1500 SF
3	750 SF	1510 SF
4	618 SF	1424 SF
5	618 SF	1467 SF
6	750 SF	1222 SF
7	618 SF	1573 SF
8	750 SF	1157 SF
9	618 SF	3273 SF

NOTES:
 ALL RAIN WATER LEADERS SHALL BE DISCONNECTED AND DRAIN TO THE REAR YARDS.
 LOTS 6 & 8 REAR YARDS ARE LESS THAN TWICE THE ROOF AREA AND THE RUNOFF WILL BE ADDED TO AREAS D & E.

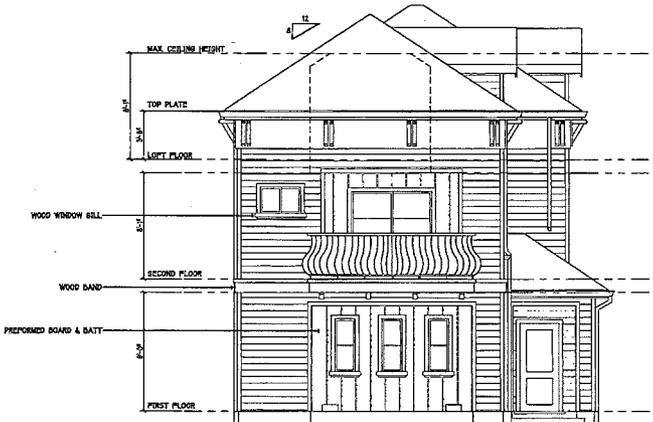




3 RIGHT ELEVATION
3/4" = 1'-0"



1 FRONT ELEVATION
3/4" = 1'-0"



4 LEFT ELEVATION
3/4" = 1'-0"



2 REAR ELEVATION
3/4" = 1'-0"

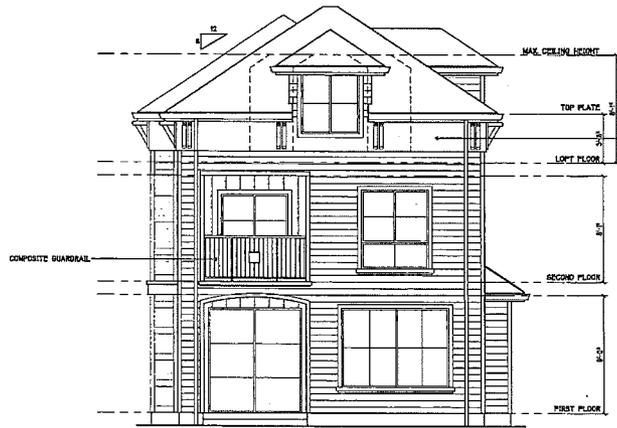
HH ALMADEN, LLC
485 HOBBS STREET
SAN JOSE, CA, 95122

FLEETWOOD ALMADEN ESTATES

Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date:	07-20-2010	Drawing Title:	HOUSE A ELEVATIONS
Scale:		Sheet No:	5A
Revision:		of	Sheets

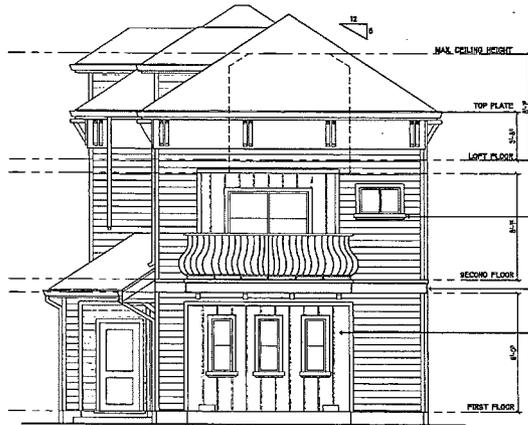
LPM D
Architects
1288 Kifer Road # 206
Sunnyvale - CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281



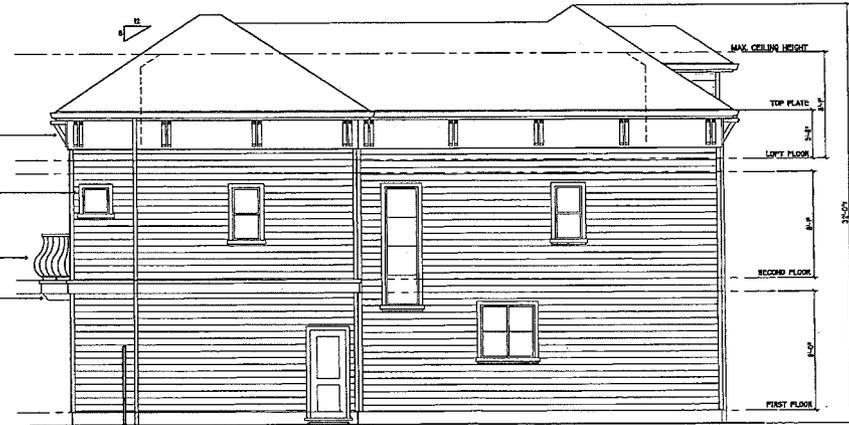
3 LEFT ELEVATION
9'6" x 14'0"



1 FRONT ELEVATION
9'6" x 14'0"



4 RIGHT ELEVATION
9'6" x 14'0"



2 REAR ELEVATION
9'6" x 14'0"

HH ALMADEN, LLC
403 HERRING STREET
SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-19-2010
Scale:
Revision:
Sheet No:
5B

Project Title:
**HOUSE A ALT.
ELEVATIONS**
Sheet No:
5B

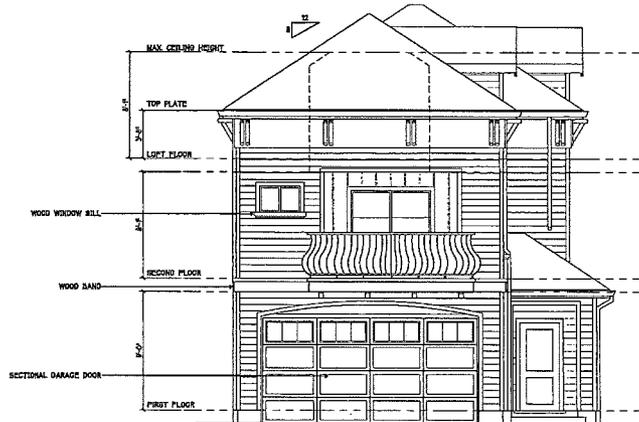
**LPMD
Architects**
1288 Kifer Road # 206
Sunnyvale - CA 94085
Telephone : 408-992-0280
Fax : 408-992-0281



3 RIGHT ELEVATION
9'6" x 7'-0"



1 FRONT ELEVATION
9'6" x 7'-0"



4 LEFT ELEVATION
9'6" x 7'-0"



2 REAR ELEVATION
9'6" x 7'-0"

HH ALMADEN, LLC
433 HURANG STREET
SAN JOSE, CA 95122

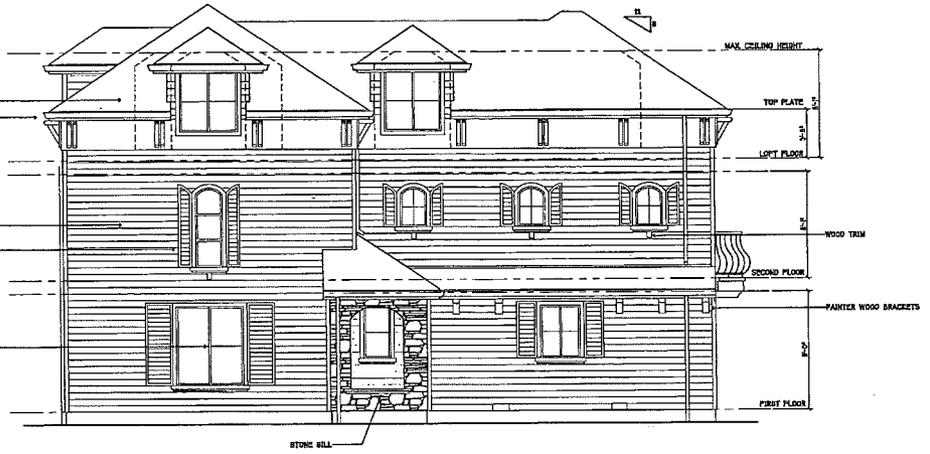
FLEETWOOD ALMADEN ESTATES

Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

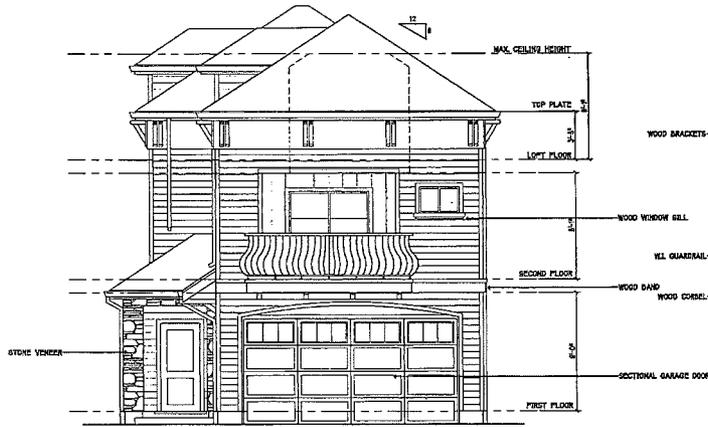
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Scale:		Sheet No:		
Revisions:		Sheet No:		1286 Kifer Road # 206 Sunnyvale - CA 94086 Telephone : 408-992-0280 Fax : 408-992-0281
		of	Sheets	



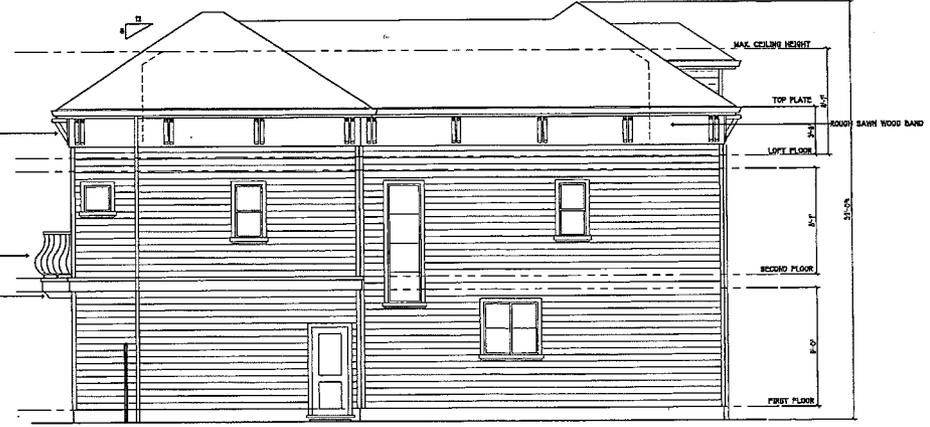
3 LEFT ELEVATION
9'6" x 7'-0"



1 FRONT ELEVATION
19'6" x 7'-0"



4 RIGHT ELEVATION
9'6" x 7'-0"



2 REAR ELEVATION
9'6" x 7'-0"

HH ALMADEN, LLC
400 HORNARD STREET
SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-01-2010 Drawing Title: HOUSE A1 ALT. ELEVATIONS
 Scale: _____
 Revision: _____ Sheet No: 5D
 of _____ Sheets

LPMD
Architects
 1288 Kifer Road # 208
 Sunnyvale - CA 94086
 Telephone : 408-992-0280
 Fax : 408-992-0281



3 RIGHT ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



4 LEFT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

HH ALMADEN, LLC
450 HORNING STREET
SAN JOSE, CA 95128

FLEETWOOD ALMADEN ESTATES

Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-01-2010 Drawing Title:
Scale:
Revision:
Sheet No.
5E

HOUSE B
ELEVATIONS
5E

LPMD
Architects
1288 Kilar Road # 206
Sunnyvale - CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281



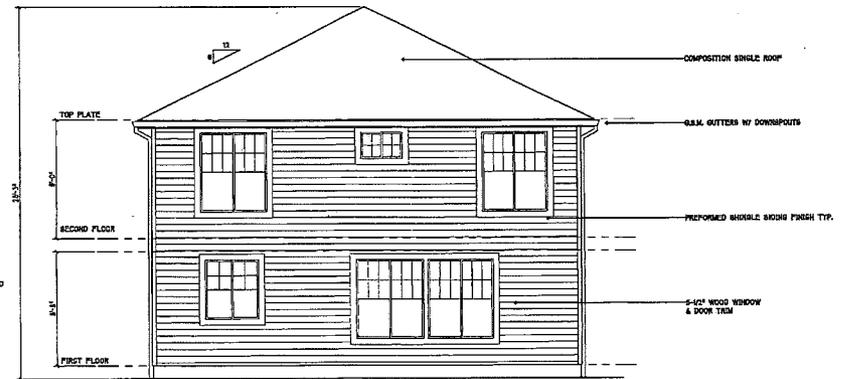
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WF = 1'-0"



1 FRONT ELEVATION
WF = 1'-0"



4 LEFT ELEVATION
WF = 1'-0"



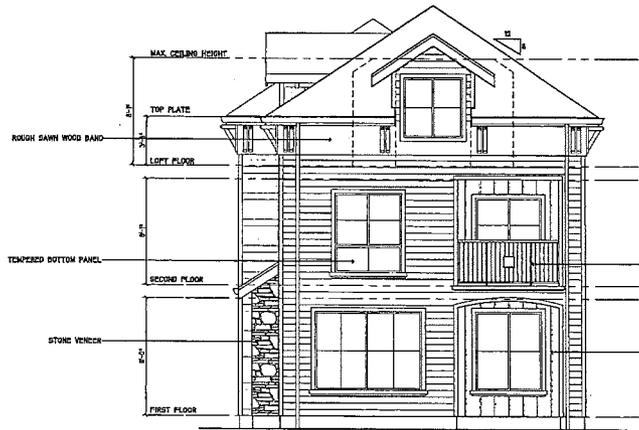
2 REAR ELEVATION
WF = 1'-0"

HH ALMADEN, LLC
455 HORNBO STREET
SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

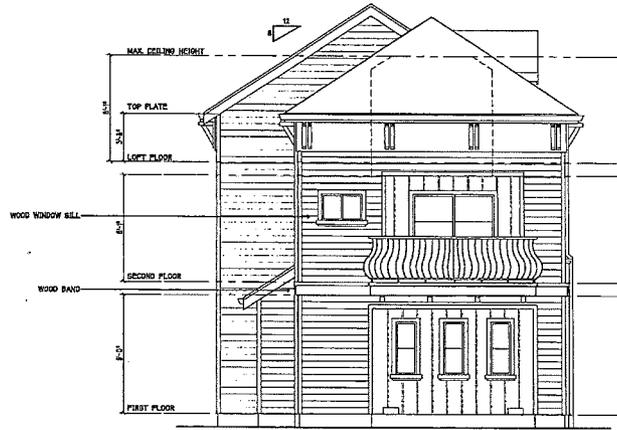
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Scale: 5/8" = 1'-0"
Prepared by: Street No. 5F
of Sheets: 5 of 5
LPMD Architects
1288 Kifer Road # 206
Sunnyvale - CA 94086
Telephone : 408-952-0280
Fax : 408-952-0281



3 RIGHT ELEVATION
9'4" x 14'0"



1 FRONT ELEVATION
9'4" x 14'0"



4 LEFT ELEVATION
9'4" x 14'0"



2 REAR ELEVATION
9'4" x 14'0"

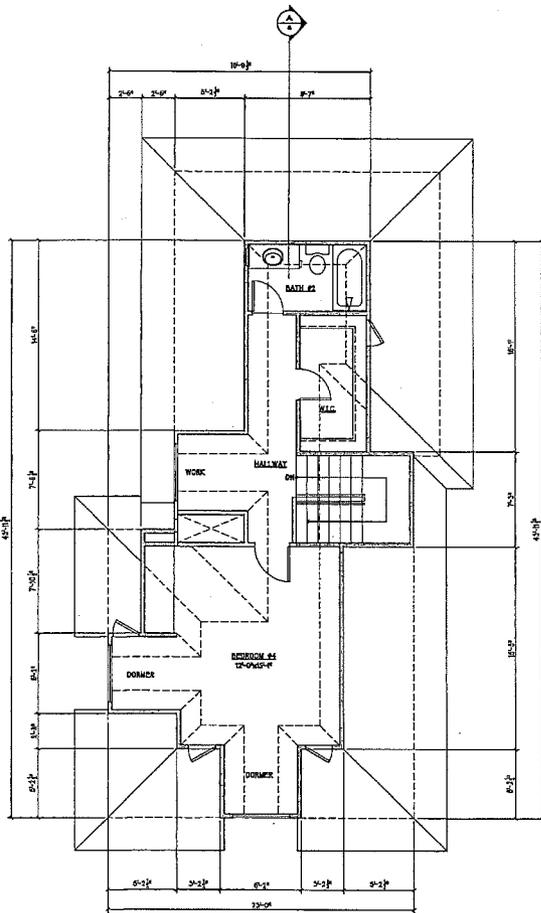
HH ALMADEN, LLC
403 HERRING STREET
SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

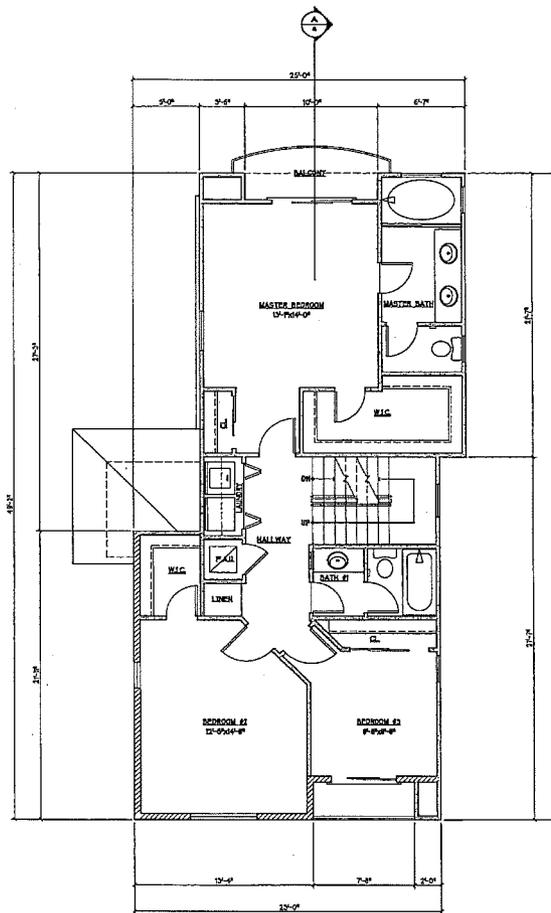
Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-19-2010 Drawing Title: HOUSE C ELEVATIONS
 Scale: SHEET 5G
 Revision: _____

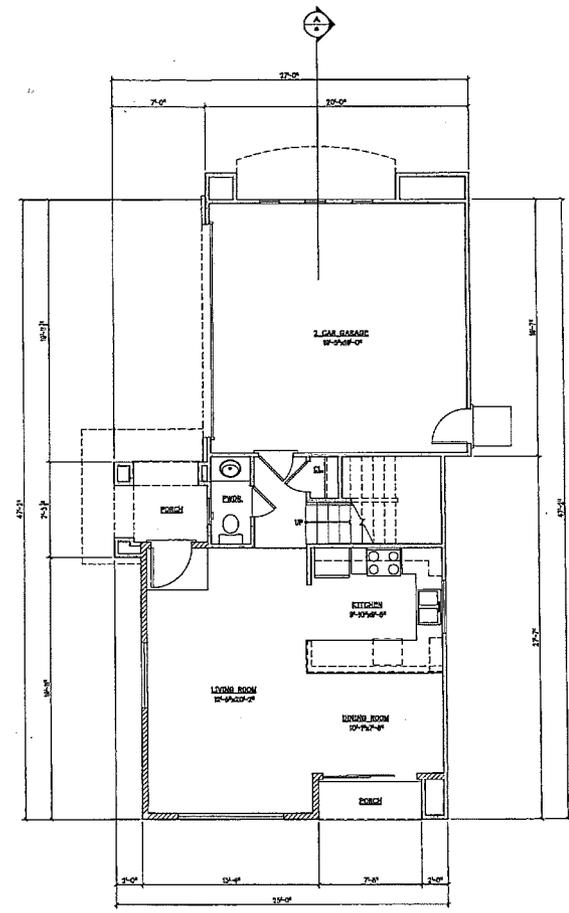
LPMD
Architects
 1288 Kifer Road # 206
 Sunnyvale - CA 94086
 Telephone : 408-992-0280
 Fax : 408-992-0281



③ PLAN A - LOFT FLOOR
 9'0" x 2'0" 88 sq. ft.



② PLAN A - SECOND FLOOR
 16'0" x 1'0" 88 sq. ft.



① PLAN A - FIRST FLOOR
 14'0" x 1'0" 89 sq. ft.

FIRST FLOOR	578 sq'
SECOND FLOOR	88 sq'
LOFT FLOOR	88 sq'
TOTAL	754 sq'
BARBARC	547 sq'

HH ALMADEN, LLC
 483 HORNWOOD STREET
 SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

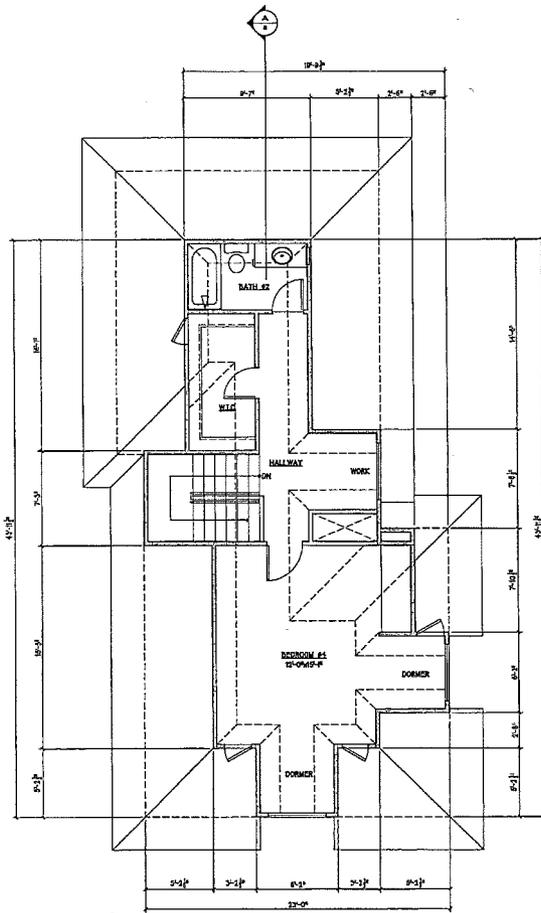
Almaden Expressway at Fleetwood Drive
 SAN JOSE - CALIFORNIA

Date: 07-13-2010
 Scale: _____
 Designer: _____
 Checker: _____
 Title: _____
 Project No: _____
 Sheet No: _____

LPM D
Architects
 1288 Kifer Road #206
 Sunnyvale - CA 94086
 Telephone : 408-992-0280
 Fax : 408-992-0281

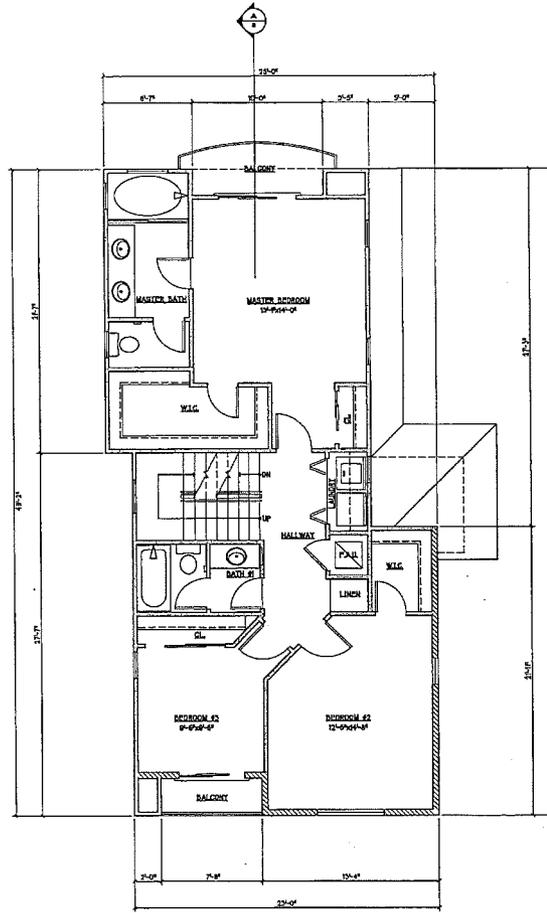
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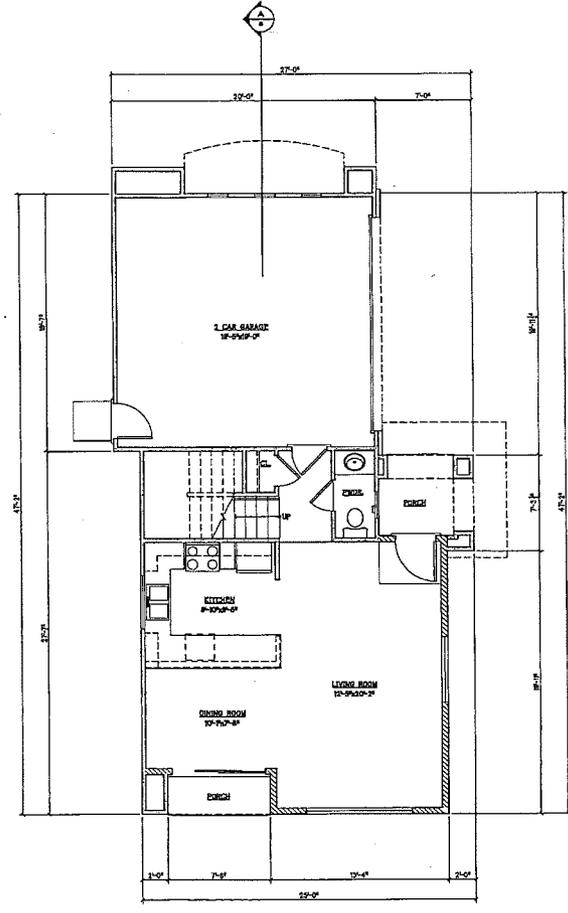
③ PLAN A - ALT. - LOFT FLOOR
34' x 1'-0"

48' 0" FT.



② PLAN A - ALT. - SECOND FLOOR
34' x 1'-0"

48' 0" FT.



① PLAN A - ALT. - FIRST FLOOR
34' x 1'-0"

48' 0" FT.

FIRST FLOOR	878 SF
SECOND FLOOR	828 SF
LOFT FLOOR	508 SF
TOTAL	2214 SF
GARAGE	347 SF

HH ALMADEN, LLC
483 HERRING STREET
SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

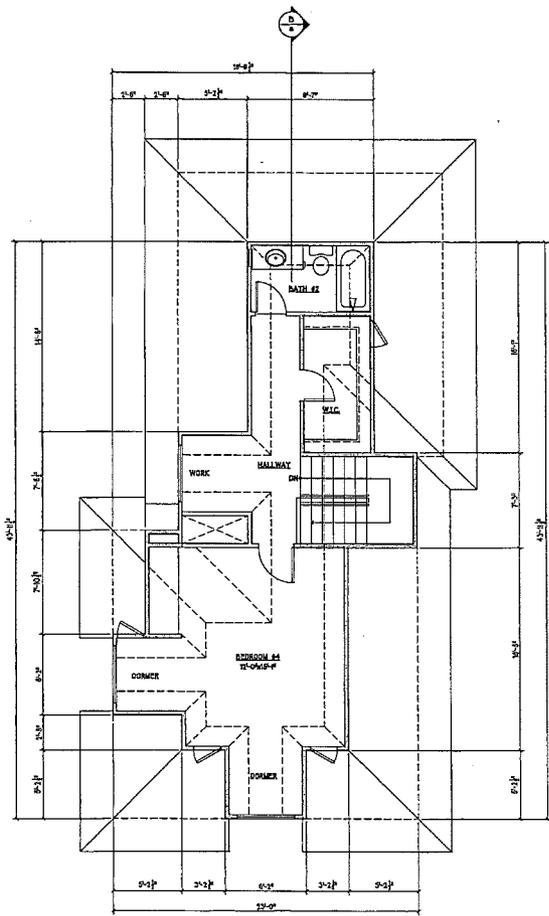
Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-23-2006 Project Title:
Scale:
Architect:
Sheet No.:
Sheet:

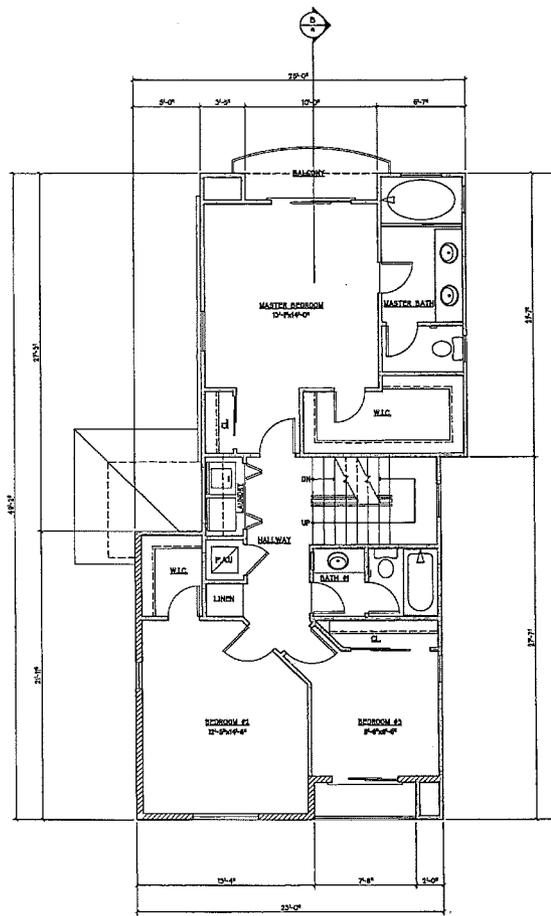
HOUSE A ALT.
FLOOR PLANS

6B

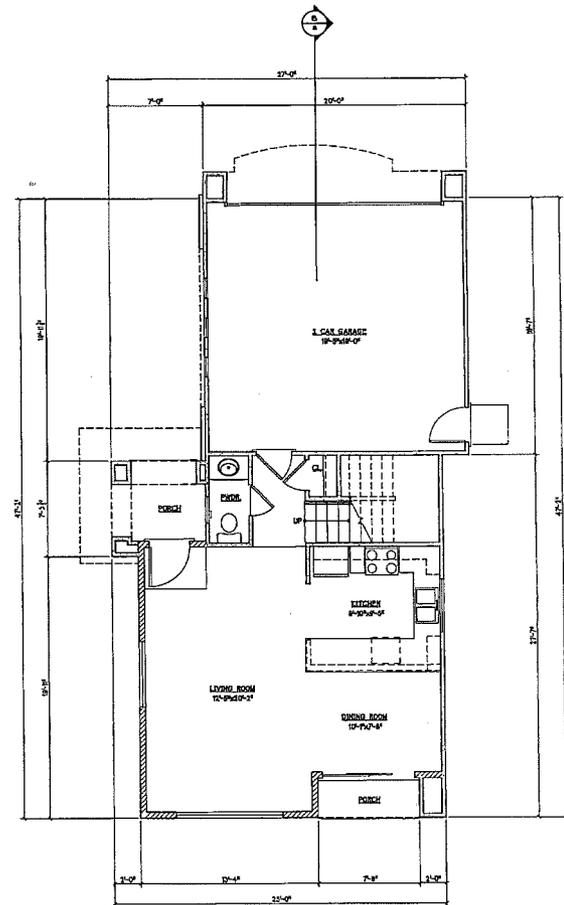
LPMD
Architects
1288 Kifer Road #206
Sunnyvale - CA 94086
Telephone : 408-932-0280
Fax : 408-932-0281



3 PLAN A1 - LOFT FLOOR
9'-0" = 1'-0" 8/8 8/8 FT.



2 PLAN A1 - SECOND FLOOR
9'-0" = 1'-0" 8/8 8/8 FT.



1 PLAN A1 - FIRST FLOOR
9'-0" = 1'-0" 8/8 8/8 FT.

FIRST FLOOR 578 SF
SECOND FLOOR 818 SF
LOFT FLOOR 506 SF
TOTAL 1902 SF
GARAGE 144 SF

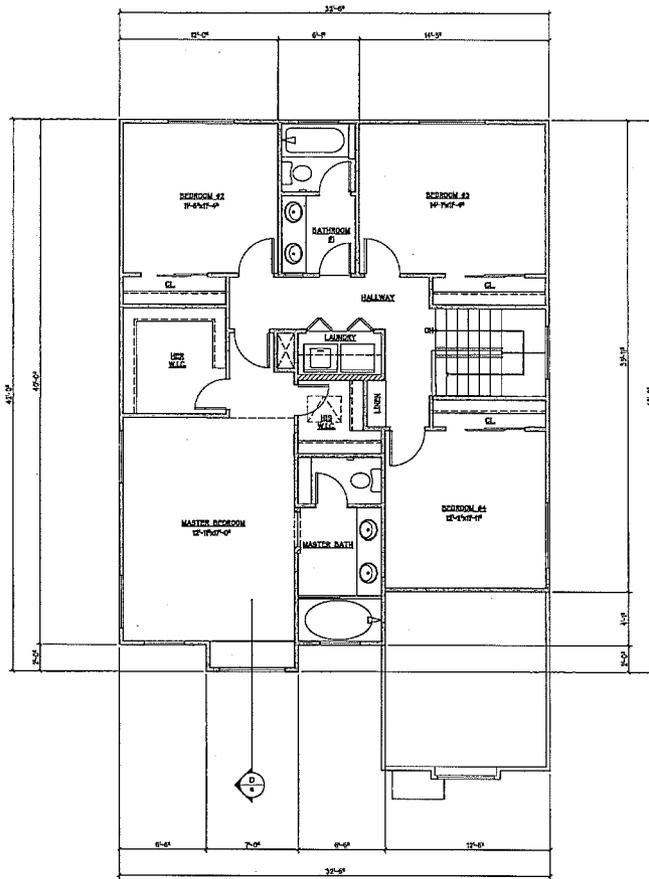
HH ALMADEN, LLC
450 HURSTING STREET
SAN JOSE, CA 95128

FLEETWOOD ALMADEN ESTATES

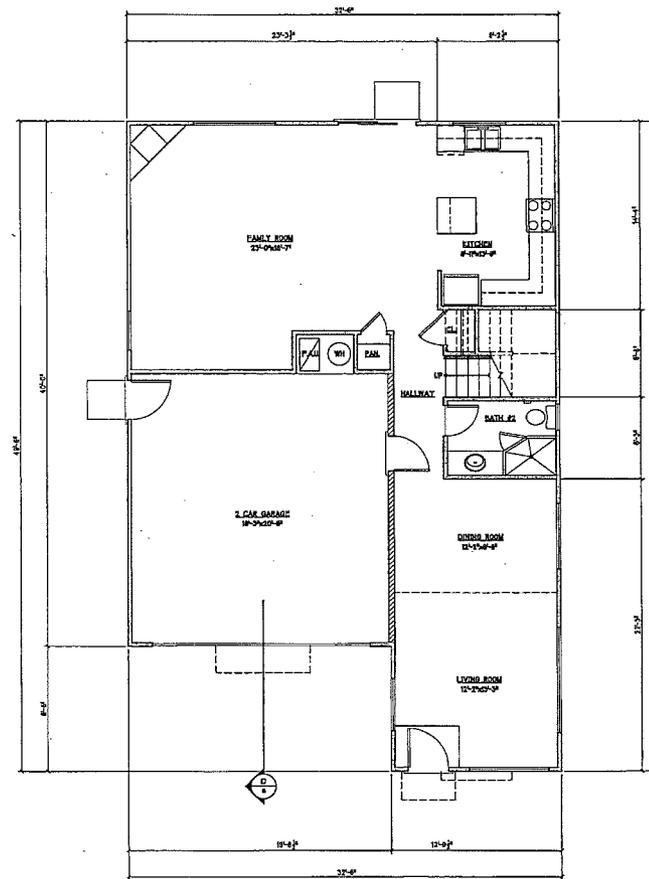
Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-21-2000 Drawing Title:
Scale: HOUSE A1 FLOOR PLANS
Revision: Sheet No:
6C
1/1 Sheets

LPMD
Architects
1288 Kifer Road # 206
Sunnyvale - CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281



② PLAN B - SECOND FLOOR
 1/4" = 1'-0"
 888 SQ. FT.



① PLAN B - FIRST FLOOR
 1/4" = 1'-0"
 888 SQ. FT.

FIRST FLOOR 888 SQ.
 SECOND FLOOR 1028 SQ.
 SECOND FLOOR GARAGE 423 SQ.

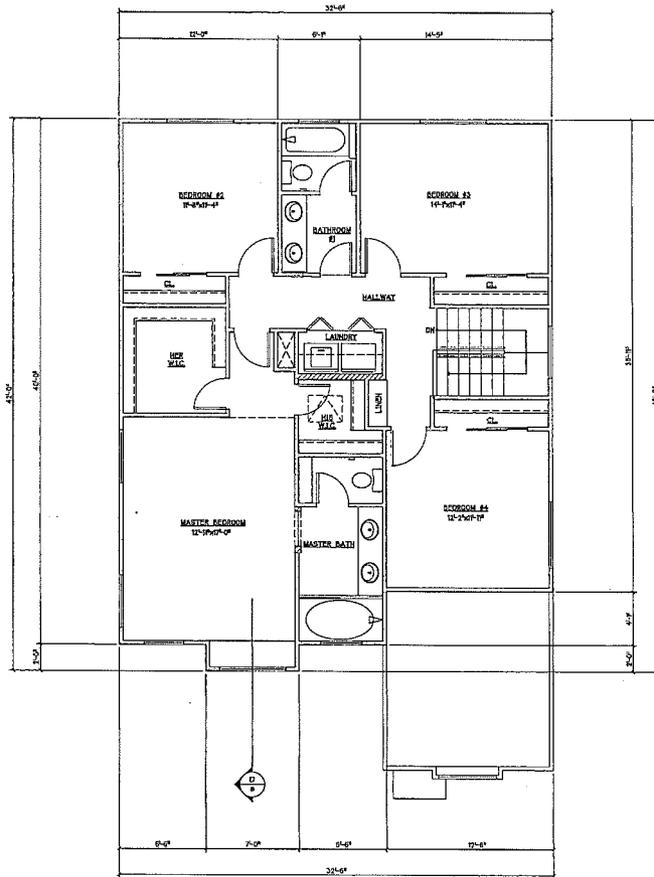
HH ALMADEN, LLC
 483 HORNING STREET
 SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

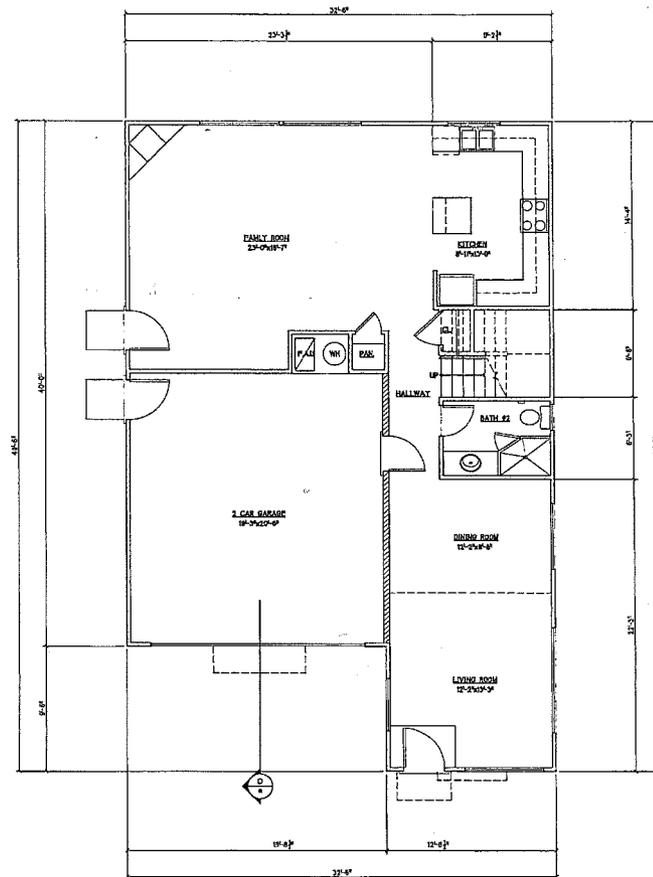
Almaden Expressway at Fleetwood Drive
 SAN JOSE - CALIFORNIA

Date: 07-13-2002 Drawing Title:
 Scale: HOUSE B FLOOR PLANS
 Designer: Sheet No:
 6E
 Title Block

LPMD
Architects
 1288 Kifer Road # 205
 Sunnyvale - CA 94086
 Telephone : 408-852-0280
 Fax : 408-852-0281



2 PLAN B - SECOND FLOOR
1/4" = 1'-0" 88' 00.00 FT.



1 PLAN B - FIRST FLOOR
1/4" = 1'-0" 88' 00.00 FT.

FIRST FLOOR	88' 00"
SECOND FLOOR	103' 00"
SECOND FLOOR	2104' 00"
GARAGE	413' 00"

HH ALMADEN, LLC
455 HERRING STREET
SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

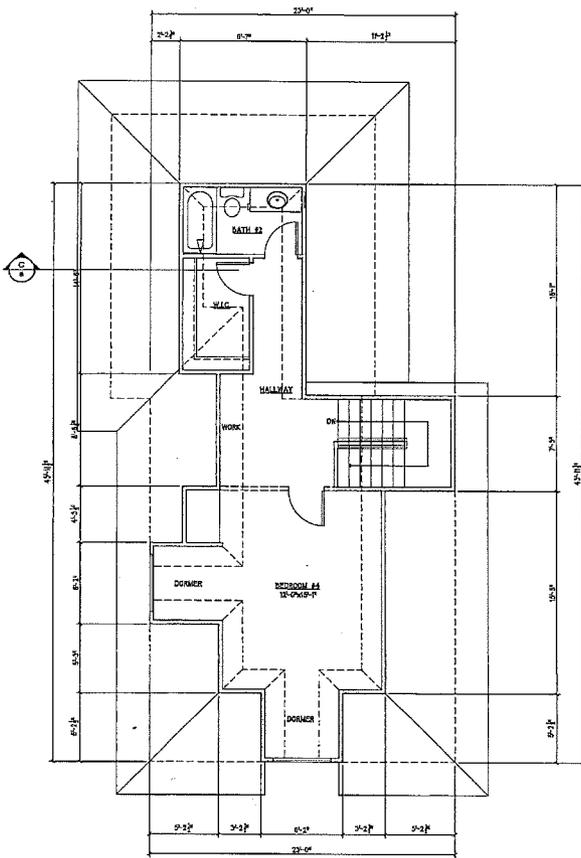
Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-01-2000
 Scale: _____
 Revision: _____

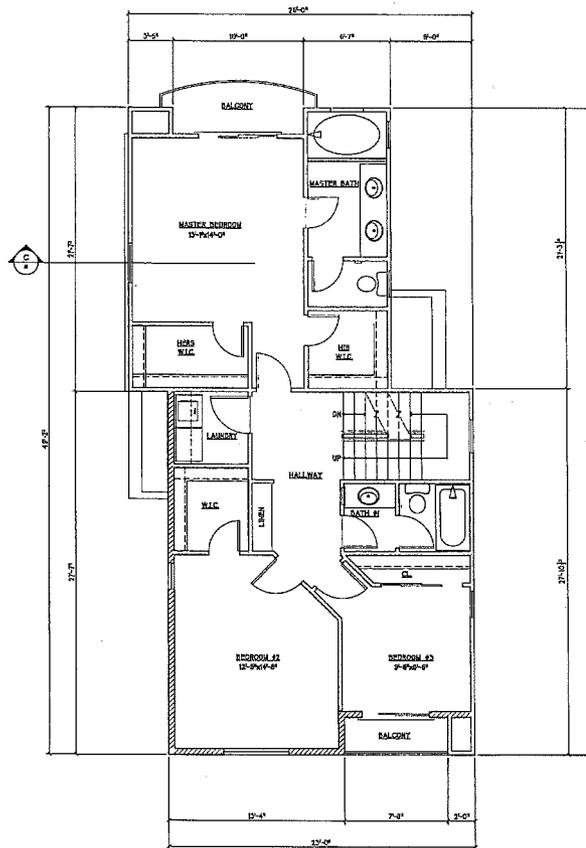
Project Title: HOUSE B ALT. FLOOR PLANS
 Sheet No: 6F

Sheet: _____

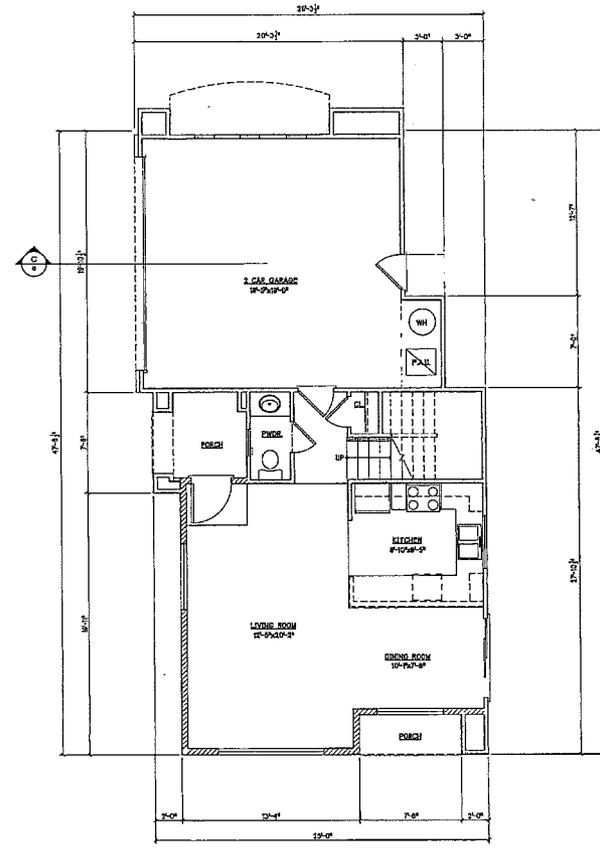
LPMD
Architects
1288 Kifer Road # 206
Sunnyvale - CA 94086
Telephone : 408-892-0280
Fax : 408-892-0281



3 PLAN C - LOFT FLOOR
47' x 34'



2 PLAN C - SECOND FLOOR
69' x 48'



1 PLAN C - FIRST FLOOR
69' x 48'

FIRST FLOOR 576 SF
SECOND FLOOR 846 SF
LOFT FLOOR 487 SF
TOTAL 1909 SF
GARAGE 408 SF

HH ALMADEN, LLC
483 HORNING STREET
SAN JOSE, CA 95122

FLEETWOOD ALMADEN ESTATES

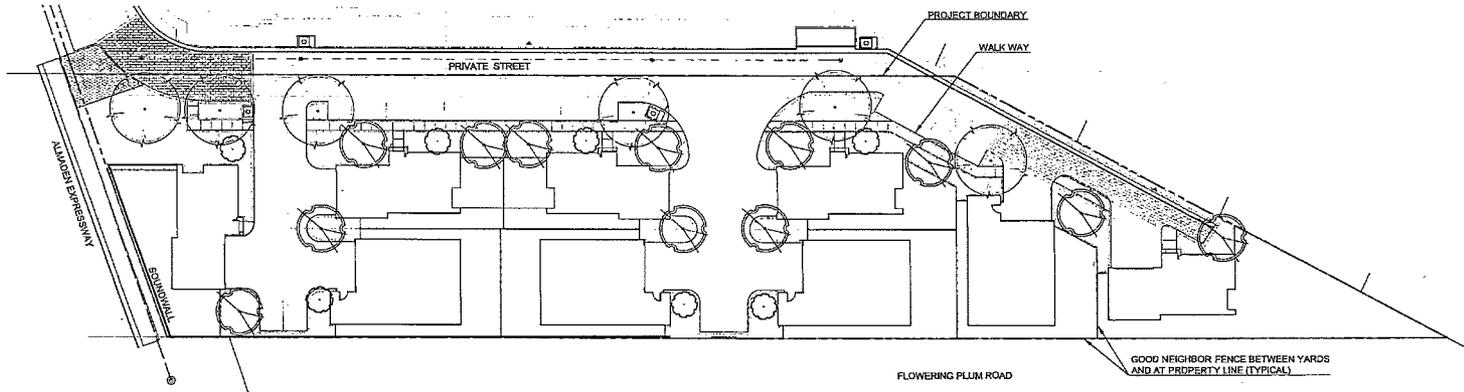
Almaden Expressway at Fleetwood Drive
SAN JOSE - CALIFORNIA

Date: 07-02-2010 Drawing Title:
Scale:
Revision:
Sheet No.
of Sheets

HOUSE C
FLOOR PLANS
6G

LPMD
Architects
1288 Kifer Road # 206
Sunnyvale - CA 94086
Telephone : 408-992-0280
Fax : 408-992-0281

AS A CONDITION OF THE PERMIT, THE PROPOSED LANDSCAPE SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PERMIT CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT, INCLUDING THE CITY OF SAN JOSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT, INCLUDING THE CITY OF SAN JOSE.



PROPOSED TREE PALETTE

SYMBOL	BOTANICAL NAME/ COMMON NAME	MINIMUM CONTAINER SIZE
STREET TREES - SPECIES TO BE APPROVED BY CSJ ARBORIST		
	PLATANUS ACERIFOLIA 'COLUMBIA'	24" BOX
	EUROPEAN SYCAMORE	
40' TALL x 30" WIDE		
ACCENT TREES		
	PRUNUS SERRULATA 'KWANZAN'	24" BOX
	KWANZAN FLOWERING CHERRY	
30' TALL x 20" WIDE		
	LAGERSTROEMIA 'ZUNI'	24" BOX
	ZUNI CRAPE MYRTLE	
9' TALL x 8" WIDE		

IRRIGATION:

ALL TURF AND SHRUB AREAS SHALL BE IRRIGATED USING A FULLY AUTOMATIC HIGH EFFICIENCY IRRIGATION SYSTEM. ALL IRRIGATION SHALL CONFORM TO THE LANDSCAPE GUIDELINES OF THE CITY OF SAN JOSE.

NOTES:

- PLANTS LISTED AS 'ALERT STATUS' BY THE CALIFORNIA INVASIVE PLANT INVENTORY (CAL-IPC 2006) SHALL NOT BE USED FOR LANDSCAPING.
- SEE SHEET 6.1 FOR CONCEPTUAL LANDSCAPE DETAILS.
- SEE SHEET 6.2 FOR TREE DISPOSITION PLAN AND SHEET 8.1 FOR ARBORIST REPORT.

PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME/COMMON NAME	MINIMUM CONTAINER SIZE
LARGE SHRUBS (BACKGROUND PLANTING)		
	CAMELLIA SASANQUA / CAMELLIA	15 GALLON
	CERCIS OCCIDENTALIS / WESTERN REDBUD	15 GALLON
	COTINUS COGGYGRIA 'GOLDEN SPIRIT' / SMOKE TREE	15 GALLON
	LOROPETALUM CHINENSE 'RASSLEBERRY' / LOROPETALUM	5 GALLON
	PODOCARPUS M. MAKII / SHRUBBY YEW PINE	15 GALLON
	POLYSTICHUM MUNIUM / WESTERN SWORD FERN	5 GALLON
	ROSMARINUS 'BLUE SPIRES' / BLUE SPIRES ROSEMARY	5 GALLON
MEDIUM SHRUBS (MID GROUND PLANTING)		
	COLEONEMA PULCHELLUM 'SUNSET GOLD' / BREATH OF HEAVEN	5 GALLON
	DIETES 'LEMON DROPS' / FORTNIGHT LILY	5 GALLON
	ESCALLONIA 'NEWPORT DWARF' / DWARF ESCALLONIA	5 GALLON
	PHORMIUM HYBRID 'DUET' / NEW ZEALAND FLAX	5 GALLON
SMALL SIZE SHRUBS (FOREGROUND PLANTING)		
	EUONYMUS 'NARLEQUIN' / EUONYMUS	1 GALLON
	LAVANDULA ANGSTIFOLIA / ENGLISH LAVENDER	1 GALLON
	NANDINA DOMESTICA / HEAVENLY BAMBOO	1 GALLON
	OENOTHERA SPECIOSA 'WOODSIDE WHITE' / EVENING PRIMROSE	1 GALLON
	ROSA CULTIVARS / ROSE	5 GALLON
VINES		
	DISTICTIS BUCCANARIA / BLOOD RED TRUMPET VINE	15 GALLON
	HARDENBERGIA COMPTONIANA / LILAC VINE	15 GALLON
	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE	15 GALLON
GROUND COVER		
	FRAGARIA CHILOENSIS / BEACH STRAWBERRY	1 GALLON
	GAZANIA 'SUNRISE YELLOW' / GAZANIA	1 GALLON
	HEUCHERA 'CANYON BELLS' / CORAL BELLS	1 GALLON
	LIRIOPE MUSCARI 'SILVER SUNPROOF' / LILY TURF	1 GALLON
	ROSMARINUS 'HUNTINGTON CARPET' / ROSEMARY	1 GALLON

<p>Mr. Michael Hudson Hudson Industrial Equities, INC. 483 Herring Street San Jose, CA 95112</p>	<p>VERO consultants</p> <p style="font-size: small;">Planning Engineering Landscape Architecture 1000 N. First Street, Suite 100, San Jose, CA 95128</p>
<p>GENERAL DEVELOPMENT PLAN PDC 07-056 FLEETWOOD ALMADEN ESTATES CONCEPTUAL LANDSCAPE PLAN</p>	<p>DATE: FEBRUARY 2009</p>
<p>SHEET 7.0 OF 10 SHEETS</p>	<p>FW PROJECT # 3-</p>
<p>DATE: FEBRUARY 2009</p>	<p>REV. DATE: FEBRUARY 2009</p>

LIVE OAK ASSOCIATES, INC.

331 Biological City Building From

May 20, 2010

Mr. Victor Adams
3733 Comanche
1610 The Almaden, #200
San Jose, CA 95126

Subject: Details of Tree Survey Conducted for 16440 Almaden Expressway, San Jose, California. (PW 1444-01)

Dave M. Rosen

For tree removal, Live Oak Associates, Inc. (LOA) conducted a tree survey for the site located at 16440 Almaden Expressway in San Jose, California (Site #1). This survey was conducted on May 24, 2010 by LOA Certified Arborist Dave Rosen (DA-Rosen). The 16440 Almaden Expressway site is currently occupied by a single family ranch with a residence and various outbuildings. A multi-acre undeveloped area is present on the site. LOA has previously visited this site and conducted a tree survey on January 6, 2009. However, the property has changed ownership and there has been a subsequent change in the site plan. We have been asked to re-evaluate the site and update the tree survey information reflected during our January 2009 visit.

The City of San Jose requires the survey details when a tree is removed to allow the applicant to determine the species and to determine if a permit is required for the removal of the tree. The City of San Jose requires the survey details when a tree is removed to allow the applicant to determine the species and to determine if a permit is required for the removal of the tree.

The City of San Jose defines a tree as any growing plant exceeding six feet in height, whether planted or growing naturally. The minimum trunk diameter is six inches or equivalent. Any tree with a trunk diameter of 18 inches (measured at 48 inches above the natural ground) is considered a large tree. For removal of trees, the applicant is required to provide the size of the trunk diameter at all points in 24 inches above the natural ground. A "trunk diameter" is defined as a tree's trunk diameter at the community design height, which is the point of the trunk's diameter.

Consistent with the City ordinance, our survey included a record of the species, trunk diameter at 24 inches above natural ground, as well as an assessment of the health of each tree remaining on the site. Each remaining tree was marked with a numbered identification tag. A site plan showing the location of each tree is also prepared by us.

For more information, please contact Mr. Victor Adams at (415) 738-1111. Please email Dave Rosen at drosen@liveoak.com. Contact Mr. Victor Adams at (415) 738-1111. Please email Dave Rosen at drosen@liveoak.com.

SURVEY RESULTS AND DISCUSSION

A tree survey was conducted on the survey site. The results are listed in Table 1 and the species and trunk diameter are shown in Figure 2. The survey was a combination of visual and ground truthing. Ground truthing was conducted on all trees with a trunk diameter of 18 inches or greater.

Table 1 is located on May 21, 2010 tree survey at 16440 Almaden Expressway, San Jose, CA. The table lists the species, trunk diameter, and trunk diameter at 24 inches.

Tree #	Common Name	Scientific Name	Trunk Diameter at 24" above ground	Trunk Diameter at 48" above ground	Health
1	Redwood	Sequoia sempervirens	2.5	2.5	Good
2	Redwood	Sequoia sempervirens	2.5	2.5	Good
3	Redwood	Sequoia sempervirens	2.5	2.5	Good
4	Redwood	Sequoia sempervirens	2.5	2.5	Good
5	Redwood	Sequoia sempervirens	2.5	2.5	Good
6	Redwood	Sequoia sempervirens	2.5	2.5	Good
7	Redwood	Sequoia sempervirens	2.5	2.5	Good
8	Redwood	Sequoia sempervirens	2.5	2.5	Good
9	Redwood	Sequoia sempervirens	2.5	2.5	Good
10	Redwood	Sequoia sempervirens	2.5	2.5	Good
11	Redwood	Sequoia sempervirens	2.5	2.5	Good
12	Redwood	Sequoia sempervirens	2.5	2.5	Good
13	Redwood	Sequoia sempervirens	2.5	2.5	Good
14	Redwood	Sequoia sempervirens	2.5	2.5	Good
15	Redwood	Sequoia sempervirens	2.5	2.5	Good
16	Redwood	Sequoia sempervirens	2.5	2.5	Good
17	Redwood	Sequoia sempervirens	2.5	2.5	Good
18	Redwood	Sequoia sempervirens	2.5	2.5	Good
19	Redwood	Sequoia sempervirens	2.5	2.5	Good
20	Redwood	Sequoia sempervirens	2.5	2.5	Good
21	Redwood	Sequoia sempervirens	2.5	2.5	Good
22	Redwood	Sequoia sempervirens	2.5	2.5	Good
23	Redwood	Sequoia sempervirens	2.5	2.5	Good
24	Redwood	Sequoia sempervirens	2.5	2.5	Good
25	Redwood	Sequoia sempervirens	2.5	2.5	Good
26	Redwood	Sequoia sempervirens	2.5	2.5	Good
27	Redwood	Sequoia sempervirens	2.5	2.5	Good
28	Redwood	Sequoia sempervirens	2.5	2.5	Good
29	Redwood	Sequoia sempervirens	2.5	2.5	Good
30	Redwood	Sequoia sempervirens	2.5	2.5	Good
31	Redwood	Sequoia sempervirens	2.5	2.5	Good
32	Redwood	Sequoia sempervirens	2.5	2.5	Good
33	Redwood	Sequoia sempervirens	2.5	2.5	Good
34	Redwood	Sequoia sempervirens	2.5	2.5	Good
35	Redwood	Sequoia sempervirens	2.5	2.5	Good
36	Redwood	Sequoia sempervirens	2.5	2.5	Good
37	Redwood	Sequoia sempervirens	2.5	2.5	Good
38	Redwood	Sequoia sempervirens	2.5	2.5	Good
39	Redwood	Sequoia sempervirens	2.5	2.5	Good
40	Redwood	Sequoia sempervirens	2.5	2.5	Good
41	Redwood	Sequoia sempervirens	2.5	2.5	Good
42	Redwood	Sequoia sempervirens	2.5	2.5	Good
43	Redwood	Sequoia sempervirens	2.5	2.5	Good
44	Redwood	Sequoia sempervirens	2.5	2.5	Good
45	Redwood	Sequoia sempervirens	2.5	2.5	Good
46	Redwood	Sequoia sempervirens	2.5	2.5	Good
47	Redwood	Sequoia sempervirens	2.5	2.5	Good
48	Redwood	Sequoia sempervirens	2.5	2.5	Good
49	Redwood	Sequoia sempervirens	2.5	2.5	Good
50	Redwood	Sequoia sempervirens	2.5	2.5	Good

Off-site Street Trees
Four additional trees are present on the site. These trees are numbered 11, 21, 31 and 41, and are discussed briefly below. These descriptions of the trees and notes are included at the end of the report.

Tree Survey on 5/24/2010
Dave M. Rosen

Tree 11. This tree is an oak (Quercus sp.) with a trunk diameter of 2.5". It is approximately 25 feet tall and has a trunk spread of about 20 feet. The tree is in fair condition with some dieback at the top and some smaller trees at the base. The tree is located in a 4' right-of-way with a 10' setback from the property line.

Tree 21. This tree is an oak (Quercus sp.) with a trunk diameter of 2.5". It is approximately 15 feet tall and has a trunk spread of about 10 feet. The tree is in fair condition with some dieback at the top and some smaller trees at the base. The tree is located in a 4' right-of-way with a 10' setback from the property line.

Tree 31. This tree is an oak (Quercus sp.) with a trunk diameter of 2.5". It is approximately 15 feet tall and has a trunk spread of about 10 feet. The tree is in fair condition with some dieback at the top and some smaller trees at the base. The tree is located in a 4' right-of-way with a 10' setback from the property line.

Tree 41. This tree is an oak (Quercus sp.) with a trunk diameter of 2.5". It is approximately 15 feet tall and has a trunk spread of about 10 feet. The tree is in fair condition with some dieback at the top and some smaller trees at the base. The tree is located in a 4' right-of-way with a 10' setback from the property line.

Off-site Trees
No Heritage Trees are present on the project site.

Other Trees
In addition to the trees discussed in this report, a large number of other trees are present on the site. These trees are not included in the report as they are not of sufficient size to be included in the report.

A Tree Inspection Form should be developed by a Certified Arborist to ensure that the trees are properly protected during construction activities.

Any trees not protected should be removed or protected as required by the City of San Jose. The City of San Jose requires the survey details when a tree is removed to allow the applicant to determine the species and to determine if a permit is required for the removal of the tree.

The City of San Jose has specific ordinances pertaining to replacement trees for trees to be removed. These guidelines are outlined in Table 2. The species and trunk diameter of trees to be replaced are also outlined in Table 2. The species and trunk diameter of trees to be replaced are also outlined in Table 2.

Table 2. City of San Jose Replacement Tree Guidelines. The trees to be replaced are outlined in Table 2. The species and trunk diameter of trees to be replaced are also outlined in Table 2.

Trunk Diameter of Tree to be Replaced	Number of Trees to be Replaced	Species	Trunk Diameter	Health
18 inches or greater	1	Redwood	18 inches	Good
12-18 inches	2	Redwood	12 inches	Good
6-12 inches	4	Redwood	6 inches	Good
4-6 inches	8	Redwood	4 inches	Good

Notes: Tree species must be native to California. The trees must be of sufficient size to be included in the report. The trees must be of sufficient size to be included in the report.

If you have any questions regarding this report, please contact Mr. Victor Adams at (415) 738-1111. Please email Dave Rosen at drosen@liveoak.com.

David Rosen
Certified Arborist (SCEC 21313)

Tree Survey on 5/24/2010
Dave M. Rosen

Off-site Street Trees
16440 Almaden Expressway, San Jose, CA
May 24, 2010



Tree 11. Redwood tree with trunk diameter of 2.5 inches.



Tree 21. Looking across with measured trunk diameter of 2.5 inches.



Trees 21, 31 & 41. Oak (Quercus sp.) looking north.



Trees 21, 31 & 41. Oak (Quercus sp.) looking north.



Off-site trees, including a Redwood tree and a large oak tree.

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San Jose, CA 95112

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GENERAL DEVELOPMENT PLAN
PDC 07-056
FLEETWOOD ALMADEN ESTATES
ARBORIST REPORT

SHEET
7.3
OF 10 SHEETS
PW PROJECT #
3

DATE BY CHECKED BY DATE