

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC07-078

Submitted: 10/3/2007

PROJECT DESCRIPTION: Planned Development Rezoning from R-1-5 Single-Family Residence Zoning District to A(PD) Planned Development Zoning District to allow up to 8 single-family residences on a 3.68 gross acre site.

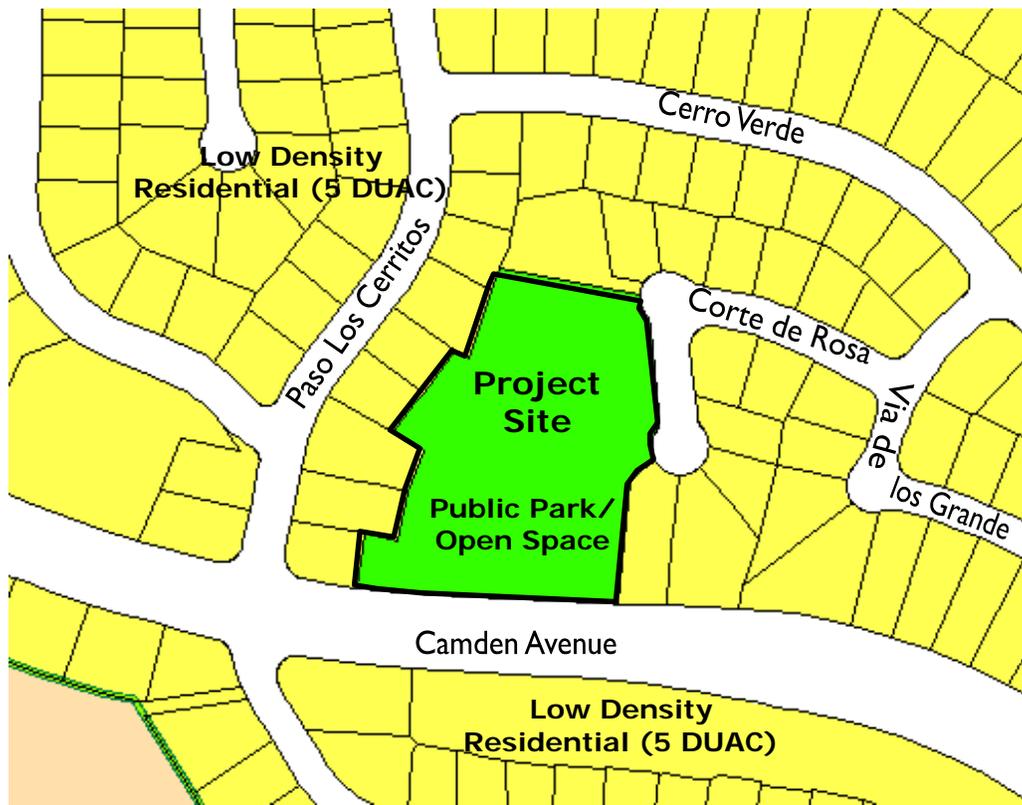
LOCATION: North side of Camden Avenue, approximately 300 feet east of Paso Los Cerritos.

Existing Zoning	R-1-5 Single Family
Proposed Zoning	A(PD) Planned Development
General Plan	Public Park & Open Space
Council District	10
Annexation Date	01/11/1965
SNI	N/A
Historic Resource	No
Redevelopment Area	No
Specific Plan	N/A

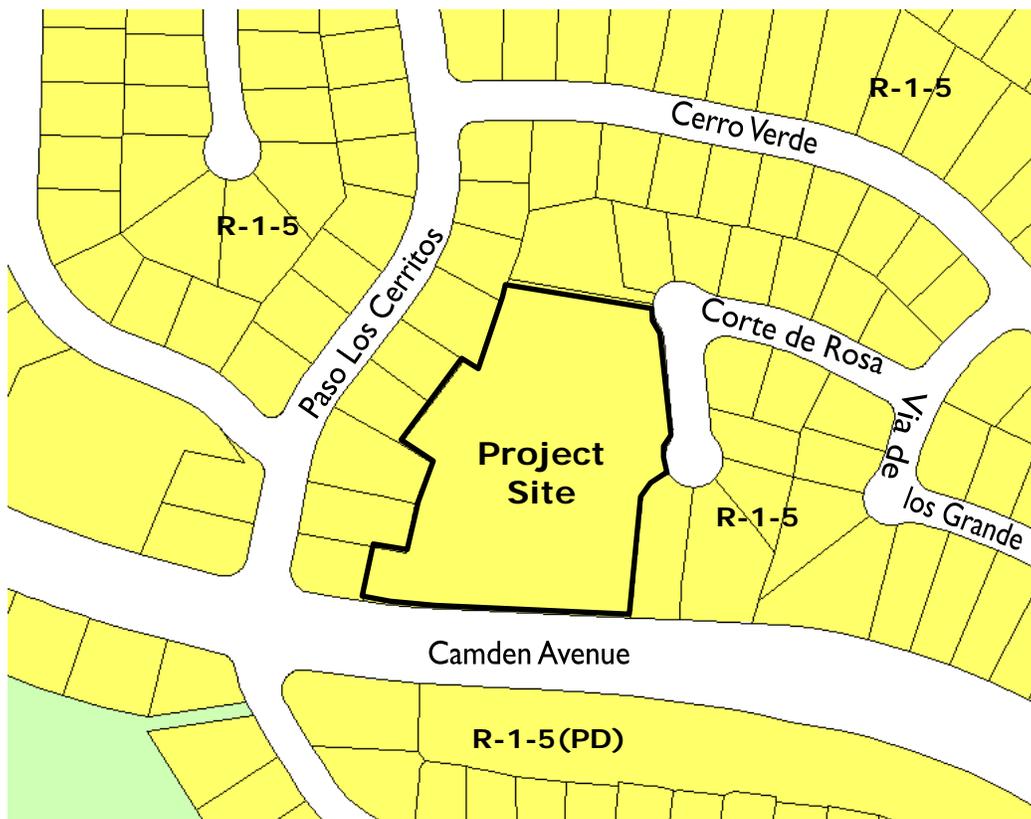
Aerial Map



GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends approval of the proposed Planned Development Rezoning for the following reasons:

1. The proposed project is consistent with the San José 2020 General Plan Housing Major Strategy.
2. The project is consistent with the “Surplus Public/Quasi-Public and Public Parks/Open Space Land” General Plan Discretionary Alternate Use Policy, as it proposes to supply infill housing on a site auctioned by the City as surplus parkland.
3. The proposed project, 8 single-family residences, is compatible with surrounding single-family residential land uses.
4. Although technically not applicable, the proposed project is generally in conformance with the intent and guiding principles of the Residential Design Guidelines.

BACKGROUND & DESCRIPTION

On October 3, 2007, the applicant, Corte de Rosa Homes, LLC, filed a Planned Development Rezoning to allow up to 8 single-family detached residential units on a 3.68 gross acres site, on the North side of Camden Avenue, approximately 300 feet east of Paso Los Cerritos (at the southwestern terminus of Corte de Rosa). A Planned Development Rezoning is required because the developer proposes infill housing on a site with a Public Parks/Open Space General Plan Land Use/Transportation Diagram designation.

A narrow land strip of approximately 0.1 acres at the northern portion of the existing parcel is not included as part of the Planned Development Rezoning proposal. The area is intended to be transferred to the adjacent property owner to the north through a subsequent lot line adjustment.

ANALYSIS

The proposed Planned Development Rezoning would facilitate development of an underutilized infill parcel into 8 single-family detached residential units. The primary issues associated with the proposed project are conformance with the San José 2020 General Plan, compliance with the California Environmental Quality Act (CEQA), and neighborhood compatibility conformance with regards to setbacks, open space, and parking. The applicant has worked diligently with staff to modify the site layout to address staff concerns throughout the process, and staff notes below how each of these criteria are addressed in the proposed project.

General Plan Conformance

The San José 2020 General Plan includes several Discretionary Alternate Use Policies to encourage development that meets the intent of the General Plan Major Strategies but may not specifically fall into the use category or density range proscribed by the specific land use designation. This site has a designation of Public Parks/Open Space on the adopted San José 2020 General Plan Land Use/Transportation Diagram, which is intended for active and passive public recreational uses. This parcel was originally reserved for parkland and was owned by the City until it was auctioned to the public as surplus land in 2007.

The proposed project is infill single-family housing in an existing single-family neighborhood, and therefore may be determined to be in conformance with the General Plan under the “Surplus Public/Quasi-Public and Public Parks/Open Space Land” General Plan Discretionary Alternate Use Policy. This Policy allows flexibility in the use and density of the existing General Plan designation on parcels that have been determined by the City to be surplus parcels not suitable for public or parkland uses, so long as the proposed project is designed in such a way as to be compatible with the surrounding neighborhood.

The surrounding neighborhood is designated Low Density Residential (5.0 DU/AC). The net density of the proposed project is 2.6 DU/AC. The proposed lot sizes as shown on the conceptual site plan range from 10,139 to 23,450 sq. ft. Staff believes the proposed project will be compatible with the existing neighborhood because of density, site design, and setbacks incorporated into the project. Neighborhood compatibility is further discussed in the neighborhood compatibility section of this report.

The project furthers the San José 2020 General Plan Housing Major Strategy in that it provides compatible housing on an infill parcel.

Environmental Review

Planning staff prepared an Initial Study for the proposed project. The Initial Study concluded that the proposed project could have significant effects on the environment, which would be reduced to a less than significant level by mitigation measures that the applicant has agreed to implement. A draft Mitigated Negative Declaration (MND) has been circulated for public comment.

The environmental issues addressed in the Initial Study and Draft MND include (1) biological resources, (2) geology and soils, and (3) noise. As described in the MND, the project is required to survey for nesting raptors before construction activity begins and follow appropriate mitigation should any raptors be encountered on the site. Also, the project will be required to comply with all conditions in the Geohazard Clearance issued by the Director of Public Works. The project will also be required to incorporate mitigation to ensure that the project meets the City's Noise policies, and that all residences would not be exposed to interior noise in excess of 45 DNL.

The applicant prepared a tree survey that indicates that 23 trees exist on the site, three of which are of Ordinance size. All trees removed for development must be mitigated at the ratios indicated in the adopted MND.

The public review period for the Draft MND began on January 7, 2009 and ended on January 26, 2009. The Initial Study and MND are available for review on the City website at: <http://www.sanJoseca.gov/planning/eir/MND.asp>. The Director adopted the MND on January 26, 2009. No public comments were received on the environmental process for this project.

Neighborhood Compatibility

The site is currently vacant and has deposited fill located in the middle of the site. The project is surrounded by single-family residential on the north, east, and west, and borders Camden Avenue to the south. Across Camden Avenue are more single-family residences. The significant issues for this project in terms of neighborhood compatibility include building setbacks and height, grading, sizing and location of accessory structures, and parking.

Setbacks/Height

As the property is surrounded by residences in the R-1-5 Single Family Residence zoning district, setbacks and building heights for the project are proposed to be identical to those of the R-1-5 zoning district. The project proposes a minimum front setback of 25 feet, minimum side setbacks of 5 feet on the interior side and 12.5 feet on corner sides, and a minimum rear setback of 20 feet.

Grading and Accessory Structures

As this project is in a geohazard zone and on a steep grade in some areas, there are significant grading challenges. The project responds to these challenges by proposing extensive use of retaining walls in lieu of other design options, such as stepped foundations or split pads. As shown on the conceptual grading

plan, a large proportion of the rear yard of each proposed single-family lot is retained with walls up to 9 feet in height. The final review and approval of retaining wall use, location and height and consideration of other design solutions will be at the discretion of the Director of Planning during the Planned Development (PD) Permit review. For example, staff will be looking more closely at the retaining wall and fence heights as they relate to the adjacent properties, particularly the adjacent property to the north. Changes to final grading solutions at the PD permit may require additional review and a new Geohazard Clearance by the Director of Public Works. Planning staff recommends that all other accessory buildings be regulated under Table 20-70 of the Zoning Ordinance, pending Geohazard Clearance by the Director of Public Works.

Parking

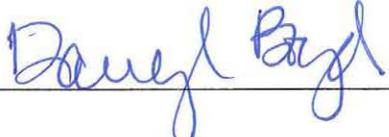
The City standard parking requirement for single-family residences is two covered parking spaces per unit. The Residential Design Guidelines go beyond this to say that new detached single-family residences with a driveway apron able to accommodate one parked vehicle should have one additional off-lot parking space within 150 feet of the residence. The project proposes three-car garages for each unit, and parking for at least two cars in the driveway aprons of each unit. In addition, street parking is available along the project frontage on Corte de Rosa and on one side of the new cul-de-sac extension. With the ability to accommodate at least five vehicles on each site, plus additional on-street spaces, the project exceeds the parking recommendations for single-family residential uses.

PUBLIC OUTREACH

Consistent with the City Council Public Outreach Policy, a sign was posted on-site to notify neighbors of the proposed development. On June 2, 2008, planning staff held a noticed community meeting for the project. Approximately 30 members of the community were in attendance. Community members were concerned with parking and increased traffic on a neighborhood level, as well as preservation of views and the location of the proposed cul-de-sac. Staff responded that the applicant's proposal exceeds the parking requirement of the Zoning Ordinance, and that traffic was not expected to increase dramatically as a result of eight additional units. In addition, staff noted that the fence requirements would be kept the same as the rest of the neighborhood, and that the cul-de-sac location was determined by grading requirements on the site. The applicant has worked with staff to incorporate staff and community comments.

Following this meeting, the neighbors requested that staff meet on-site to discuss the project. Staff met with approximately 13 neighbors on January 16, 2009, walked the site with the neighbors, and answered questions. Some community members still expressed concern about the cul-de-sac location, but by the end of the meeting, the community accepted the site plan and generally indicated support for the project.

The project was also published in local newspapers, the San Jose Mercury News and the Post Record. This staff report is also posted on the City's Website. Staff has been available to respond to questions from the public. A notice of this Planning Commission public hearing and subsequent City Council hearing was mailed to the owners and tenants of all properties located within 1,000 feet of the project site.

Project Manager: Licinia McMorrow **Approved by:**  **Date:** 2/4/09

Owner/Applicant: Gregory Howell 750 University Ave, Suite 150 Los Gatos, CA 95032	Attachments: Development Standards Mitigated Negative Declaration Final Public Works Memo Reduced Plan Set
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PDC07-078
Corte de Rosa Homes

General Development Standards

Permitted Use

Up to 8 single-family detached residential units.

Minimum Lot Size

8,000 square feet

Maximum Building Height/Stories

Building height is per R-1-5 single-family residential zoning district development standards in Zoning Ordinance Chapter 20.30, as amended.

Setbacks

Setbacks are per R-1-5 single-family residential zoning district development standards in Zoning Ordinance Chapter 20.30, as amended.

Accessory Structures

Retaining walls:

Location, setbacks, and height of retaining walls will be reviewed and permitted at the discretion of the Director of Planning with the Planned Development Permit, and revisions to the Geohazard Clearance requirements as approved by the Director of Public Works may be required.

All other accessory structures:

All other accessory buildings and structures shall be reviewed per Zoning Ordinance Table 20-70, in conjunction with Geohazard Clearance requirements as approved by the Director of Public Works.

Required Parking

For each unit, two covered spaces per unit, plus space for at least one vehicle in the driveway.

General Notes

Remnant Property along Northern Edge

A Lot Line Adjustment to transfer the 0.1 acre strip of property along the northerly edge of the site (as shown on the conceptual site plan) shall be recorded prior to approval of the first Tentative Map. Alternatively, said land shall be incorporated into lots 2 and 3 at the Planned Development Permit stage.

Water Pollution Control Plant Notice

Pursuant to part 2.75 of chapter 15.12 of the San José Municipal Code, no vested right to a building permit shall accrue as the result of the granting of any land development

approvals and applications when and if the city manager makes a determination that the cumulative sewage treatment demand on the San José – Santa Clara water plant will cause the total sewage treatment demand to meet or exceed the capacity of the San José – Santa Clara water pollution control plant to treat such sewage adequately and within the discharge standards imposed on the city by the state of California regional water control board for the San Francisco Bay region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approving authority.

Street Trees

The Public right-of-way shall be planted with street trees as directed by the City Arborist.

Private Infrastructure Standards

Private Infrastructure standards will meet or exceed Public Improvement standards.

Post-Construction Storm Water Treatment Controls

The city's national pollutant discharge system (NPDES) permit compliance requires this project to incorporate post-construction mitigation measures to control the discharge of pollutants into the storm drainage system to the maximum extent practical. Planned development permit plans for this project shall include design details of all post construction storm water treatment controls proposed for the project to the satisfaction of the director of planning.

Park Impact Fees & Parkland Dedication Ordinance

The applicant shall comply with the requirements of the Park Impact Ordinances, pursuant to Ordinance 24172 (Chapter 14.25 of Title 14 of the San José, Municipal Code) and the project shall comply with the Parkland Dedication Ordinance.

Environmental Mitigation and Standard Measures

The following environmental mitigation and standard measures, or their equivalent, shall be implemented by the project to the satisfaction of the Director of Planning, Building, and Code Enforcement:

AESTHETICS

Standard Measures: The proposed project would implement the following standard measures:

- Design of the project shall conform to the City's Residential Design Guidelines.
- Lighting on the site shall conform to the City's Outdoor Lighting Policy (4-3).
- The project shall be landscaped in irrigated in conformance to the City's *Landscape and Irrigation Guidelines*.

AIR QUALITY

Mitigation Measures: The following mitigation measures will be implemented by proposed project during all phases of construction to prevent visible dust emissions from leaving the site:

- Water all active construction areas at least twice daily and more often during windy periods to prevent visible dust from leaving the site; active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers or dust palliatives.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two (2) feet of freeboard.
- Pave, apply water at least three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
- Sweep daily (or more often if necessary) to prevent visible dust from leaving the site (preferably with water sweepers) all paved access roads, parking areas, and staging areas at construction sites; water sweepers shall vacuum up excess water to avoid runoff-related impacts to water quality.
- Sweep streets daily, or more often if necessary (preferably with water sweepers) if visible soil material is carried onto adjacent public streets.
- Install wheel washers for all existing trucks, or wash off the tires or tracks of all trucks and equipment leaving the site.
- Install wind breaks, or plant trees/ vegetative wind breaks at windward side(s) of construction areas.
- Suspend excavation and grading activities when winds instantaneous gusts exceed 25 mph.
- Limit the area subject to excavation grading, and other construction activity at any one time.

BIOLOGICAL RESOURCES

Mitigation Measures: The following mitigation measures will be implemented by the project to reduce impacts to nesting raptors and to a less than significant level:

Raptors

If possible, construction should be scheduled between October and December (inclusive) to avoid the raptor nesting season. If this is not possible, pre-construction surveys for nesting raptors shall be completed by a qualified ornithologist to identify active raptor nests that may be disturbed during project implementation. Between January and April (inclusive) pre-construction surveys shall be completed no more than 14 days prior to the initiation of construction activities or tree relocation or removal. Between May and August (inclusive), pre-construction surveys shall be completed no more than thirty (30) days prior to the initiation of these activities. The surveying ornithologist shall inspect all trees in and immediately adjacent to the construction area for raptor nests. If an active raptor nest is found in or close enough to the construction area to be disturbed by project construction, the ornithologist shall, in consultation with the State of California, Department of Fish & Game (CDFG), designate a construction-free buffer zone (typically 250 feet) around the nest. The applicant shall submit a report to the City's Environmental Principal Planner indicating the results of the survey and any designated buffer zones to the satisfaction of the Director of Planning prior to the issuance of any grading or building permit.

Standard Measures: The following standard measures will be implemented by the proposed project to reduce impacts to trees:

- All trees that are to be removed shall be replaced at the ratios specified in Table 4.4-1:

TABLE 4.4-1 TREE REPLACEMENT RATIOS				
Diameter of Tree to be Removed	Type of Tree to be Removed			Minimum Size of Each Replacement Tree
	Native	Non-Native	Orchard	
18 inches or greater	5:1	4:1	3:1	24-inch box
12 - 18 inches	3:1	2:1	none	24-inch box
less than 12 inches	1:1	1:1	none	15-gallon container

- In the event the project site does not have sufficient area to accommodate the required tree mitigation, one or more of the following measures shall be implemented by the project, to the satisfaction of the Director of Planning, Building, and Code Enforcement:

The size of a 15-gallon replacement tree can be increased to 24-inch box and count as two replacement trees.

- An alternative site(s) will be identified for additional tree planting. Alternative sites may include local parks or schools or installation of trees on adjacent properties for screening purposes to the satisfaction of the Director of the Department of Planning, Building, and Code Enforcement. Contact Todd Capurso, PRNS Landscape Maintenance Manager, at 277-2733 or todd.capurso@sanjoseca.gov for specific park locations in need of trees.
- A donation of \$300 per mitigation tree to Our City Forest for in-lieu off-site tree planting in the community. These funds will be used for tree planting and maintenance of planted trees for approximately three years. Contact Rhonda Berry, Our City Forest, at (408) 998-7337 x106 to make a donation. A donation receipt for off-site tree planting shall be provided to the Planning Project Manager prior to starting construction.

CULTURAL RESOURCES

STANDARD MEASURES:

Should evidence of prehistoric cultural resources be discovered during construction, work within 50 feet of the find shall be stopped to allow adequate time for evaluation and mitigation by a qualified professional archaeologist. The material shall be evaluated and if significant, a mitigation program including collection and analysis of the materials at a recognized storage facility shall be developed and implemented under the direction of the City's Environmental Principal Planner.

As required by County ordinance, this project has incorporated the following guidelines. - Pursuant to Section 7050.5 of the Health and Safety Code, and Section 5097.94 of the

Public Resources Code of the State of California in the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the land owner shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.

GEOLOGY AND SOILS

Mitigation Measures:

- The project shall meet all conditions specified in the City's Geologic Hazard Clearance, dated November 25, 2008.
- All recommendations of the project's geotechnical and geologic reports and geotechnical consultants must be followed. All geotechnical constraints and methods of geologic hazard mitigation identified in the reports must be implemented.
- Any changes to the geologic, geotechnical, or civil engineering professionals, reports, or plans of record, or the project design, concept, or use, must be reviewed and approved by the City's Engineering Geologist. Significant changes may require a new Geologic Hazard Clearance of may result in revocation of the Clearance.
- Prior to issuance of a grading permit, a grading and drainage plan for the project must be reviewed and approved by the City's Engineering Geologist.
- All earthwork, foundation installation, drainage improvements, geologic hazard mitigation measures, and related facilities must be inspected by the project Engineering Geologist and Geotechnical Engineer during each phase of site grading and construction, and documented by submission to the City of final geotechnical and geologic reports.
- If any unanticipated hazardous geologic or subsurface conditions are encountered during grading, or if there are any modifications in the grading or geologic hazard mitigation measures necessary, the City's Engineering Geologist must be immediately notified. In such an event, a supplemental geologic/geotechnical investigation must be performed and submitted to the City for review and approval prior to progressing further with the project.

Standard Measures: The following standard measure will be implemented by the project to reduce seismic-related impacts:

- The proposed project shall be designed and constructed in conformance with the Uniform Building Code guidelines for Seismic Zone 4 to avoid or minimize potential damage from seismic shaking.

- The soil engineering report prepared for the project site shall be subject to the review and approval of the City Geologist, prior to issuance of a grading permit or Public Works Clearance for the site. The investigation should be consistent with the guidelines published by the State of California (CDMG Special Publication 117) and the Southern California Earthquake Center ("SCEC" report). Project construction shall follow the recommendations of the soil engineering report.

HYDROLOGY & WATER QUALITY

Standard Measures: Implementation of the following measures, consistent with NPDES Permit and City Policy requirements, will reduce potential construction impacts to surface water quality to less than significant levels. The ongoing maintenance of the post-construction water quality control measures (e.g., cleaning vegetative swales) will be the responsibility of the project.

Construction Measures

- Prior to the commencement of any clearing, grading or excavation, the project shall comply with the State Water Resources Control Board's National Pollutant Discharge Elimination System (NPDES) General Construction Activities Permit, to the satisfaction of the Director of Public Works, as follows:
 - The applicant shall develop, implement and maintain a Storm Water Pollution Prevention Plan (SWPPP) to control the discharge of stormwater pollutants including sediments associated with construction activities.
 - The applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB).
- The project shall incorporate Best Management Practices (BMPs) into the project to control the discharge of stormwater pollutants including sediments associated with construction activities. Examples of BMPs are contained in the publication Blueprint for a Clean Bay. Prior to the issuance of a grading permit, the applicant may be required to submit an Erosion Control Plan to the City Project Engineer, Department of Public Works, 200 E. Santa Clara Street, San Jose, California 95113. The Erosion Control Plan may include BMPs as specified in ABAG's Manual of Standards Erosion & Sediment Control Measures for reducing impacts on the City's storm drainage system from construction activities. For additional information about the Erosion Control Plan, the NPDES Permit requirements or the documents mentioned above, please call the Department of Public Works at (408) 535-8300.
- The project applicant shall comply with the City of San Jose Grading Ordinance, including erosion and dust control during site preparation and with the City of San Jose Zoning Ordinance requirements for keeping adjacent streets free of dirt and mud during construction. The following specific BMPs will be implemented to prevent stormwater pollution and minimize potential sedimentation during construction:
 - Restriction of grading to the dry season (April 15 through October 15) or meet City requirements for grading during the rainy season.
 - Utilize on-site sediment control BMPs to retain sediment on the project site.
 - Utilize stabilized construction entrances and/or wash racks.
 - Implement damp street sweeping.

- Provide temporary cover of disturbed surfaces to help control erosion during construction.
- Provide permanent cover to stabilize the disturbed surfaces after construction has been completed.

Post-Construction Measures

- Prior to the issuance of a Planned Development Permit, the applicant must provide details of specific Best Management Practices (BMPs), including, but not limited to, bioswales, disconnected downspouts, landscaping to reduce impervious surface area, and inlets stenciled “No Dumping – Flows to Bay” to the satisfaction of the Director of Planning, Building and Code Enforcement.
- The project shall comply with Provision C.3 of NPDES permit Number CAS0299718, which provides enhanced performance standards for the management of stormwater of new development.
- The project shall comply with applicable provisions of the following City Policies – 1) Post-Construction Urban Runoff Management Policy (6-29) which establishes guidelines and minimum BMPs for all projects and 2) Post-Construction Hydromodification Management Policy (8-14) which provides for numerically sized (or hydraulically sized) TCMs.

NOISE

Standard Measure: The following standard measures will be implemented by the proposed project to reduce short-term construction noise impacts to a less than significant level:

- Post-construction mechanical equipment shall conform to the City’s General Plan limitation of 55 DNL at residential property lines.
- Construction will be limited to the hours of 7:00 AM to 7:00 PM Monday through Friday for any on-site or off-site work within 500 feet of any residential unit. Weekend construction hours, including staging of vehicles, equipment and construction materials, shall be limited to Saturdays between the hours of 9:00 AM to 5:00 PM. Permitted work activities on Saturdays shall be conducted exclusively within the interior of enclosed building structures provided that such activities are inaudible to existing adjacent residential uses. Exterior generators, water pumps, compressors and idling trucks are not permitted. The developer shall be responsible for educating all contractors and subcontractors of said construction restrictions. Rules and regulation pertaining to all construction activities and limitations, along with the name and telephone number of a developer appointed disturbance coordinator, shall be posted in a prominent location at the entrance to the job site.
- The contractor shall use “new technology” power construction equipment with state-of-the-art noise shielding and muffling devices. All internal combustion engines used on the project site shall be equipped with adequate mufflers and shall be in good mechanical condition to minimize noise created by faulty or poor maintained engines or other components.

- Locate stationary noise generating equipment as far as possible from sensitive receptors. Staging areas shall be located a minimum of 200 feet from noise sensitive receptors, such as residential uses.
- Radios shall be controlled as to not be audible outside of the project site.
- The contractor shall prepare a detailed construction plan identifying the schedule for major noise-generating construction activities. The construction plan shall identify a procedure for coordination with the adjacent noise sensitive uses so that construction activities can be scheduled to minimize noise disturbance.
- Designate a "disturbance coordinator" responsible for responding to any local complaints about construction noise and post the telephone number for the disturbance coordinator at a conspicuous location on the construction site and include it in the notice sent to neighbors regarding the construction schedule. The disturbance coordinator will determine the cause of the noise complaint (e.g., starting too early, bad muffler, etc.) and will require that reasonable measures warranted to correct the problem be implemented.

Mitigation and Avoidance Measures: The following measures are included in the proposed project to avoid noise impacts:

- All new multi-family housing is subject to the requirements of Title 24, Part 2, of the State Building Code. Since noise levels exceed 60 DNL on the site, an analysis detailing the treatments incorporated into the building plans shall be prepared and submitted to the City Building Department prior to issuance of a building permit. The report shall demonstrate that the design would achieve an interior DNL of 45 or less in all habitable residential areas.

PUBLIC SERVICES

Standard Measure: The following standard measures will be implemented by the proposed project to reduce public service impacts to a less than significant level

- In accordance with California Government Code Section 65996, the developer shall pay a school impact fee, to the School District, to offset the increased demands on school facilities caused by the proposed project.
- The project shall conform to the City's Park Impact Ordinance (PIO) and Parkland Dedication Ordinance (PDO) (Municipal Code Chapter 19.38).

**DRAFT
MITIGATED NEGATIVE DECLARATION**

The Director of Planning, Building and Code Enforcement has reviewed the proposed project described below to determine whether it could have a significant effect on the environment as a result of project completion. "Significant effect on the environment" means a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by the project including land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance.

NAME OF PROJECT: PDC07-078 - Corte de Rosa

PROJECT FILE NUMBER: PDC07-078

PROJECT DESCRIPTION: Planned Development Rezoning from R-1-5 Single-Family Residence Zoning District to A(PD) Planned Development Zoning District to allow up to 8 single-family residences on a 3.68 gross acre site and subsequent permits

PROJECT LOCATION & ASSESSORS PARCEL NO.: north side of Camden Avenue, approximately 300 feet east of Paso Los Cerritos (APN: 575-16-053)

COUNCIL DISTRICT: 10

APPLICANT CONTACT INFORMATION: CORTE DE ROSA HOMES, LLC, Attn: Doug Masnaghetti, 750 UNIVERSITY AVE, SUITE 150 LOS GATOS CA 95032, SAN JOSE CA, (408)691-9550

FINDING

The Director of Planning, Building & Code Enforcement finds the project described above will not have a significant effect on the environment in that the attached initial study identifies one or more potentially significant effects on the environment for which the project applicant, before public release of this draft Mitigated Negative Declaration, has made or agrees to make project revisions that clearly mitigate the effects to a less than significant level.

MITIGATION MEASURES INCLUDED IN THE PROJECT TO REDUCE POTENTIALLY SIGNIFICANT EFFECTS TO A LESS THAN SIGNIFICANT LEVEL

- I. AESTHETICS** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- II. AGRICULTURE RESOURCES** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- III. AIR QUALITY** – The project will not have a significant impact on this resource, therefore no mitigation is required.
- IV. BIOLOGICAL RESOURCES** – The following mitigation measures shall be incorporated into the project to reduce impacts to biological resources to a less than significant level:

raptors. If possible, construction should be scheduled between October and December (inclusive) to avoid the raptor nesting season. If this is not possible, pre-construction surveys for nesting raptors shall be conducted by a qualified ornithologist to identify active raptor nests that may be disturbed during project implementation. Between January and April (inclusive) pre-construction surveys shall be conducted no more than 14 days prior to the initiation of construction activities or tree relocation or removal. Between May and August (inclusive), pre-construction surveys no more than thirty (30) days prior to the initiation of these activities. The surveying ornithologist shall inspect all trees in and immediately adjacent to the construction area for raptor nests. If an active raptor nest is found in or close enough to the construction area to be disturbed by these activities, the ornithologist, all, in consultation with the State of California, Department of Fish & Game (CDFG), designate a construction-adjacent buffer zone (typically 250 feet) around the nest. The applicant shall submit a report to the City's Environmental Principal Planner indicating the results of the survey and any designated buffer zones to the satisfaction of the Director of Planning prior to the issuance of any grading or building permit.

CULTURAL RESOURCES – The project will not have a significant impact on this resource, therefore no mitigation is required.

GEOLOGY AND SOILS – The following mitigation measures shall be incorporated into the project to reduce impacts from geology and soils to a less than significant level:

The project shall meet all conditions specified in the City's Geologic Hazard Clearance, dated November 25, 2008. All recommendations of the project's geotechnical and geologic reports and geotechnical consultants must be followed. All geotechnical constraints and methods of geologic hazard mitigation identified in the reports must be implemented. Any changes to the geologic, geotechnical, or civil engineering professionals, reports, or plans of record, or the project design, concept, or use, must be reviewed and approved by the City's Engineering Geologist. Significant changes may require a new Geologic Hazard Clearance and may result in revocation of the Clearance.

Prior to issuance of a grading permit, a grading and drainage plan for the project must be reviewed and approved by the City's Engineering Geologist.

All earthwork, foundation installation, drainage improvements, geologic hazard mitigation measures, and related facilities must be inspected by the project Engineering Geologist and Geotechnical Engineer during each phase of site grading and construction, and documented by submission to the City of final geotechnical and geologic reports.

If any unanticipated hazardous geologic or subsurface conditions are encountered during grading, or if there are any modifications in the grading or geologic hazard mitigation measures necessary, the City's Engineering Geologist must be immediately notified. In such an event, a supplemental geologic/geotechnical investigation must be performed and submitted to the City for review and approval prior to progressing further with the project.

I. HAZARDS AND HAZARDOUS MATERIALS – The project will not have a significant impact on this resource, therefore no mitigation is required.

II. HYDROLOGY AND WATER QUALITY – The project will not have a significant impact on this resource, therefore no mitigation is required.

LAND USE AND PLANNING – The project will not have a significant impact on this resource, therefore no mitigation is required.

MINERAL RESOURCES – The project will not have a significant impact on this resource, therefore no mitigation is required.

NOISE – The following mitigation measures shall be incorporated into the project to reduce impacts from noise to a less than significant level:

The project shall incorporate building sound insulation to meet the requirements of the California Building Code to reduce interior noise levels to 45 dBA or lower, using standard construction techniques. Prior to issuance of occupancy permits, building plans for all units will be checked by a qualified acoustical consultant to ensure that noise

levels are attenuated sufficiently. All units shall have forced air ventilation systems to allow the windows to remain closed so that an interior noise level of 45 dBA can be achieved.

XII. POPULATION AND HOUSING – The project will not have a significant impact on this resource, therefore no mitigation is required.

XIII. PUBLIC SERVICES – The project will not have a significant impact on this resource, therefore no mitigation is required.

XIV. RECREATION – The project will not have a significant impact on this resource, therefore no mitigation is required.

XV. TRANSPORTATION / TRAFFIC – The project will not have a significant impact on this resource; therefore no mitigation is required.

XVI. UTILITIES AND SERVICE SYSTEMS – The project will not have a significant impact on this resource, therefore no mitigation is required.

XVII. MANDATORY FINDINGS OF SIGNIFICANCE – The project will not substantially reduce the habitat of a fish or wildlife species, be cumulatively considerable, or have a substantial adverse effect on human beings, therefore no additional mitigation is required.

PUBLIC REVIEW PERIOD

Before 5:00 p.m. on **January 27, 2009**, any person may:

Review the Draft Mitigated Negative Declaration (MND) as an informational document only; or

Submit written comments regarding the information, analysis, and mitigation measures in the Draft MND. Before the MND is adopted, Planning staff will prepare written responses to any comments, and revise the Draft MND, if necessary, to reflect any concerns raised during the public review period. All written comments will be included as part of the Final MND.

Joseph Horwedel, Director
Planning, Building and Code Enforcement

Circulated on: 1/6/09
Deputy



Adopted on: 1/27/09
Deputy



Memorandum

TO: Licinia McMorrow
Planning and Building

FROM: Ebrahim Sohrabi
Public Works

**SUBJECT: FINAL RESPONSE TO
DEVELOPMENT APPLICATION**

DATE: 01/30/09

PLANNING NO.: PDC07-078
DESCRIPTION: Planned Development Rezoning from R-1-5 Single-Family Residence Zoning District to A(PD) Planned Development Zoning District to allow up to 8 single-family residences on a 3.68 gross acre site
LOCATION: north side of Camden Avenue, approximately 300 feet east of Paso Los Cerritos (APN: 575-16-053)
P.W. NUMBER: 3-18299

Public Works has received all required items for the subject project on 01/28/09 and submits the following comments and requirements.

Project Conditions:

1. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.
2. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
3. **Transportation:** This project is exempt from the Level of Service (LOS) Policy, and no further LOS analysis is required because the project proposes 15 units of Single Family detached or less.
4. **Grading/Geology:**
 - a) A Geologic Hazard Clearance Certificate was issued on 11/25/08. All grading work shall conform to the conditions and requirements on the certificate.
 - b) A grading permit is required prior to the issuance of a Public Works Clearance.

- c) If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.
 - d) Because this project involves a land disturbance of one or more acres, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.
5. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) that include site design measures, source controls, and stormwater treatment controls to minimize stormwater pollutant discharges. Post-construction treatment control measures, shown on the project's Stormwater Control Plan, shall meet the numeric sizing design criteria specified in City Policy 6-29:
- a) The project's preliminary Stormwater Control Plan and numeric sizing calculations have been reviewed. At PD stage, submit the final Stormwater Control Plan and numeric sizing calculations to show the following:
 - i) Revise drainage summary table to include all pervious and impervious surfaces, the amount of all surfaces should equal to total site area.
 - ii) Submit numeric sizing calculations for the proposed bio-retention planters.
 - iii) Provide details and sections of the proposed treatment control measures.
 - iv) Provide details and sections of the proposed pervious pavement.
 - b) Final inspection and maintenance information on the post-construction treatment control measures must be submitted prior to issuance of a Public Works Clearance.
 - c) A post construction Final Report is required by the Director of Public Works from a Civil Engineer retained by the owner to observe the installation of the BMPs and stating the all post construction storm water pollution control BMPs have been installed as indicated in the approved plans and all significant changes have been reviewed and approved in advance by the Department of Public Works.
6. **Flood: Zone D** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
7. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
8. **Parks:** In accordance with the Parkland Dedication and Park Impact Ordinances (SJMC 19.38/14.25), the park impact fee will be due for any additional living units that are built.

9. **Dedication:** The current Assessor's Parcel Map shows project's property line to the center of Corte De Rosa. Dedication shall be required from center line of street to back of existing sidewalk along the entire frontage along Corte De Rosa.

10. **Street Improvements:**
 - a) Extend storm main along project frontage at Corte De Rosa to connect to the existing storm manhole. Connection to the existing catch basin is not allowed.
 - b) Eliminate the existing thru-curb drain at Corte De Rosa.
 - c) Construct City standard 26' driveway for the private street at Corte De Rosa.
 - d) Remove and replace broken or uplifted curb, gutter, and sidewalk along project frontage.
 - e) Remove weeds and provide ground cover in existing park strip.
 - f) Applicant shall be responsible to remove and replace curb, gutter, and sidewalk damaged during construction of the proposed project.
 - g) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.

11. **Complexity Surcharge:** Based on established criteria, the public improvements associated with this project have been rated medium complexity. An additional surcharge of 25% will be added to the Engineering & Inspection (E&I) fee collected at the street improvement stage.

12. **Electrical:** Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.

13. **Street Trees:**
 - a) The locations of the street trees will be determined at the street improvement stage. Street trees shown on this permit are conceptual only.
 - b) Contact the City Arborist at (408) 277-2756 for the designated street tree.
 - c) Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Street trees shall be installed in park strip. Obtain a DOT street tree planting permit for any proposed street tree plantings.

14. **Private Streets:** Per Common Interest Development (CID) Ordinance, all common infrastructure improvements shall be designed and constructed in accordance with the current CID standards

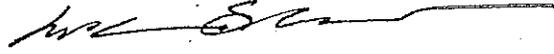
Planning and Building

01/30/09

Subject: PDC07-078

Page 4 of 4

Please contact the Project Engineer, Vivian Tom, at (408) 535-6819 if you have any questions.



Ebrahim Sohrabi
Senior Civil Engineer
Development Services Division



ES:vt

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CORTE DE ROSA LLC DEVELOPMENT

8 SINGLE FAMILY HOME PLANNED DEVELOPMENT
 CORTE DE ROSA, SAN JOSE, CALIF.
 PLANNED DEVELOPMENT REZONING
 FILE PD PDC07-078

CONSTRUCTION DATA:
 BUILDING TYPE: VB
 NUMBER OF STORIES: 2
 OCCUPANCY GROUP: R3, U1
 FIRE SPRINKLER: YES
 2007 CBC

PROJECT DIRECTORY
 DEVELOPER:
 CORTE DE ROSA LLC
 750 UNIVERSITY AVE
 LOS GATOS, CA 95032
 DESIGNER
 RICHARD HARO
 DRAFTING AND PLANNING INC.
 843 S. MCGLINCY LANE
 CAMPBELL, CA 95008
 408-371-7209
 CIVIL ENGINEER
 BOWMAN AND WILLIAMS
 1011 CEDAR ST
 SANTA CRUZ, CA. 95060
 (831) 426-4560
 SOILS ENGINEER
 REDWOOD GEOTECHNICAL
 ENGINEERING INC.
 7450 RAILROAD ST
 GILROY, CA 95020
 GEOLOGIST
 STEVEN F. CONNELLY, CEG
 309 JACKSON STREET
 SAN JOSE, CA 95112
 (408) 288-7625

TABLE OF CONTENTS

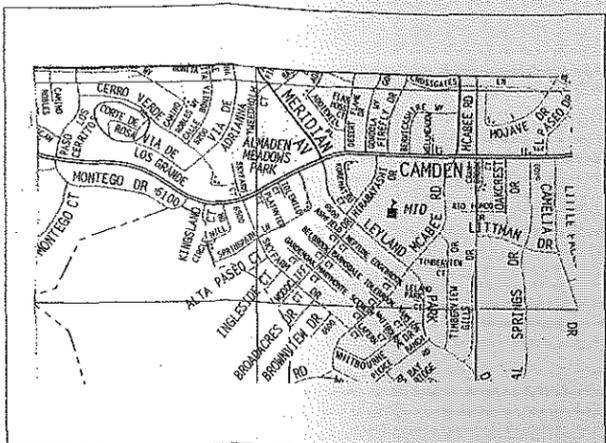
1. TITLE SHEET
2. LAND USE PLAN
3. CONCEPTUAL SITE PLAN
- 4.0 CONCEPTUAL GRADING PLAN
 - 4.1 SITE CROSS SECTIONS
 - 4.2 CONCEPTUAL DRAINAGE PLAN
- 5a.1 CONCEPTUAL FLOOR PLAN-1
- 5a.2 CONCEPTUAL ELEVATIONS PLAN-1
- 5a.3 CONCEPTUAL ELEVATIONS PLAN-1
- 5b.1 CONCEPTUAL FLOOR PLAN-2
- 5b.2 CONCEPTUAL ELEVATIONS PLAN-2
- 5b.3 CONCEPTUAL ELEVATIONS PLAN-2
- 5c.1 CONCEPTUAL FLOOR PLAN-3
- 5c.2 CONCEPTUAL ELEVATIONS PLAN-3
- 5c.3 CONCEPTUAL ELEVATIONS PLAN-3
- 5d.1 CONCEPTUAL FLOOR PLAN-4
- 5d.2 CONCEPTUAL ELEVATIONS PLAN-4
- 5d.3 CONCEPTUAL ELEVATIONS PLAN-4
- 5e.1 CONCEPTUAL FLOOR PLAN-5
- 5e.2 CONCEPTUAL ELEVATIONS PLAN-5
- 5e.3 CONCEPTUAL ELEVATIONS PLAN-5
- 5f.1 CONCEPTUAL FLOOR PLAN-6
- 5f.2 CONCEPTUAL ELEVATIONS PLAN-6
- 5f.3 CONCEPTUAL ELEVATIONS PLAN-6
- 5g.1 CONCEPTUAL FLOOR PLAN-7
- 5g.2 CONCEPTUAL ELEVATIONS PLAN-7
- 5g.3 CONCEPTUAL ELEVATIONS PLAN-7
- 5h.1 CONCEPTUAL FLOOR PLAN-8
- 5h.2 CONCEPTUAL ELEVATIONS PLAN-8
- 5h.3 CONCEPTUAL ELEVATIONS PLAN-8
- 6.0 CONCEPTUAL LANDSCAPE PLAN

SITE INFORMATION

1. APN 575-16-053
2. SITE AREA = 160,300.8 SF (3.68 AC GROSS)
 145,610.4 SF (3.343 AC NET)
3. EXISTING USE : CITY OF SAN JOSE PARK LAND
4. PROPOSED USE : 8 SINGLE FAMILY HOMES
 AND 1 PRIVATE ROAD
5. PARKING SPACES REQUIRED : 16
 PARKING PROVIDED
 OFF SITE PARKING : 8
 COVERED PARKING (ON SITE) : 24
 TOTAL PROVIDED : 32
6. TOTAL FOOTPRINT OF LOTS = 90.8%

LOT-1	10,139 SF
LOT-2	10,955.40 SF
LOT-3	15,487 SF
LOT-4	15,804 SF
LOT-5	21,312 SF
LOT-6	23,450 SF
LOT-7	17,914 SF
LOT-8	19,513 SF
LOT-9	11,036 SF
- TOTAL AREA 145,610.4 SF (3.343 AC NET) 90.8%

7. DENSITY = 2.6 UNITS / ACRE (NET)



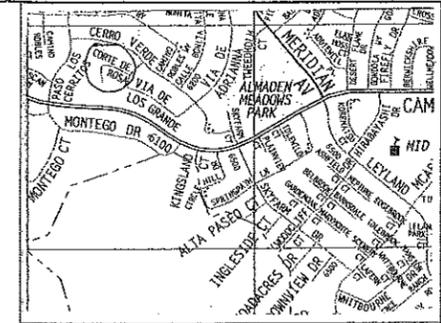
LOCATION MAP

.46 ACRES	12.4%	APROXIMATE BUILDING COVERAGE
.49 ACRES	13.3%	NEW PRIVATE ROAD
.18 ACRES	4.9%	PROPOSED DRIVENWAYS
2.45 ACRES	66.1%	LANDSCAPED AREAS
.1 ACRES	2.7%	LOT LINE ADJUSTMENT
3.68 ACRES	100%	GROSS LOT AREA

THIS LOT LINE ADJUSTMENT WILL ADD TO THE NEIGHBORS PROPERTY AND REMOVE IT FROM THIS PARCEL

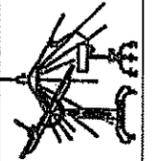
COMMENCEMENT DATE	COMPLETION DATE
APRIL 15 2009	OCTOBER 15 2010
GENERAL DEVELOPMENT PLAN - EXHIBIT C TITLE SHEET	

9-21-07
 RH
 1/8" = 1'-0"
 CORTE DE ROSA
 1
 GENERAL DEVELOPMENT PLAN
 EXHIBIT C TITLE SHEET
RICHARD HARO
 DRAFTING and PLANNING, INC.
 843 S. MCGLINCY LANE, CAMPBELL, CA 95008
 (408) 371-7209
 Richard Haro
 CORTE DE ROSA LLC
 750 UNIVERSITY AVE
 LOS GATOS, CA 95032



LOCATION MAP
SCALE : NTS

LAND USE PLAN

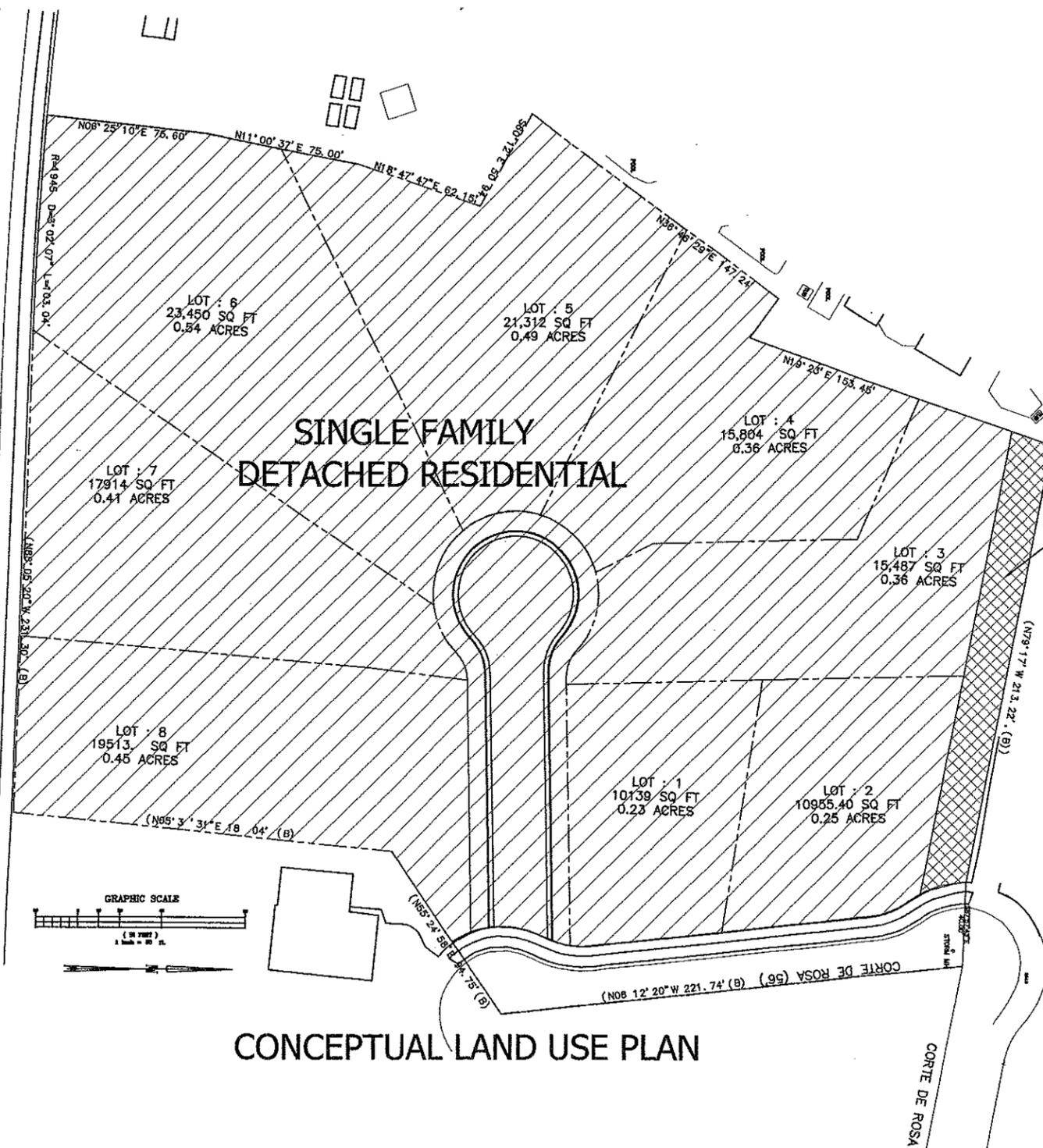


RICHARD HARO
DRAFTING and PLANNING, INC.
243 S. McGLANCEY LANE, CAMPBELL, CA 95008
(408) 371-7200
Richard Haro

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA 95032

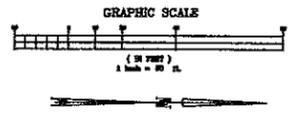
9-21-07
RH
1" = 30'
CORTE DE ROSA

2



**SINGLE FAMILY
DETACHED RESIDENTIAL**

THIS LOT LINE ADJUSTMENT WILL ADD TO THE NEIGHBORS PROPERTY AND REMOVE IT FROM THIS PARCEL



CONCEPTUAL LAND USE PLAN

REVISED 9-9-08

LAND USE TABLE

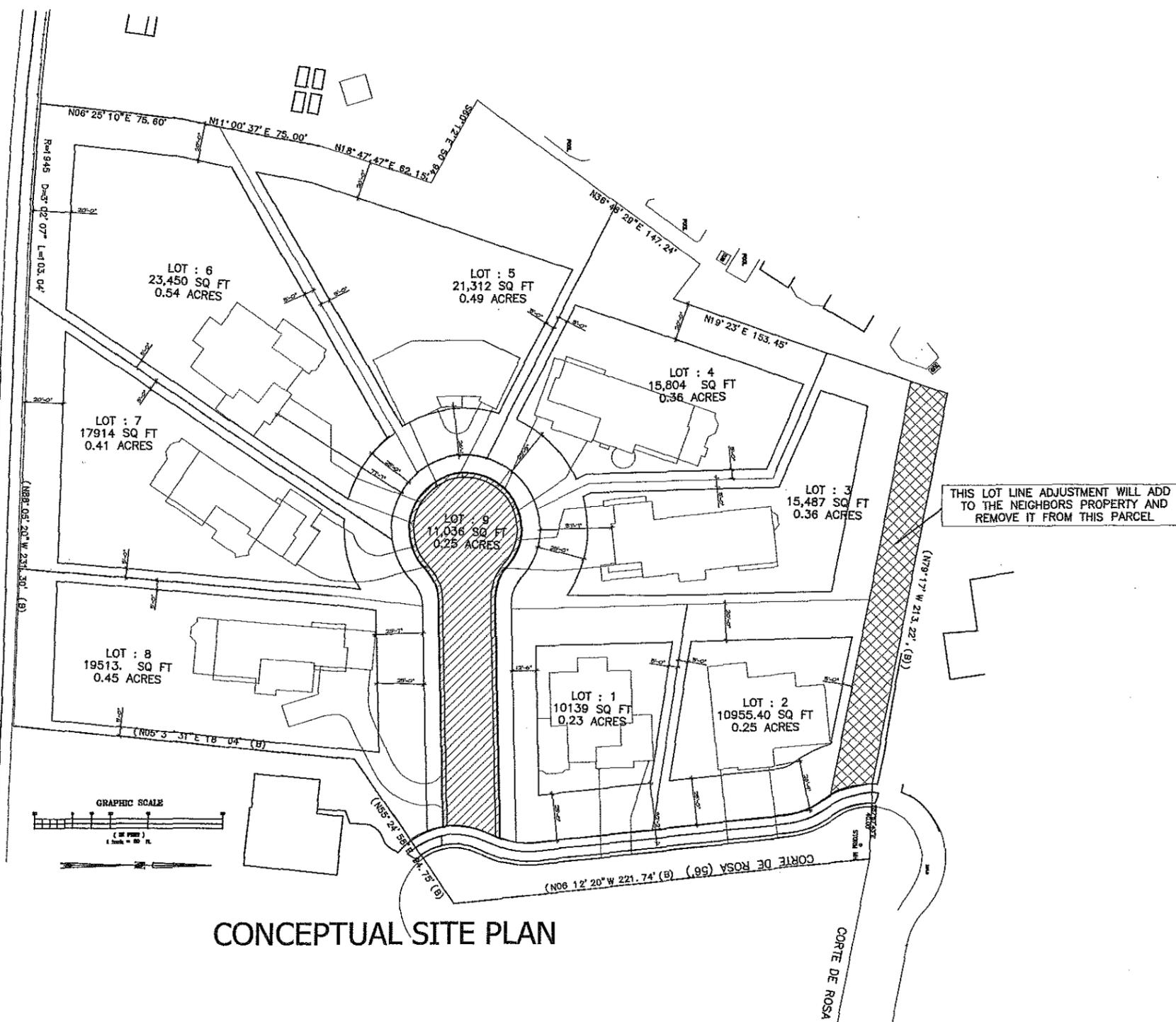
	3.58 ACRES	97.3%	SINGLE FAMILY DETACHED RESIDENTIAL AREA
	.1 ACRES	2.7%	LOT LINE ADJUSTMENT
	3.68 ACRES	100%	GROSS LOT AREA

GENERAL DEVELOPMENT PLAN
- EXHIBIT C
LAND USE PLAN
CORTE DE ROSA

CAMPDEN AVENUE
(WIDTH VARIES)

CORTE DE ROSA

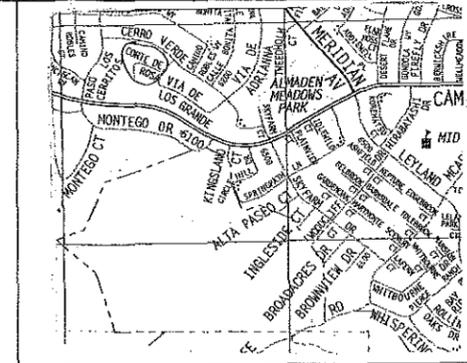
CAMDEN AVENUE
(WIDTH VARIES)



THIS LOT LINE ADJUSTMENT WILL ADD TO THE NEIGHBORS PROPERTY AND REMOVE IT FROM THIS PARCEL

CONCEPTUAL SITE PLAN

REVISED 1-30-09



LOCATION MAP
SCALE: NTS

SITE INFORMATION

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2. SITE AREA = 160,300.8 SF (3.68 AC GROSS)
145,610.4 SF (3.343 AC NET)
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TOTAL PROVIDED: 32
6. TOTAL FOOTPRINT OF LOTS = 90.8%
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LOT-2 10,955.40 SF
LOT-3 15,487 SF
LOT-4 15,804 SF
LOT-5 21,312 SF
LOT-6 23,450 SF
LOT-7 17,914 SF
LOT-8 19,513 SF
LOT-9 11,036 SF
TOTAL AREA 145,610.4 SF (3.343 AC NET) 90.8%
7. DENSITY = 2.6 UNITS / ACRE (NET)

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DRAFTING and PLANNING, INC.
243 S. McGINLEY LANE, CAMPBELL, CA 95008
(408) 371-7209

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA 95032

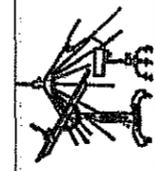
COMMENCEMENT DATE	COMPLETION DATE
APRIL 15 2009	OCTOBER 15 2010

NOTES
1. NEW HOUSES SHALL BE TWO - STORY SINGLE FAMILY DETACHED HOMES.

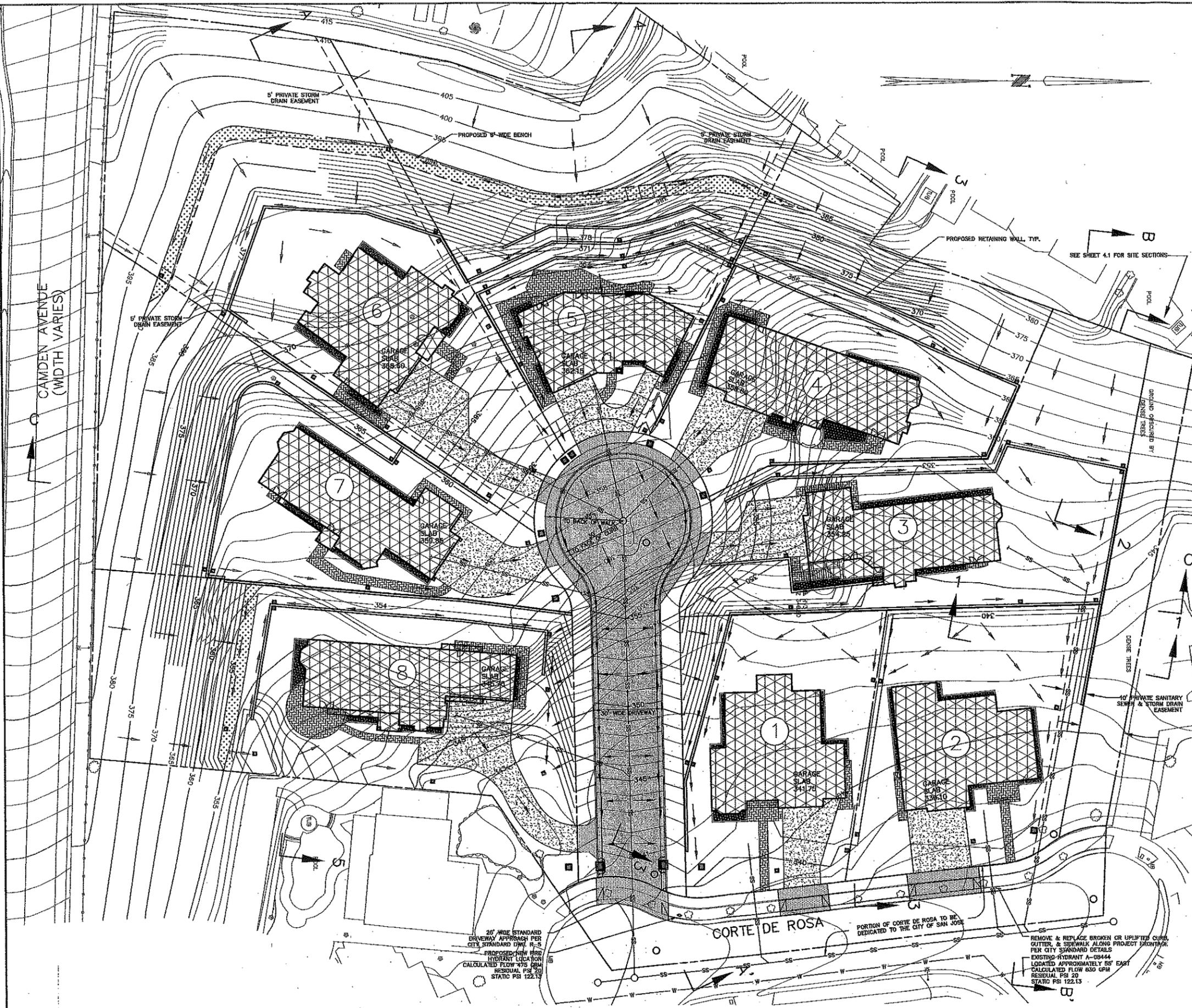
GENERAL DEVELOPMENT PLANS
- EXHIBIT C
CONCEPTUAL SITE PLAN
CORTE DE ROSA LLC. DEVELOPMENT

DATE	9-21-07
BY	RH
SCALE	1" = 30'-0"
TITLE	CORTE DE ROSA
SHEET NO.	3

CONCEPTUAL SITE PLAN



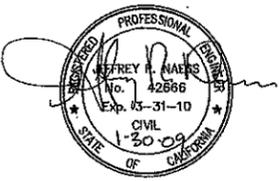
DATE	1-30-09
BY	
SCALE	
TITLE	



LEGEND

[Pattern]	PROPOSED IMPERVIOUS SURFACE
[Pattern]	PROPOSED PERVIOUS CONCRETE DRIVEWAY
[Pattern]	PROPOSED PERVIOUS PAVEMENT WALKWAY
[Pattern]	PROPOSED EARTH BENCH
[Pattern]	PROPOSED BIORETENTION PLANTER
[Line]	PROPOSED RETAINING WALL
[Line]	PROPOSED STORMDRAIN
[Line]	PROPOSED SANITARY SEWER
[Line]	PROPERTY LINE
[Line]	PROPOSED SUBDRAIN
[Line]	PROPOSED CONTOUR
[Line]	EXISTING CONTOUR
[Symbol]	PROPOSED CURB INLET
[Symbol]	PROPOSED STORMDRAIN JUNCTION BOX
[Symbol]	PROPOSED SITE DRAIN INLET
[Symbol]	PROPOSED STORMDRAIN CLEANOUT
[Arrow]	SLOPE ARROW

- FIRE NOTES:**
1. CUL DE SAC TO HAVE A ROLLED CURB PAINTED RED FOR 'NO PARKING FIRE LANE'.
 2. ROLLED CURB AND SIDEWALK AROUND CUL DE SAC SHALL BE CAPABLE OF SUPPORTING A FIRE TRUCK WEIGHING 75 KIPS.
 3. EXISTING HYDRANT A-08444 IS CAPABLE OF DELIVERING _____ GPM @ 20 PSI RESIDUAL PRESSURE.



DISCLAIMER
 THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, ALTERED, OR USED WITHOUT THE CONSENT OF THE ENGINEER. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ENGINEER. UNAUTHORIZED USE IS PROHIBITED.

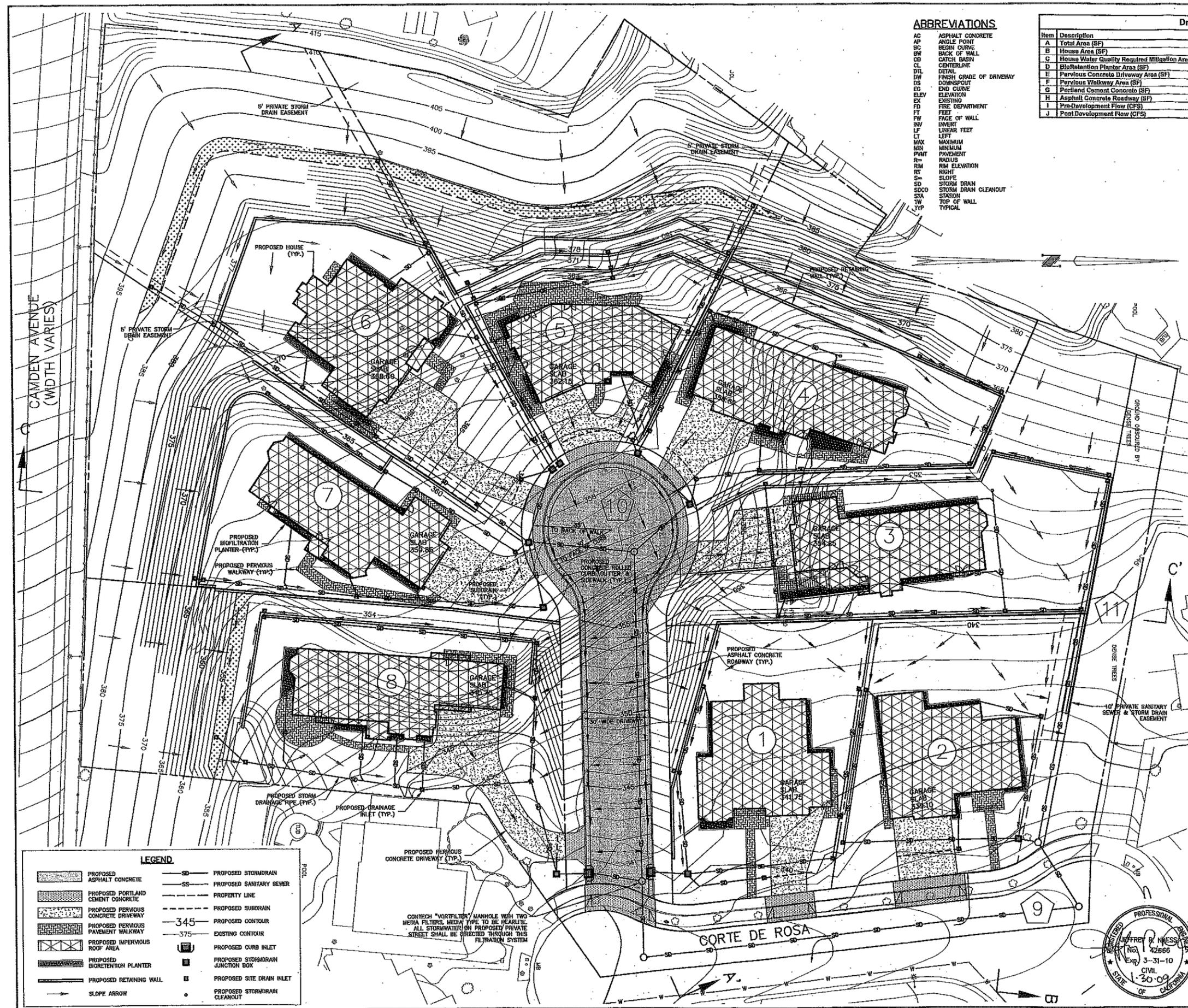
APN 575-18-053

BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 428-3580		CORTE DE ROSA CONCEPTUAL GRADING & DRAINAGE PLAN HOWELL AND McNEIL DEVELOPMENT LLC CORTE DE ROSA SAN JOSE, CALIFORNIA		
REGISTERED CIVIL ENGINEER NO. 42666	SCALE 1"=20'	DRAWN CRO	JOB NO. 23981	SHEET
DATE 12 December 2008	CHECKED JRN	INDEX SAN JOSE		4.0
DESIGN CRO	DWG NAME 23981LOTS	FILE NO. 23981		OF

25' WIDE STANDARD DRIVEWAY APPROACH PER CITY STANDARD DWG 18-5
 PROPOSED NEW FIRE HYDRANT LOCATION CALCULATED FLOW 475 GPM RESIDUAL PSI 20 STATIC PSI 122.13

REMOVE & REPLACE BROKEN OR UPLIFTED CURB, GUTTER, & SIDEWALK ALONG PROJECT FRONTAGE PER CITY STANDARD DETAILS EXISTING HYDRANT A-08444 LOCATED APPROXIMATELY 55' EAST CALCULATED FLOW 830 GPM RESIDUAL PSI 20 STATIC PSI 122.13

PORTION OF CORTE DE ROSA TO BE DEDICATED TO THE CITY OF SAN JOSE



ABBREVIATIONS

AC	ASPHALT CONCRETE
AP	ANGLE POINT
BC	BEHIND CURB
BW	BACK OF WALL
CB	CATCH BASIN
CL	CENTERLINE
DL	DOWNSPOUT
DS	DOWNSPOUT
EA	ELEVATION
EX	EXISTING
FD	FIRE DEPARTMENT
FT	FEET
FW	FACE OF WALL
HW	HWY
LF	LINEAR FEET
LT	LEFT
MAX	MAXIMUM
MIN	MINIMUM
PAINT	PAVEMENT
R	RADIUS
RM	RIGHT
RT	RIGHT
S	SLOPE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
STA	STATION
TW	TOP OF WALL
TYP	TYPICAL

Drainage & Best Management Practice Calculation Summary

Item	Description	Lot 1	Lot 2	Lot 3	Lot 4	Lot 5	Lot 6	Lot 7	Lot 8	Area 9	Area 10	Area 11
A	Total Area (SF)	10139	10955	15467	15804	21312	23450	17845	19513	7252	11035	4384
B	House Area (SF)	2777	2722	2964	3155	2391	2511	2928	2899	-	-	-
C	House Water Quality Required Mitigation Area (SF)	111	109	119	128	94	116	117	116	-	-	-
D	BioRetention Planter Area (SF)	115	129	268	234	126	187	200	152	-	-	-
E	Pervious Concrete Driveway Area (SF)	709	709	590	838	740	1488	1058	1688	-	-	-
F	Pervious Walkway Area (SF)	284	302	192	422	913	281	416	684	-	-	-
G	Portland Cement Concrete (SF)	-	-	-	-	-	-	-	-	2039	2374	-
H	Asphalt Concrete Roadway (SF)	-	-	-	-	-	-	-	-	4345	5987	-
I	Pre-Development Flow (CFS)	0.09	0.09	0.13	0.13	0.19	0.20	0.15	0.16	0.16	0.09	0.04
J	Post-Development Flow (CFS)	0.14	0.14	0.19	0.19	0.23	0.25	0.21	0.22	0.17	0.23	0.04

Pervious Concrete Driveways (Self Mitigating):
It is the intent of the Drainage Design that Driveways on Individual Lots will be Made of Pervious Concrete with a sub-drainage system and will be self mitigating for water quality purposes.

Pervious Walkways (Self Mitigating):
It is the intent of the Drainage Design that Walkways on Individual Lots will be Made of Pervious Materials (to be determined) and will be self mitigating for water quality purposes.

BioRetention Planters (Mitigate House Roof Areas):
BioRetention Planters Mitigate Water quality for New Residences' Roof Water (required water quality mitigation area is 4% of proposed impervious area per C3 Stormwater Requirements). Note that Item C in the Table Above is 4% of The House Area (Required Treatment Area), and Compare to Item D (Actual Treatment Area Supplied by BioRetention Planters) in all cases, Item D is Larger than Item C, therefore sufficient Treatment Area has been provided to satisfy C3 water quality treatment requirements.

Stormwater Treatment Unit (Mitigates New Private Roadway): The Proposed Private Roadway and associated Sidewalks, etc. will be collected by curb inlets on either side of the east end of the Proposed Private Roadway. The curb inlets will be directed into a Contact Stormwater Treatment Unit, which will treat the new impervious area for Water Quality. Calculations are shown below:
 Q (Water Quality) = $0.11 \text{ AC} \times 0.9$ (for Proposed Impervious Area)
 $I = 0.2 \text{ In/yr}$ (California Water Quality Flow Rate)
 $A = 8361 \text{ SF} = 0.19 \text{ AC}$ (Proposed Impervious Area in Lot 10 - New Private Roadway)
 $Q \text{ Water Quality} = (0.9) \times (0.2 \text{ In/yr}) \times (0.19 \text{ AC}) = 0.034 \text{ CFS}$
 $Q \text{ Contact} = 0.033 \text{ CFS}$ (Amount of Stormwater Treated by One Cartridge)
 Cartridges Needed = $Q \text{ Water Quality} / Q \text{ Contact} = 1.05 \text{ Cartridges}$
 Conclusion: Use Contact Stormwater Treatment Unit with 2 Filter Sticks, filters to use Peatlite Media.

Additional Impervious Area:
Overall, Additional Impervious Area is contributed by Proposed Roofs on Lots 1-8, and the proposed Private Roadway on Lot 10.

Roof Areas Total = 22717 SF	74% Treated By BioRetention Planters (Vegetative)
Private Roadway = 8361 SF	26% Treated By Stormwater Treatment Unit (Mechanical)
Total Impervious = 31998 SF	100%

BEST MANAGEMENT PRACTICES MAINTENANCE PROCEDURES

Pervious Concrete Driveways:
Regular maintenance of pervious pavement is critical to ensure functionality, and long term viability. As such, it is suggested the owners of the site enter into a maintenance agreement to ensure proper functionality of the system. Below is suggested maintenance items, and how often these are to occur.

Activity	Schedule
Sealing or repaving with non-porous materials	Not allowed at any time
Inspect surface for debris and clogging of voids	Monthly
Inspect surface for deterioration or spalling	Annually
Vacuum Sweep the Pavement Surface	Just prior to October 15th and if surface inspection warrants
Pressure Wash the Pavement Surface	If vacuum sweeping does not clear voids

In addition to the above maintenance, the drain pipes and inlets will need to be inspected and maintained as necessary. The leach lines feeding the gravel beds should be inspected after the first rainy season. Thereafter, inspections should be made every three to five years. Should more than 25% of the pipe area be filled with sediment, the pipes shall be flushed out to the junction boxes and the junction boxes cleaned. All drain inlets should be inspected annually and cleaned when more than three inches of sediment has been trapped in the outlet.

Pervious Pavement Walkways:
Maintenance of pervious walkways should be the same as pervious concrete driveways (see above), except disregard the last paragraph involving drain pipe maintenance.

BioFiltration Planters:
Establishment of vegetation is critical, especially during the initial planting phase. Care should be taken that proper irrigation is met during the initial phase. As the plants mature, they should be irrigated as needed. Regular inspections should be made and non healthy or dead plants should be removed and replaced. Overflow bypass lines shall be inspected and cleaned as necessary.

Vorfiter Stormwater Treatment Unit:
Setting up a regular inspection and maintenance schedule is necessary to ensure proper functioning of the unit. Inspections should take place at least once yearly before the winter season to determine if maintenance is warranted. When inspection/maintenance occurs, information should be logged on the appropriate report sheet (included in the manufacturer's inspection & maintenance procedures) a copy of which should be provided to the homeowner's representative. Inspection and maintenance services are offered through the manufacturer, or alternatively can be performed by others using the manufacturer's recommended inspection & maintenance procedures. Inspection and maintenance procedures for the Vorfiter unit can be found on the manufacturer's website at <http://www.contech-cpl.com/stormwater/resources/maintenance/54>. In the event that contaminated or hazardous materials are spilled into the storm drain, the local hazard control agency and the manufacturer should be contacted before the unit is maintained.

LANDSCAPING NOTE:
LANDSCAPING IS SHOWN ON THE LANDSCAPE PLAN, PREPARED BY GREGORY LEWIS, LANDSCAPE ARCHITECT.

DISCLAIMER:
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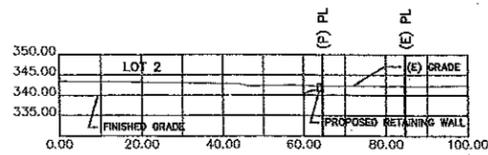
APN 575-16-055

BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 428-3580		CORTE DE ROSA CONCEPTUAL STORMWATER CONTROL PLAN HOWELL AND McNEIL DEVELOPMENT LLC CORTE DE ROSA SAN JOSE, CALIFORNIA	
REGISTERED CIVIL ENGINEER NO. 42666	REGISTERED CIVIL ENGINEER NO. 23981	JOB NO. 23981	SHEET 4.1
SCALE 1"=20'	DRAWN CRC	INDEX SAN JOSE	OF
DATE 12 December 2008	CHECKED JRN	FILE NO. 23981	
DESIGN CRC	DWG NAME 23981LOTS		

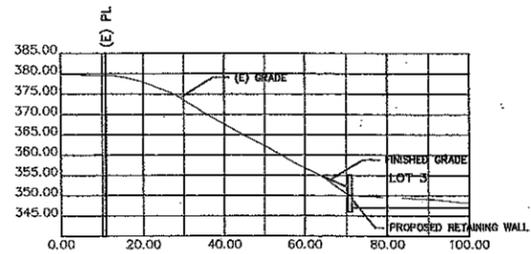
LEGEND

[Pattern]	PROPOSED ASPHALT CONCRETE	[Line]	PROPOSED STORM DRAIN
[Pattern]	PROPOSED PORTLAND CEMENT CONCRETE	[Line]	PROPOSED SANITARY SEWER
[Pattern]	PROPOSED PERVIOUS CONCRETE DRIVEWAY	[Line]	PROPERTY LINE
[Pattern]	PROPOSED PAVEMENT WALKWAY	[Line]	PROPOSED SUBDRAIN
[Pattern]	PROPOSED IMPERVIOUS ROOF AREA	[Line]	PROPOSED CONTOUR
[Pattern]	PROPOSED BIORETENTION PLANTER	[Line]	EXISTING CONTOUR
[Symbol]	PROPOSED BIORETENTION PLANTER	[Symbol]	PROPOSED CURB INLET
[Symbol]	PROPOSED RETAINING WALL	[Symbol]	PROPOSED STORM DRAIN JUNCTION BOX
[Symbol]	SLOPE ARROW	[Symbol]	PROPOSED SITE DRAIN INLET
		[Symbol]	PROPOSED STORM DRAIN CLEANOUT

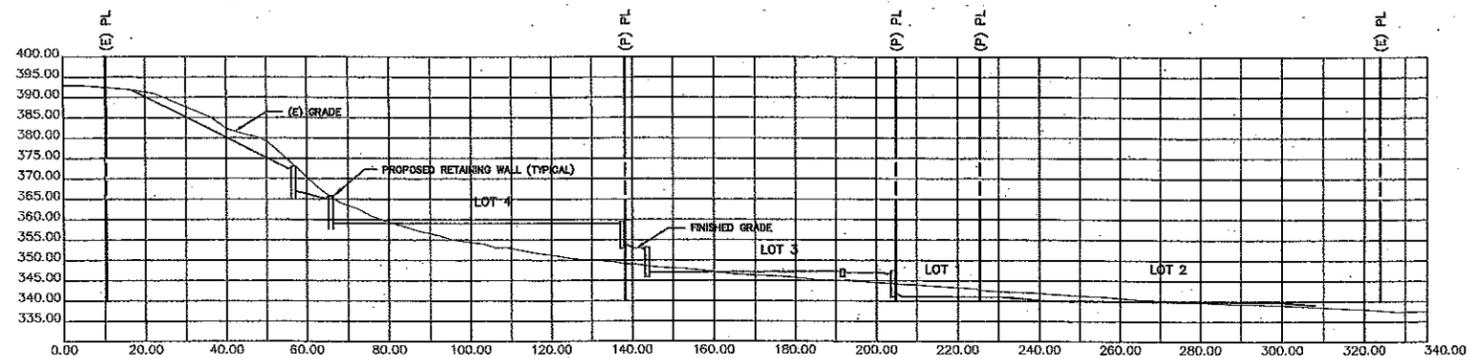




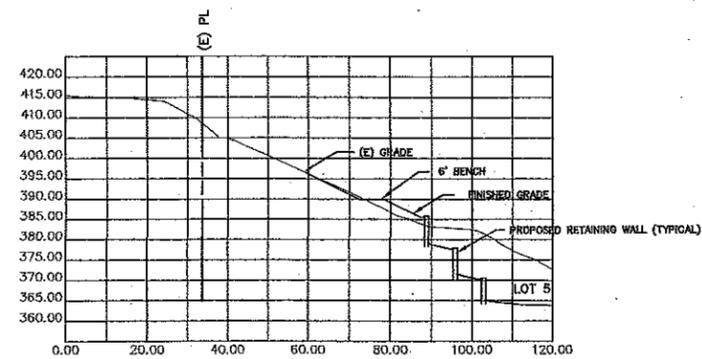
SECTION 1-1
SCALE 1"=20' H & V



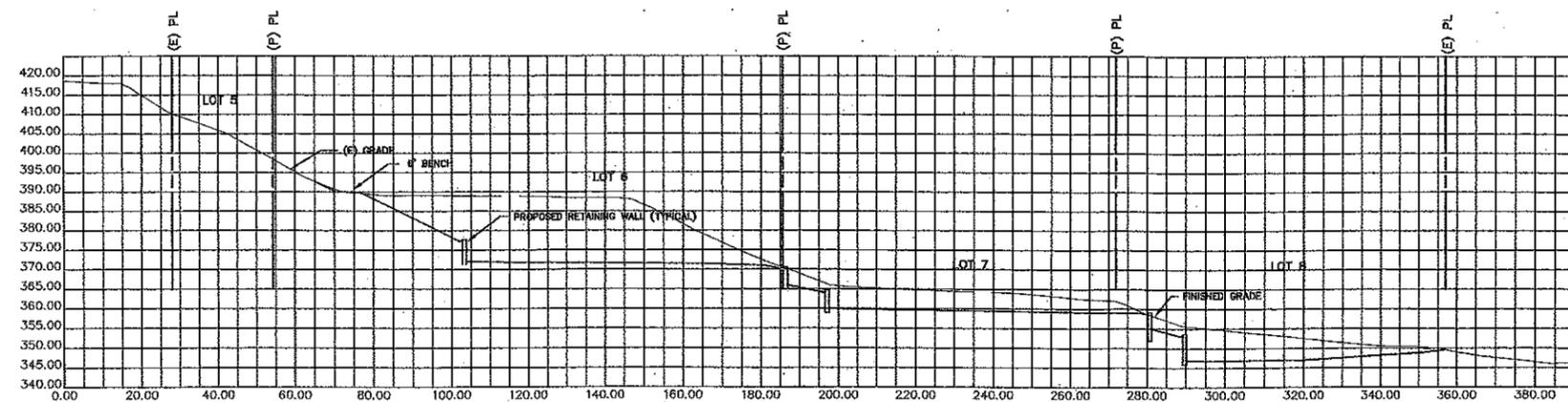
SECTION 2-2
SCALE 1"=20' H & V



SECTION 3-3
SCALE 1"=20' H & V

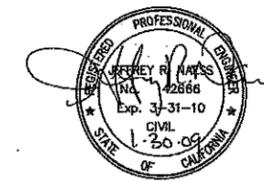


SECTION 4-4
SCALE 1"=20' H & V

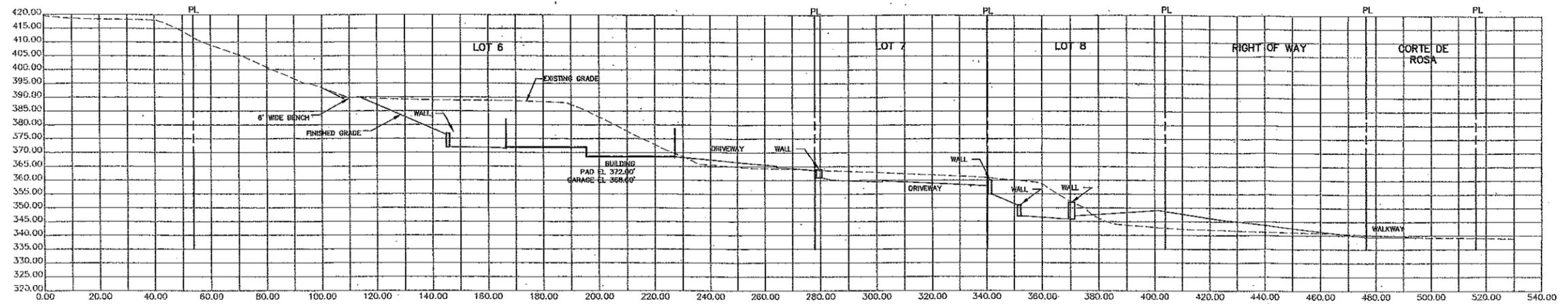


SECTION 5-5
SCALE 1"=20' H & V

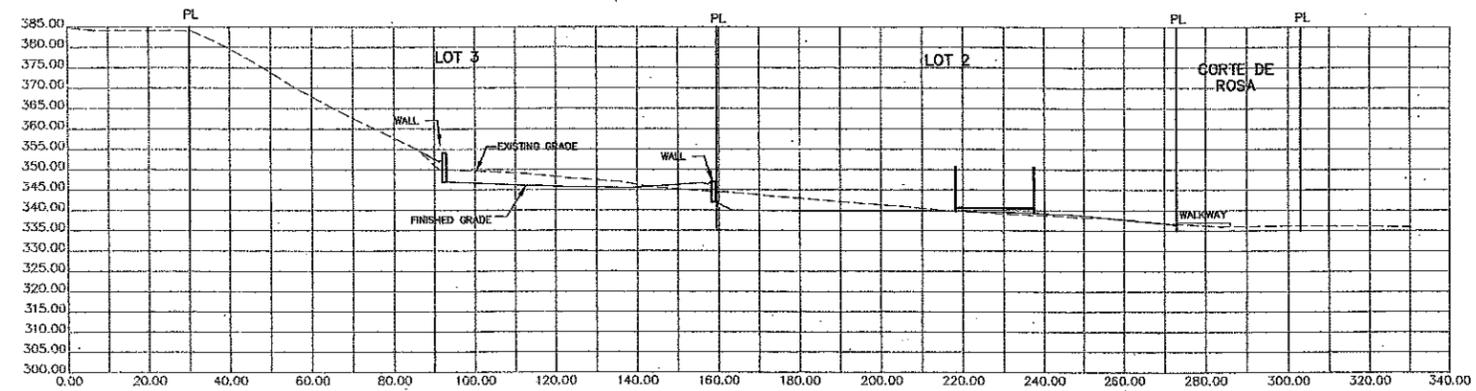
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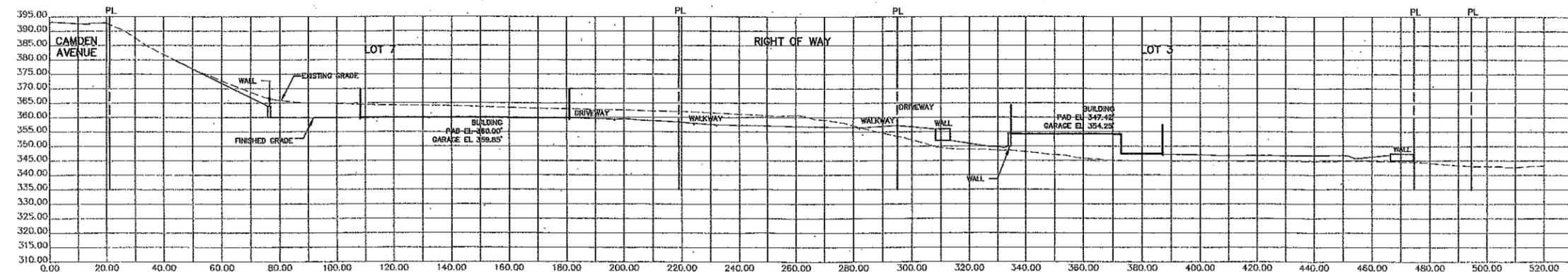
APN 575-16-053			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 428-3580		CORTE DE ROSA SECTIONS HOWELL AND McNEIL DEVELOPMENT LLC CORTE DE ROSA SAN JOSE, CALIFORNIA	
REGISTERED CIVIL ENGINEER NO. 42866	JOB NO. 23981	SHEET	
SCALE 1"=20'	DRAWN CRC	INDEX SAN JOSE	4.2
DATE 17 November 2008	CHECKED JRN	FILE NO. 23981	OF
DESIGN CRC	DWG NAME 23981LOTS		



SECTION A-A
SCALE 1"=20' H,V

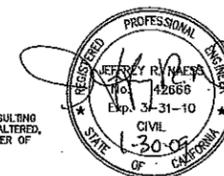


SECTION B-B
SCALE 1"=20' H,V



SECTION C-C
SCALE 1"=20' H,V

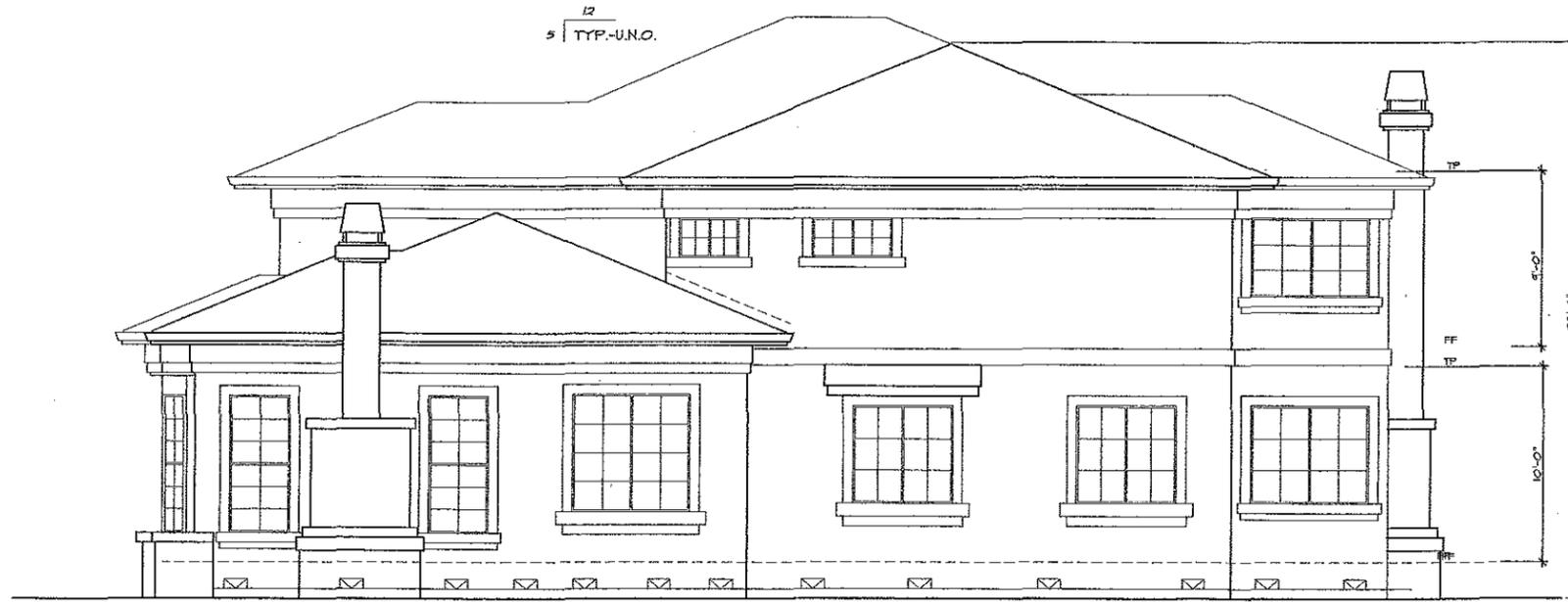
DISCLAIMER
THE DATA SET FORTH ON THIS SHEET IS THE PROPERTY OF BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS. IT IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, ALTERED, OR USED WITHOUT THE CONSENT OF THE ENGINEER. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE ENGINEER. UNAUTHORIZED USE IS PROHIBITED.



APN 575-16-053		REVISIONS	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (831) 428-3580		CORTE DE ROSA SECTIONS HOWELL AND McNEIL DEVELOPMENT LLC CORTE DE ROSA SAN JOSE, CALIFORNIA	
REGISTERED CIVIL ENGINEER NO. 42666			
SCALE 1"=20'	DRAWN CRC	JOB NO. 23981	SHEET
DATE 17 November 2008	CHECKED JRN	INDEX SAN JOSE	4.3
DESIGN CRC	DWG NAME 23981LOTS	FILE NO. 23981	OF



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

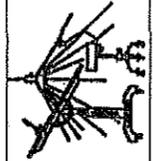


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN-1

	△
	△
	△
	△
	△

EXTERIOR ELEVATIONS
FLOOR PLAN -1



RICHARD HARO
DRAFTING and PLANNING, INC.
342 S. McGINLEY LANE, CAMPBELL, CA, 95008
(408) 371-7399
Richard Haro

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

DATE	1-20-08
DESIGNER	RH
SCALE	1/4" = 1'-0"
PROJECT	CORTE DE ROSA

5a.2



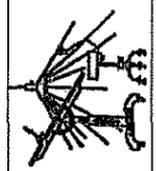
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN-1

EXTERIOR ELEVATIONS
FLOOR PLAN - 1



RICHARD HARO
DRAFTING and PLANNING, INC.
343 S. MCGILVERAY LANE, CAMPBELL, CA, 95008
(408) 371-7208
Richard Haro

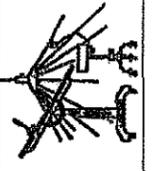
CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

1-20-08
RH
1/4" = 1'-0"
CORTE DE ROSA

5a.3

	▲
	▲
	▲
	▲

FLOOR PLAN -2

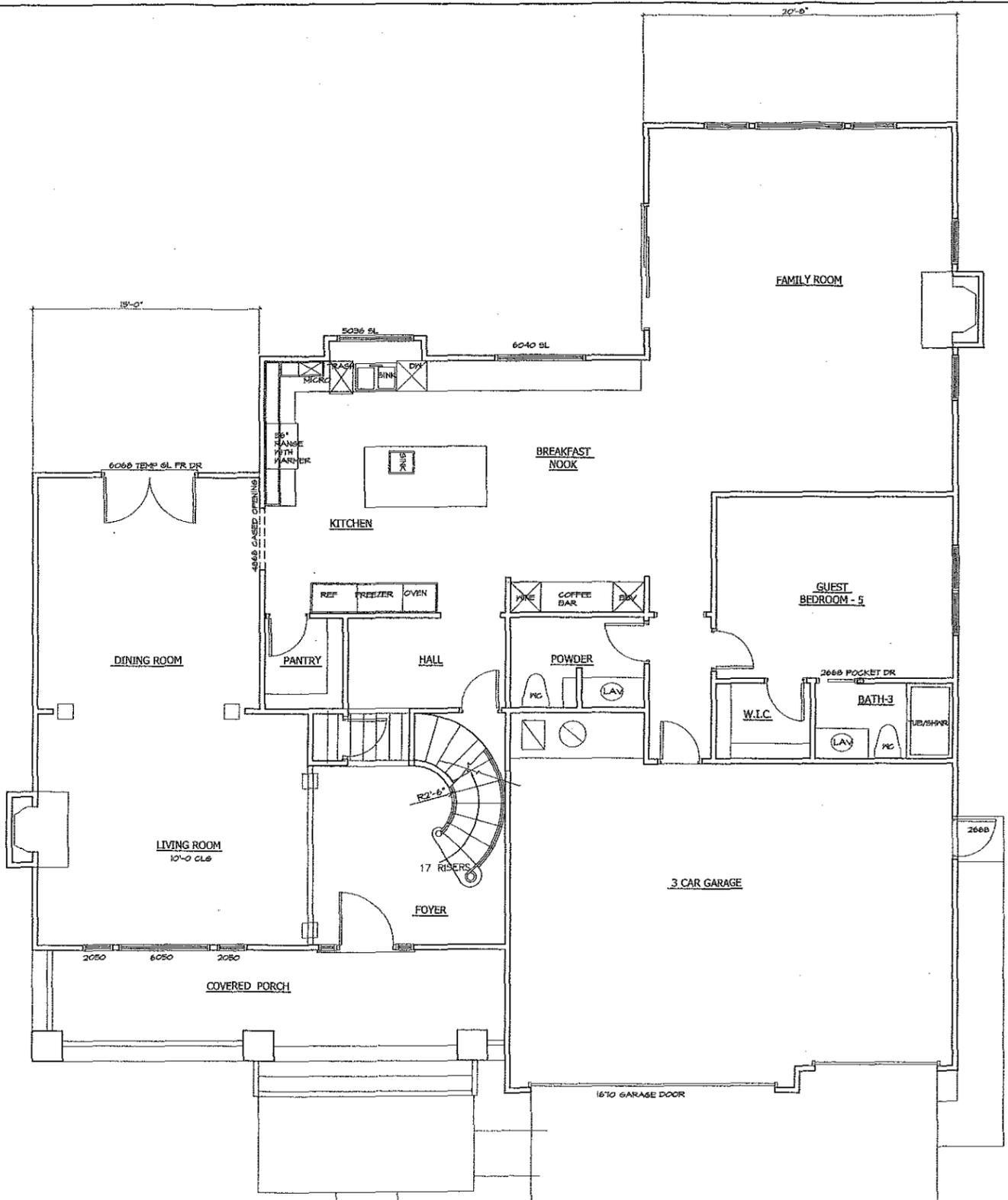
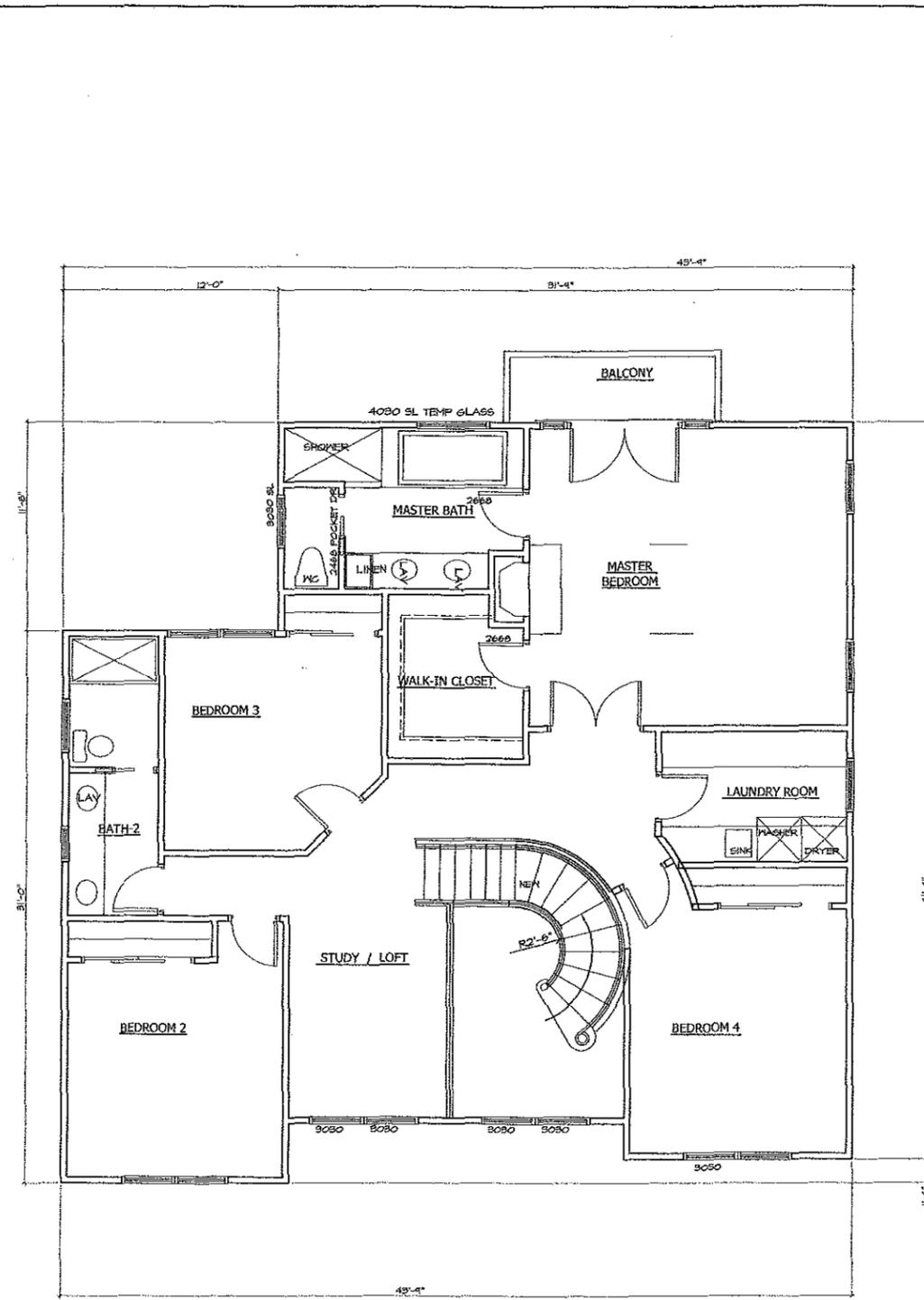


RICHARD HARO
DRAFTING and PLANNING, INC.
 843 S. MCGLANCEY LANE, CAMPBELL, CA, 95008
 (408) 371-7200
Richard Haro

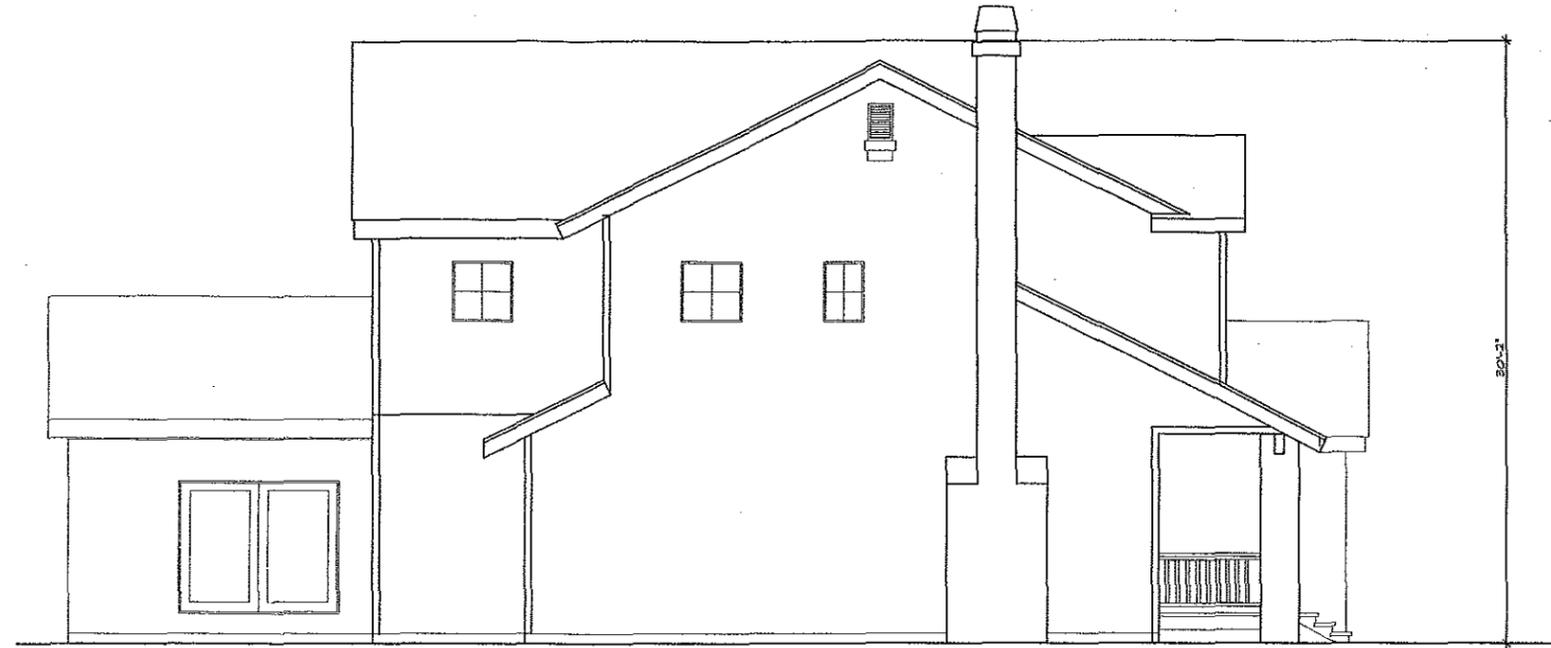
CORTE DE ROSA LLC
 750 UNIVERSITY AVE
 LOS GATOS CA

Date:	1-20-08
Drawn:	RH
Scale:	1/4" = 1'-0"
Project:	CORTE DE ROSA

5b.1
CP 10



PLAN-2



LEFT SIDE ELEVATION

1/4" = 1'-0"

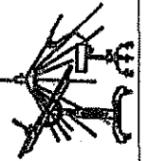


REAR ELEVATION

1/4" = 1'-0"

ROOM	▲
	▲
	▲
	▲
	▲

EXTERIOR ELEVATIONS
FLOOR PLAN -2



RICHARD HARO
DRAFTING and PLANNING, INC.
343 S. MCGILNCEY LANE, CAMPBELL, CA, 95008
(408) 371-7500
Richard Haro

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

DATE 1-20-08
BY RH
SCALE 1/4" = 1'-0"
PROJECT CORTE DE ROSA

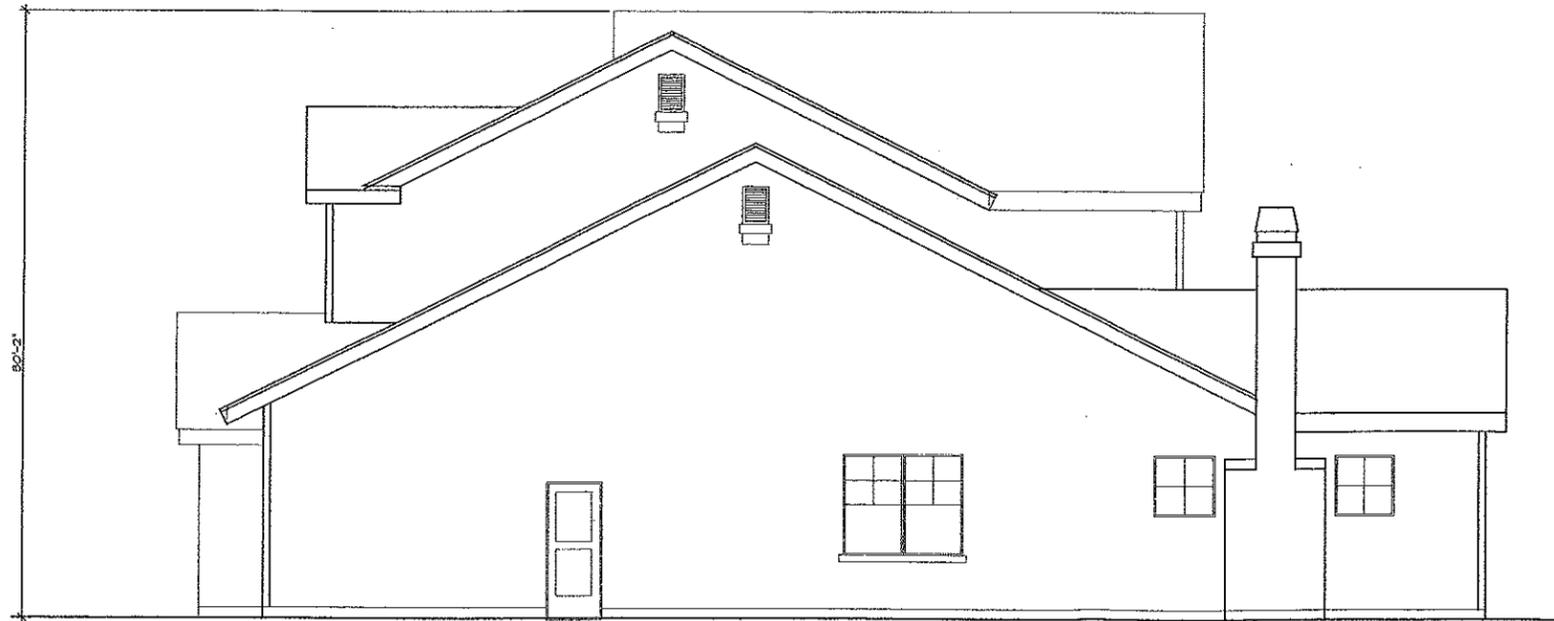
5b.2

PLAN-2



FRONT ELEVATION

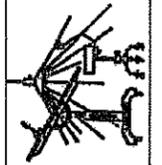
1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATIONS
FLOOR PLAN -2



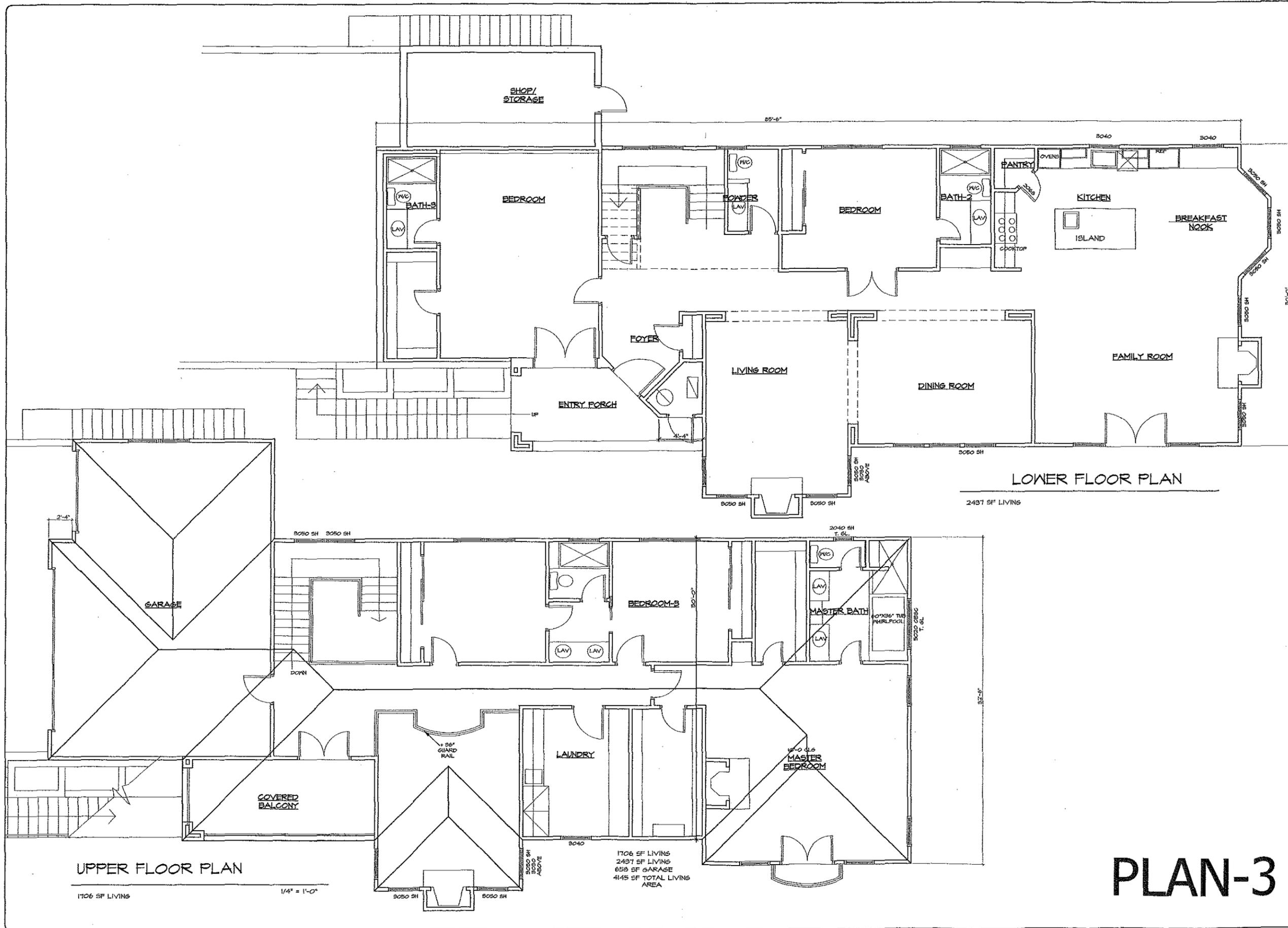
RICHARD HARO
DRAFTING AND PLANNING, INC.
843 S. McGINLEY LANE, CAMPBELL, CA, 95008
(408) 371-7299
Richard Haro

CORTE DE ROSA LLC
150 UNIVERSITY AVE
LOS GATOS CA

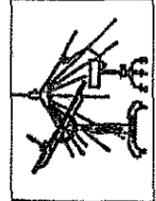
1-20-08
RH
1/4" = 1'-0"
CORTE DE ROSA

5b.3

PLAN-2



FLOOR PLAN B

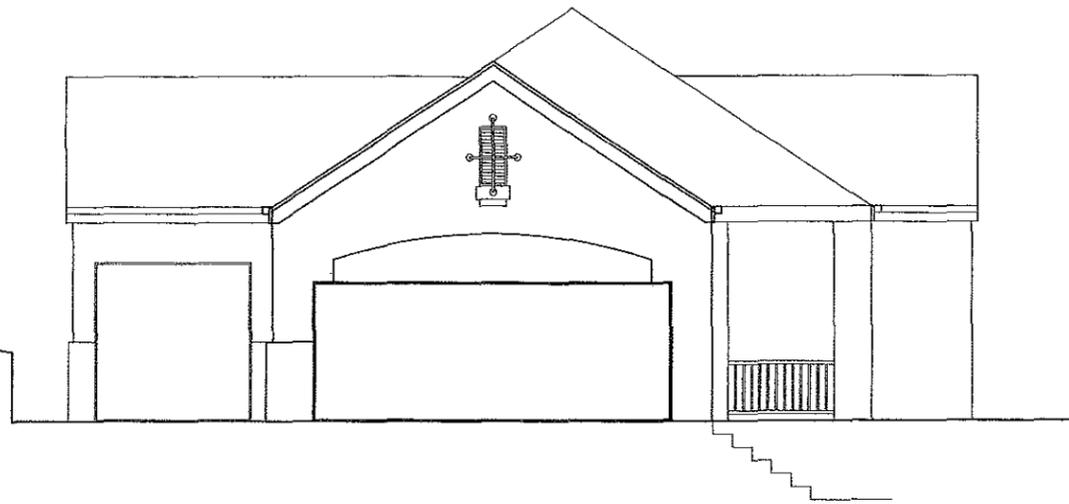


RICHARD HARO
DRAFTING and PLANNING, INC.
843 S. McGINLEY LANE, CAMPBELL, CA. 95008
(408) 371-7200
Richard Haro

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

DATE	1-20-08
BY	RH
SCALE	1/4" = 1'-0"
PROJECT	CORTE DE ROSA
SHEET	5c.1

PLAN-3



FRONT ELEVATION

1/4" = 1'-0"

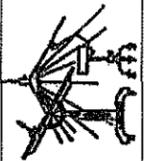


REAR ELEVATION

1/4" = 1'-0"

	△
	△
	△
	△
	△

EXTERIOR ELEVATIONS
FLOOR PLAN -3



RICHARD HARO
DRAFTING and PLANNING, INC.
243 S. HOGLINCEY LANE, CAMPBELL, CA 95008
(408) 371-7266
Richard Haro

CORTE DE ROSA LLC
150 UNIVERSITY AVE
LOS GATOS CA

Date: 1-20-08
Drawn: RH
Scale: 1/4" = 1'-0"
Job: CORTE DE ROSA

5c.2
OF 10

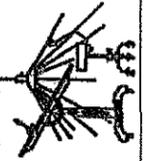
PLAN-3



RIGHT SIDE ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATIONS
FLOOR PLAN-3



RICHARD HARO
DRAFTING AND PLANNING, INC.
#43 S. McGLINCEY LANE, CAMPBELL, CA, 95008
(408) 371-7200
Richard Haro

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

DATE 1-20-08
BY RH
SCALE 1/4" = 1'-0"

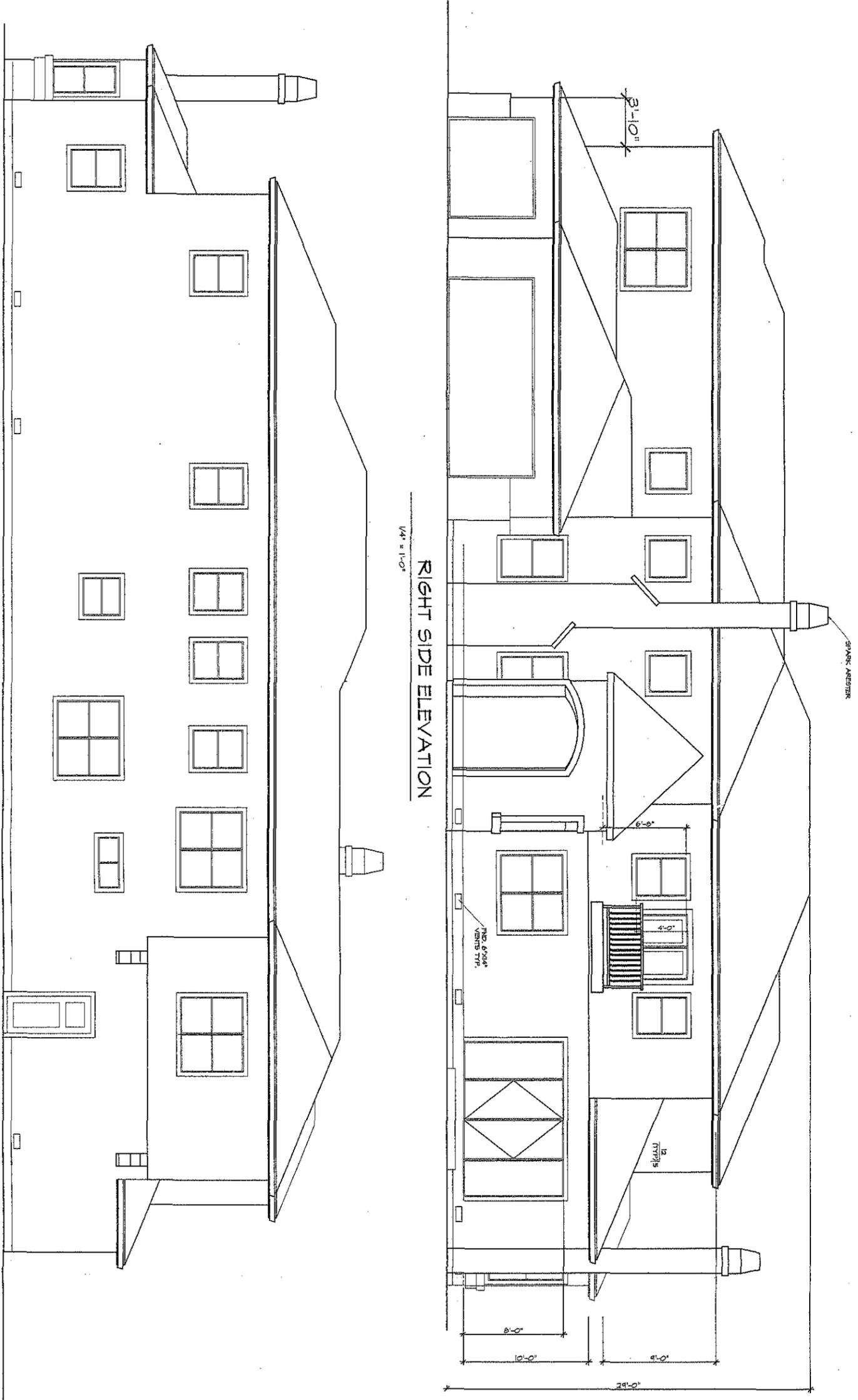
PROJECT CORTE DE ROSA
5c.3



LEFT SIDE ELEVATION

1/4" = 1'-0"

PLAN-3



LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

PLAN-4

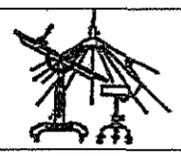
1/4" = 1'-0"

1/4" = 1'-0"

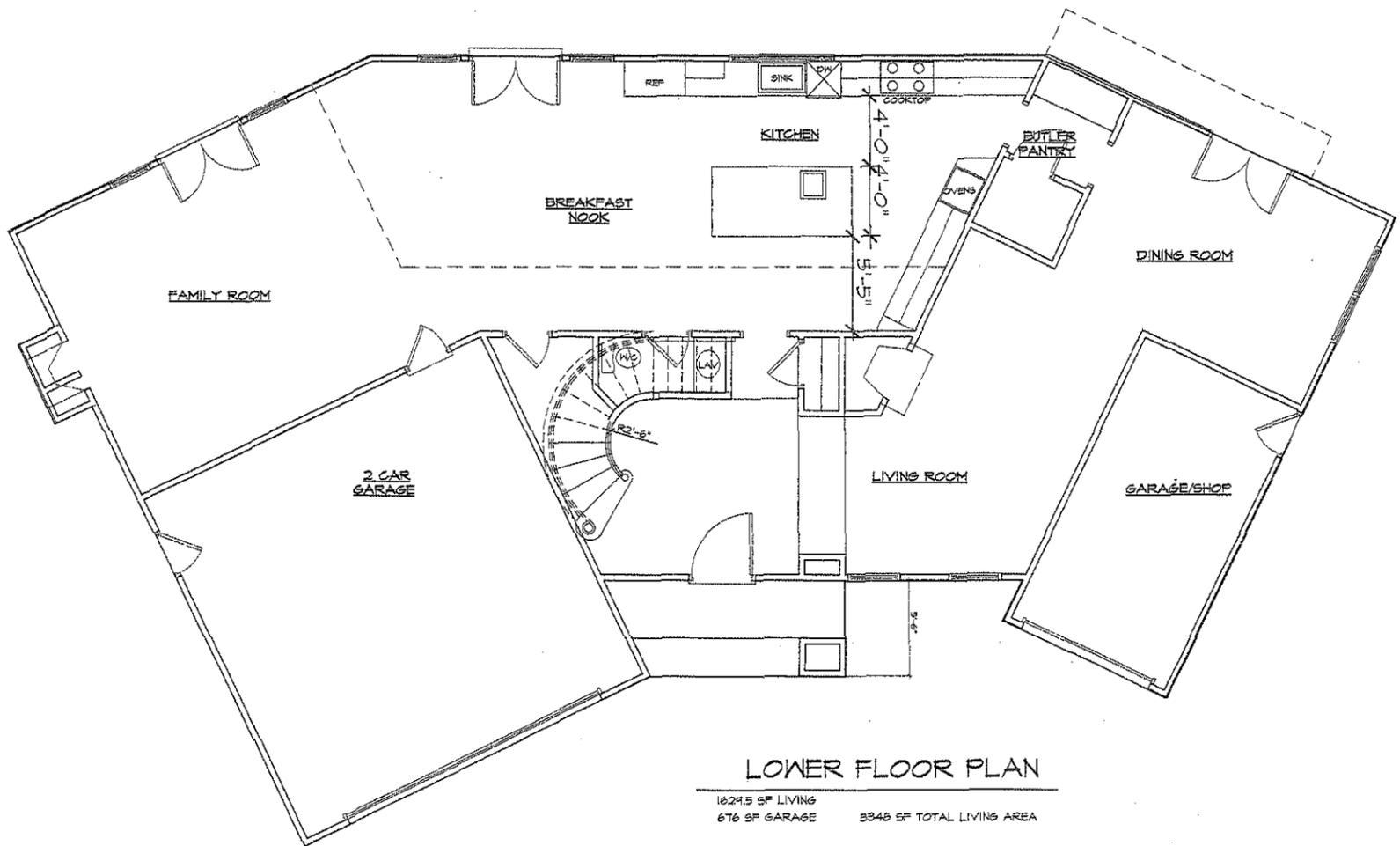
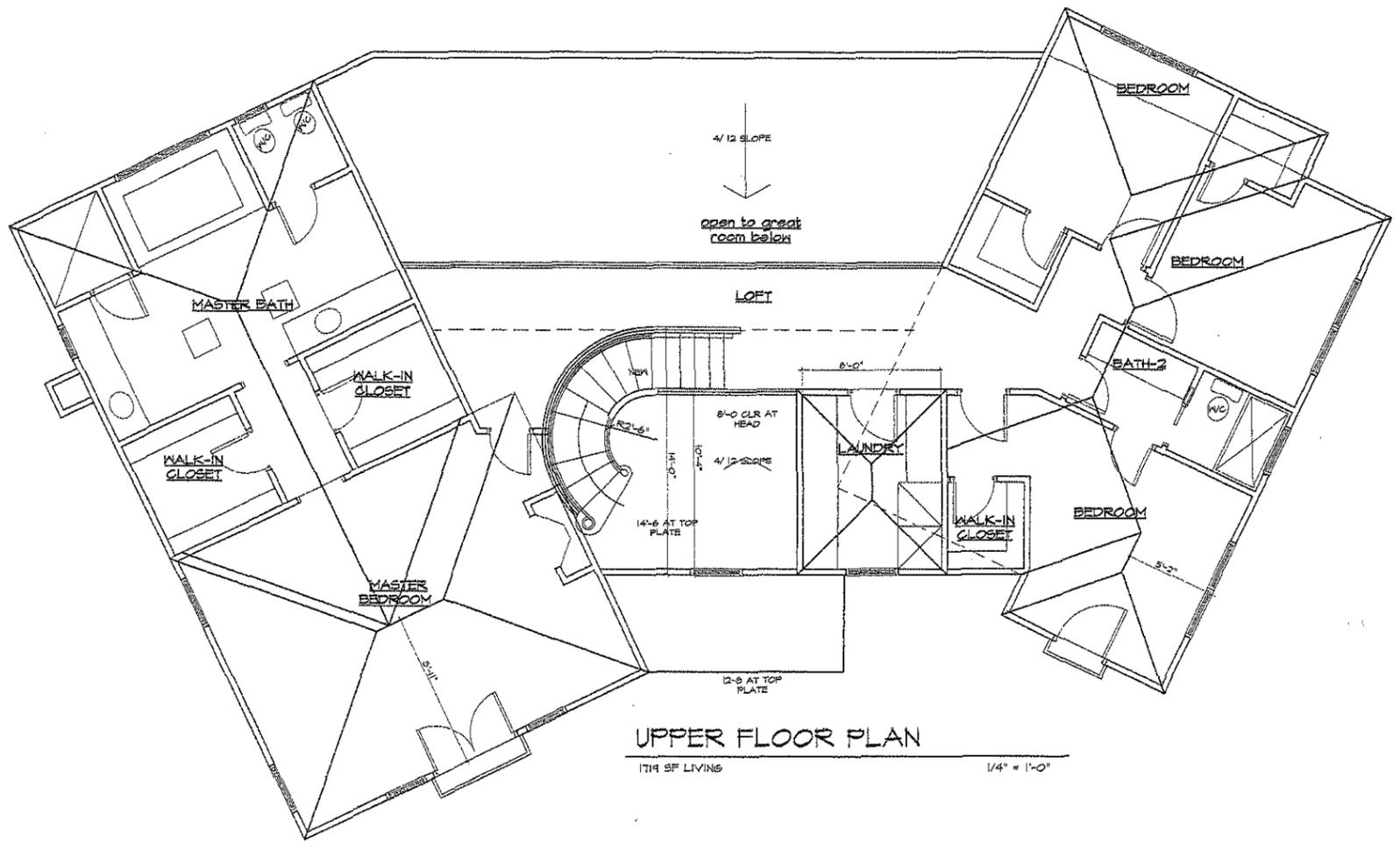
5d.2
1-20-08
RH
1/4" = 1'-0"
CORTE DE ROSA

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

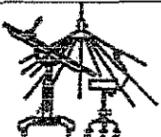
RICHARD HARO
DRAFTING and PLANNING, INC.
843 S. MCGLINCEY LANE, CAMPBELL, CA. 95008
(408) 371-7209
Richard Haro



EXTERIOR ELEVATIONS
FLOOR PLAN -4



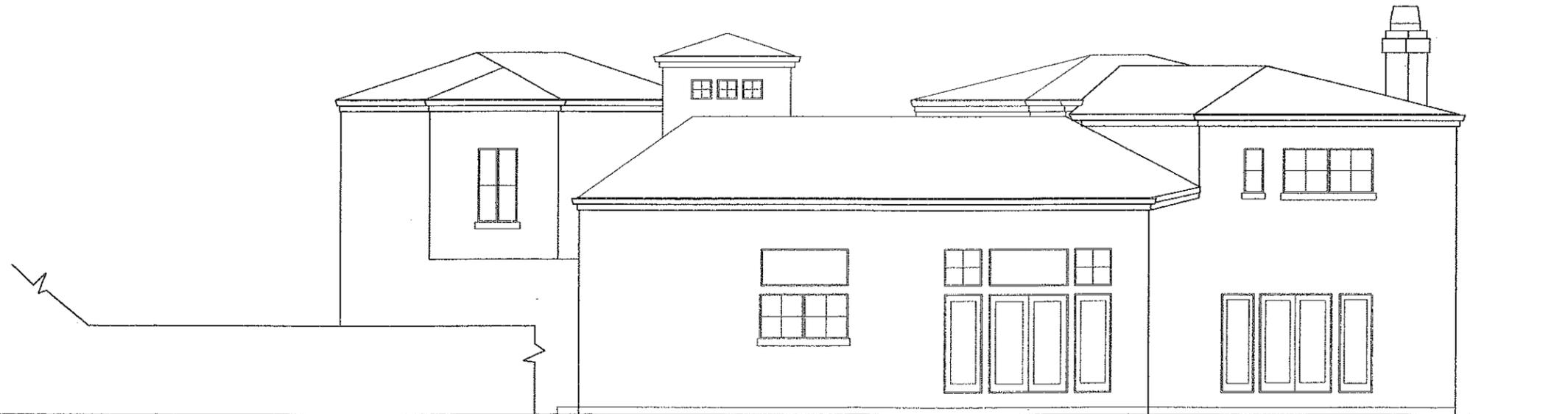
PLAN-5

5e.1	CORTE DE ROSA LLC 750 UNIVERSITY AVE LOS GATOS CA	RICHARD HARO DRAFTING and PLANNING, INC. 848 S. McGLINCEY LANE, CAMPBELL, CA. 95008 (408) 371-7200 <i>Richard Haro</i>		FLOOR PLAN 5	<table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>				
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FRONT ELEVATION

1/4" = 1'-0"

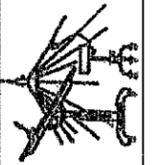


REAR ELEVATION

1/4" = 1'-0"

	△
	△
	△
	△
	△

EXTERIOR ELEVATIONS
FLOOR PLAN -5



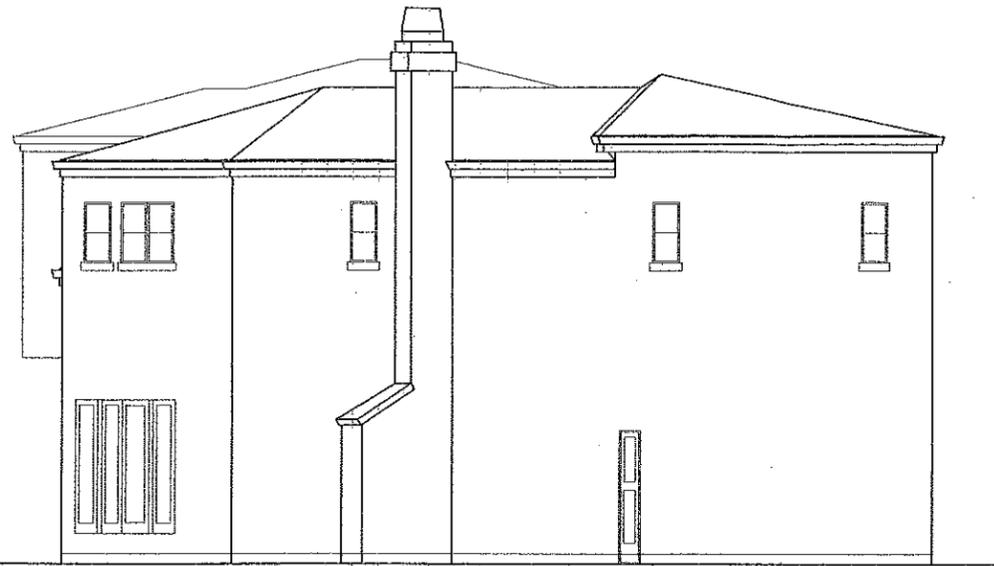
RICHARD HARBO
DRAFTING and PLANNING, INC.
242 S. MCGILNCEY LANE, CAMPBELL, CA 95008
(408) 371-7200
Richard Harbo

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

DATE	1-20-08
BY	RH
SCALE	1/4" = 1'-0"
PROJECT	CORTE DE ROSA

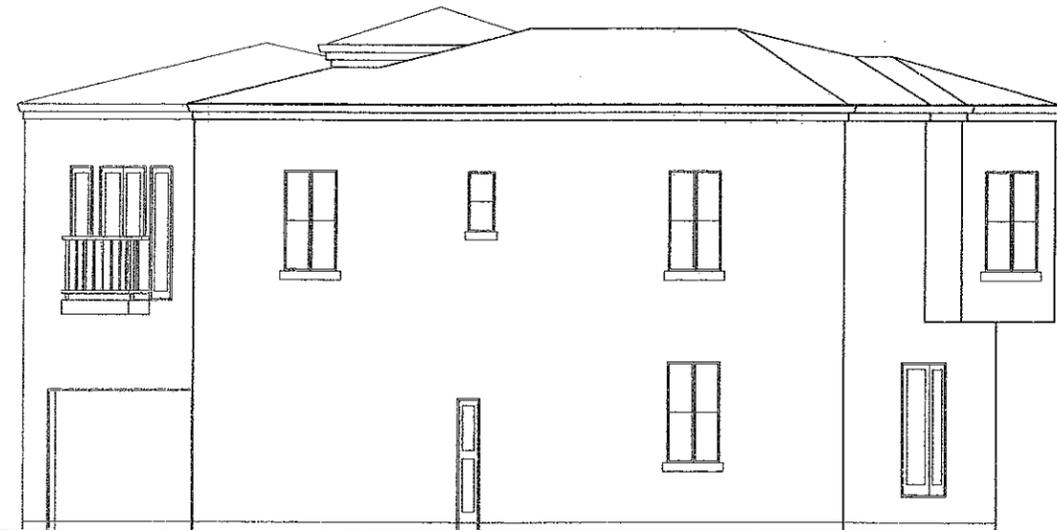
5e.2

PLAN-5



RIGHT ELEVATION

1/4" = 1'-0"

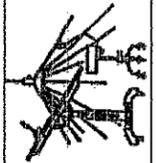


RIGHT ELEVATION

1/4" = 1'-0"

NO.	REVISION

EXTERIOR ELEVATIONS
FLOOR PLAN -5



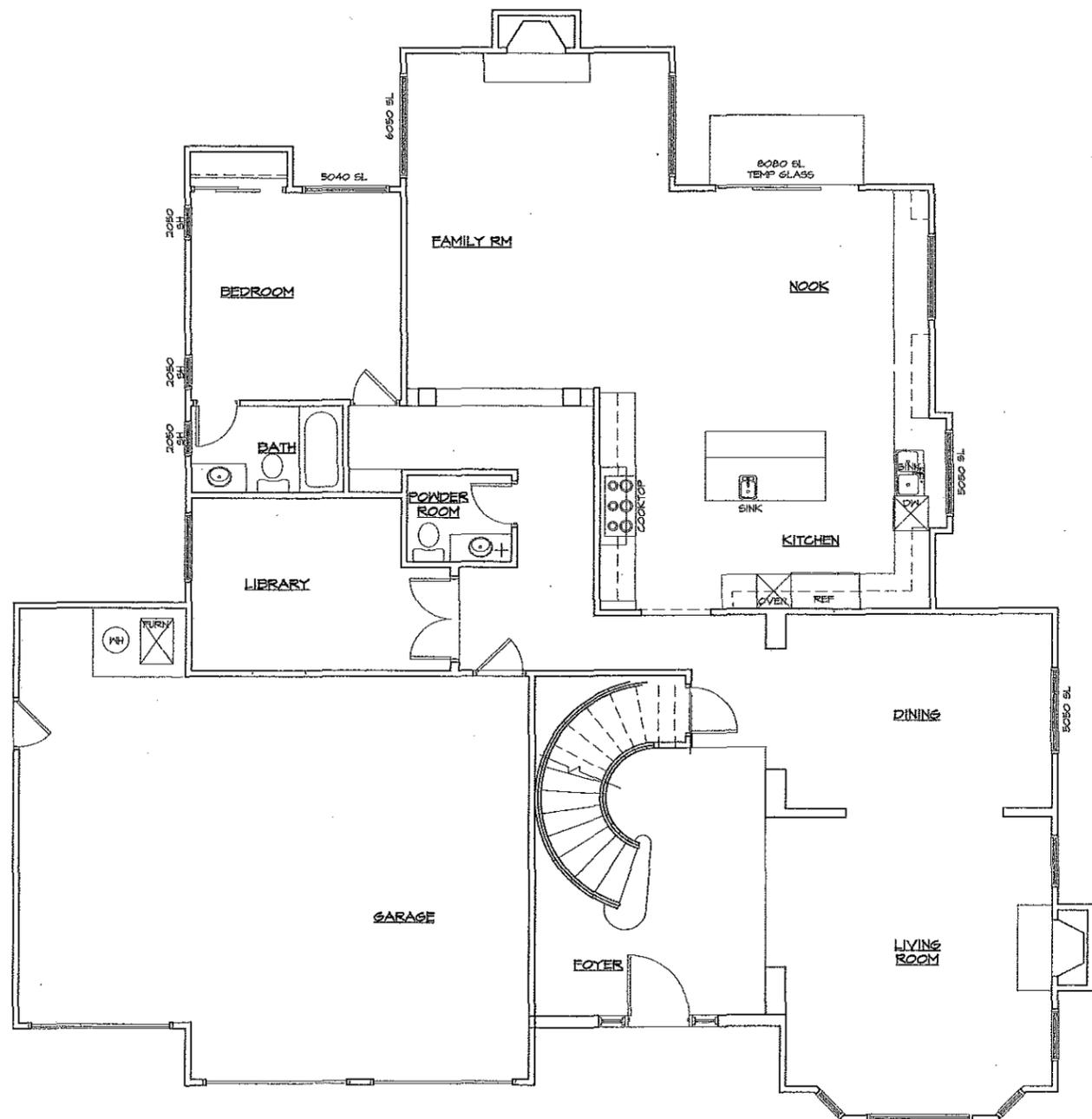
RICHARD HARO
DRAFTING AND PLANNING, INC.
 843 S. McCLINCEY LANE, CAMPBELL, CA, 95008
 (408) 371-7200
Richard Haro

CORTE DE ROSA LLC
 750 UNIVERSITY AVE
 LOS GATOS CA

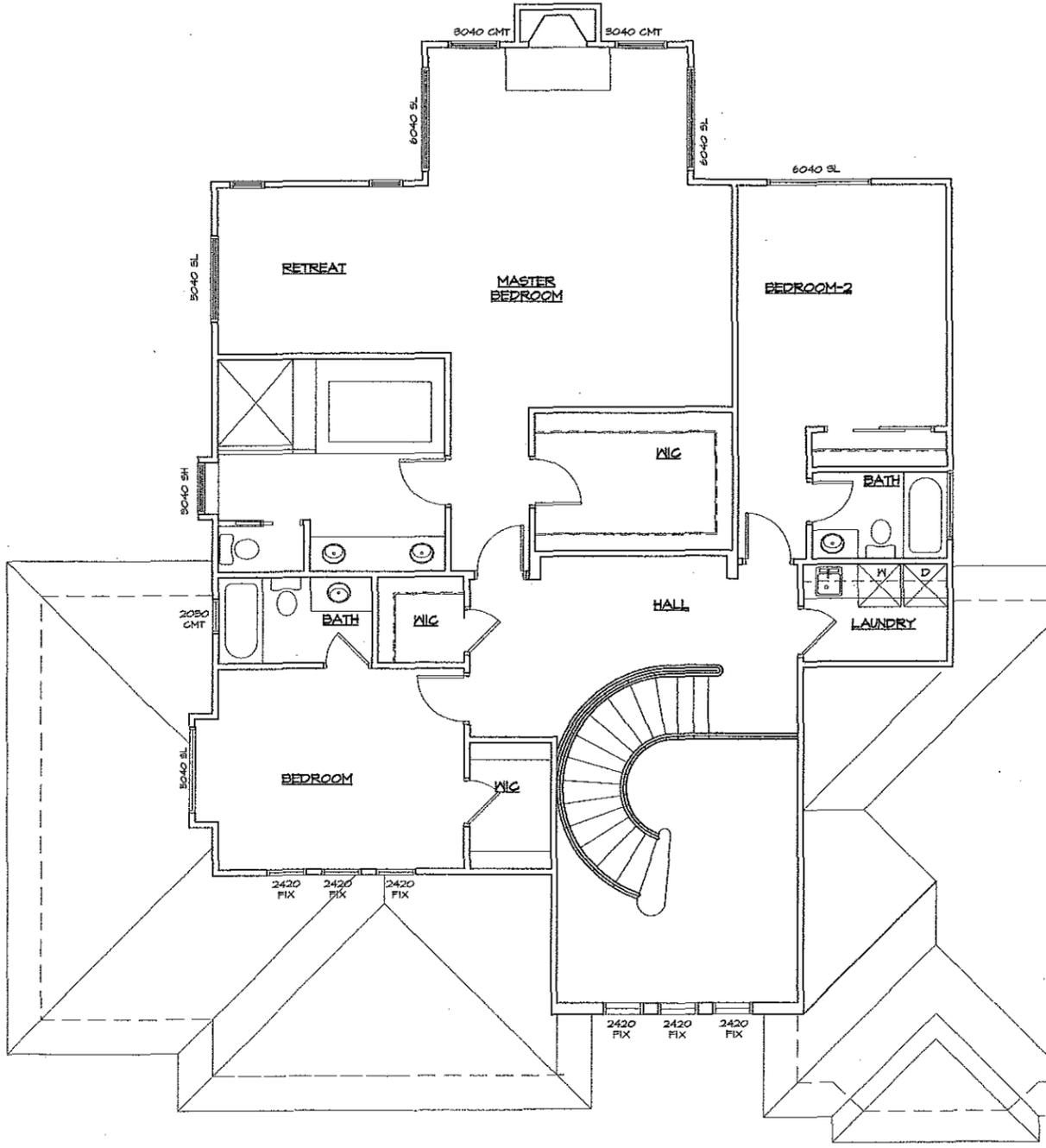
Date: 1-20-08
 Drawn: RH
 Scale: 1/4" = 1'-0"
 Project: CORTE DE ROSA

5e.3

PLAN-5

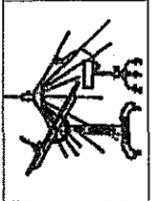


LOWER FLOOR PLAN
 715 SF GARAGE
 2080 SF LIVING AREA
 2795 SF TOTAL LIVING AREA
 SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN
 1656 SF LIVING AREA
 SCALE: 1/4" = 1'-0"

FLOOR PLAN 6



RICHARD HARO
 DRAFTING and PLANNING, INC.
 843 S. MCGILGHEY LANE, CAMPBELL, CA 95008
 (408) 371-7260
Richard Haro

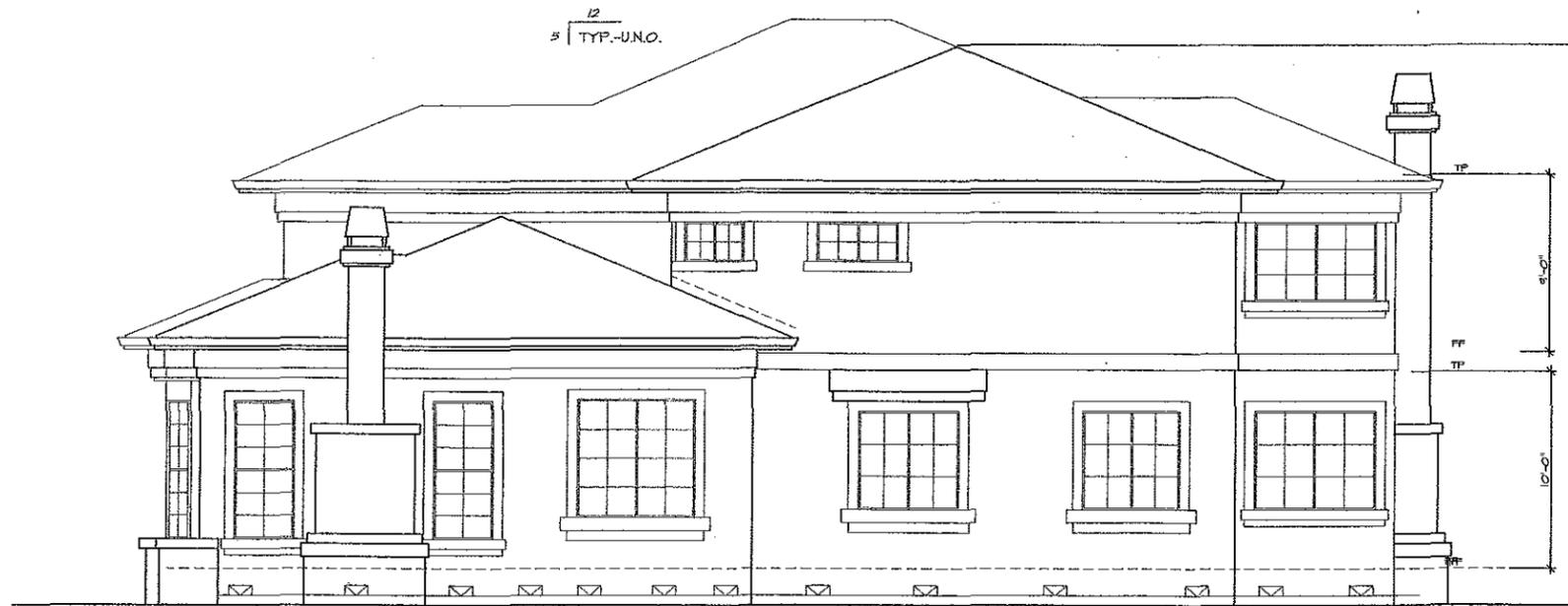
CORTE DE ROSA LLC
 750 UNIVERSITY AVE
 LOS GATOS CA

DATE	1-20-08
BY	RH
SCALE	1/4" = 1'-0"
PROJECT	CORTE DE ROSA
SHEET	5f.1

PLAN-6



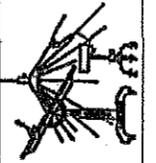
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

	△
	△
	△
	△
	△

EXTERIOR ELEVATIONS
FLOOR PLAN 6



RICHARD HARO
DRAFTING and PLANNING, INC.
343 S. McGINNCEY LANE, CAMPBELL, CA 95002
(408) 371-7266
Richard Haro

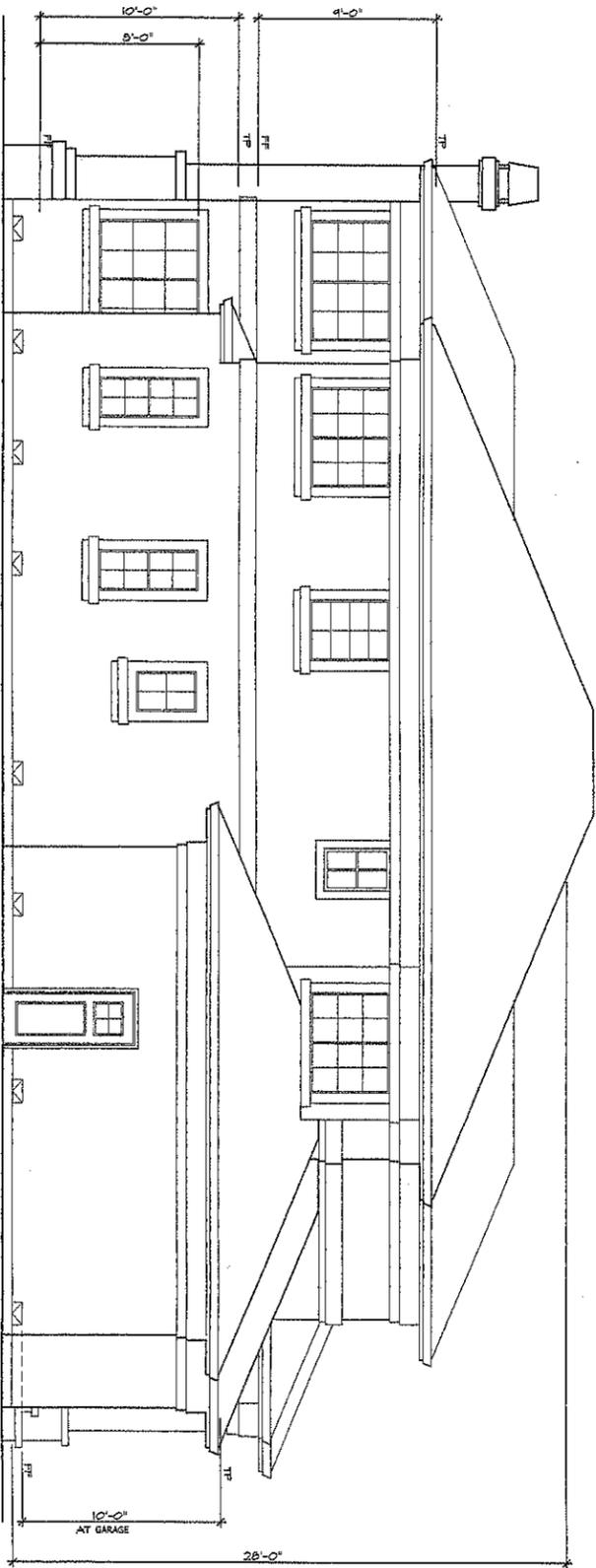
CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

DATE: 1-20-08
DRAWN: RH
SCALE: 1/4" = 1'-0"

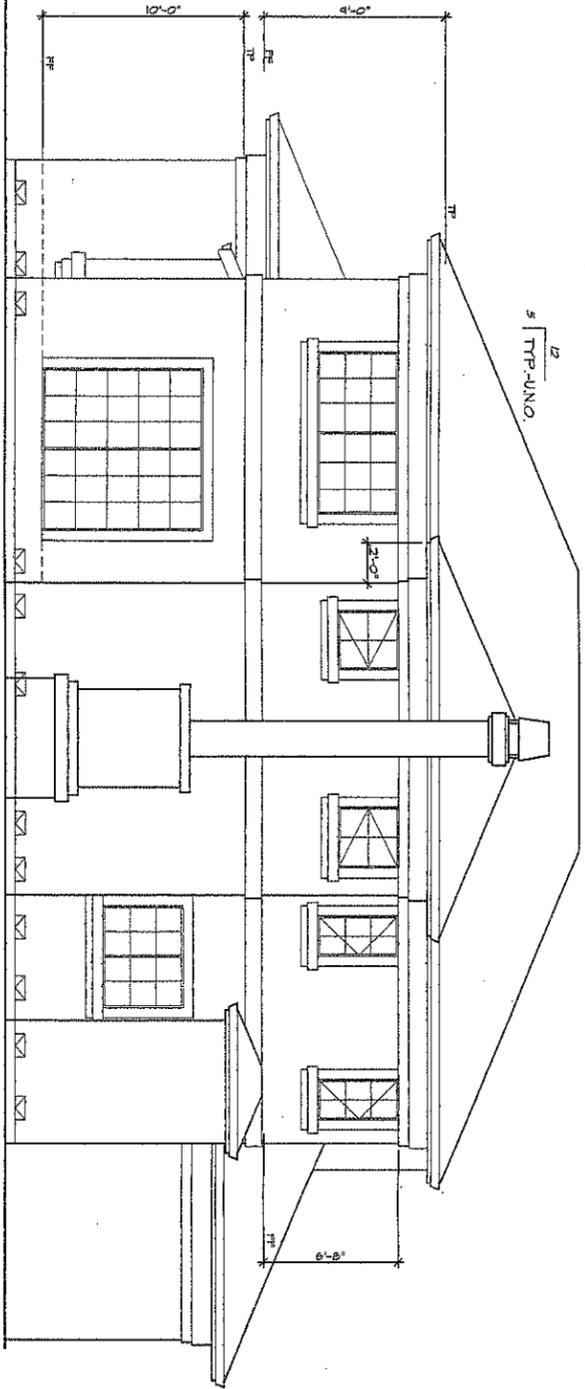
PROJECT: CORTE DE ROSA

5f.2

PLAN-6



LEFT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

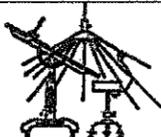
PLAN-6

5F.3

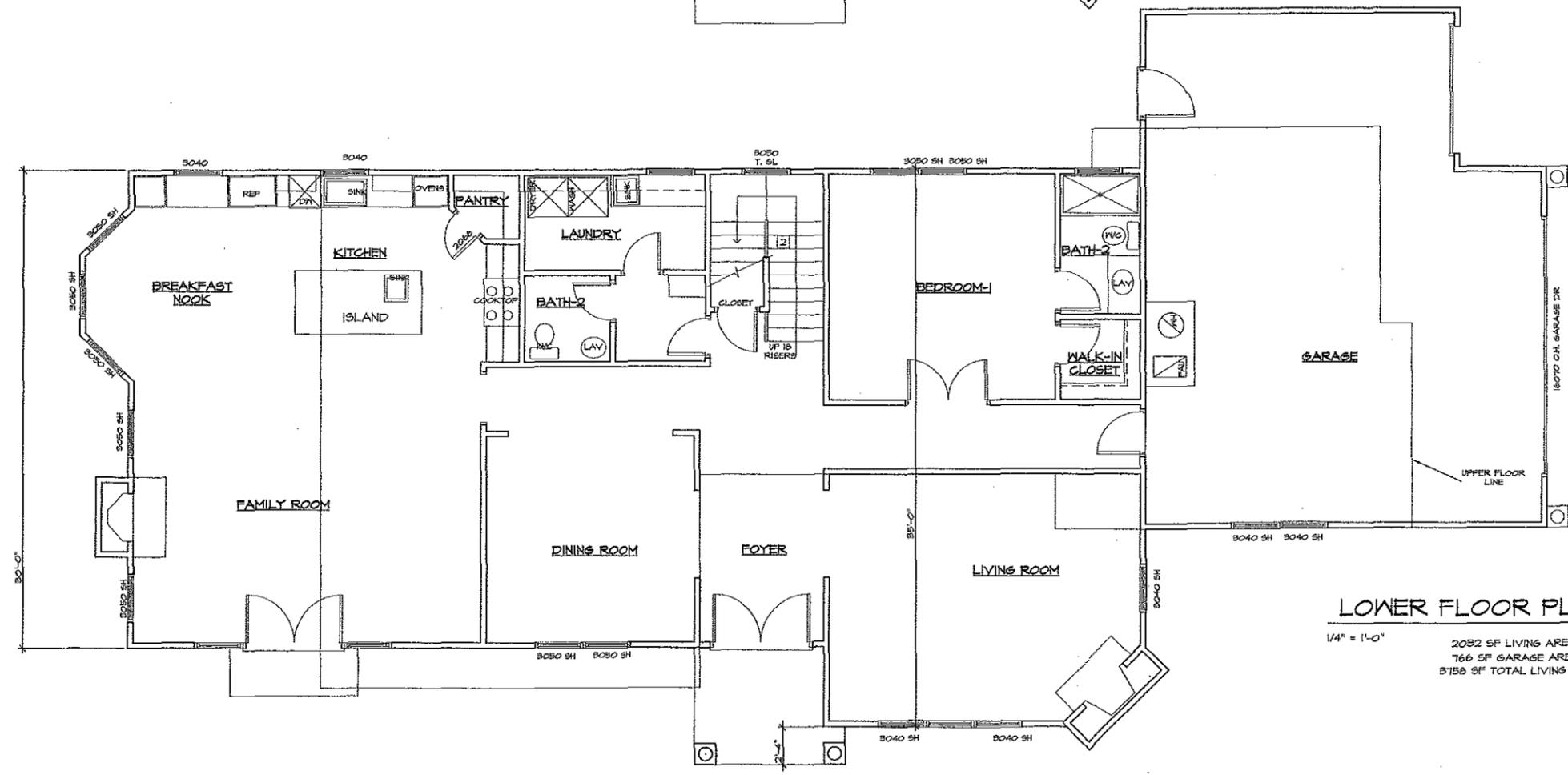
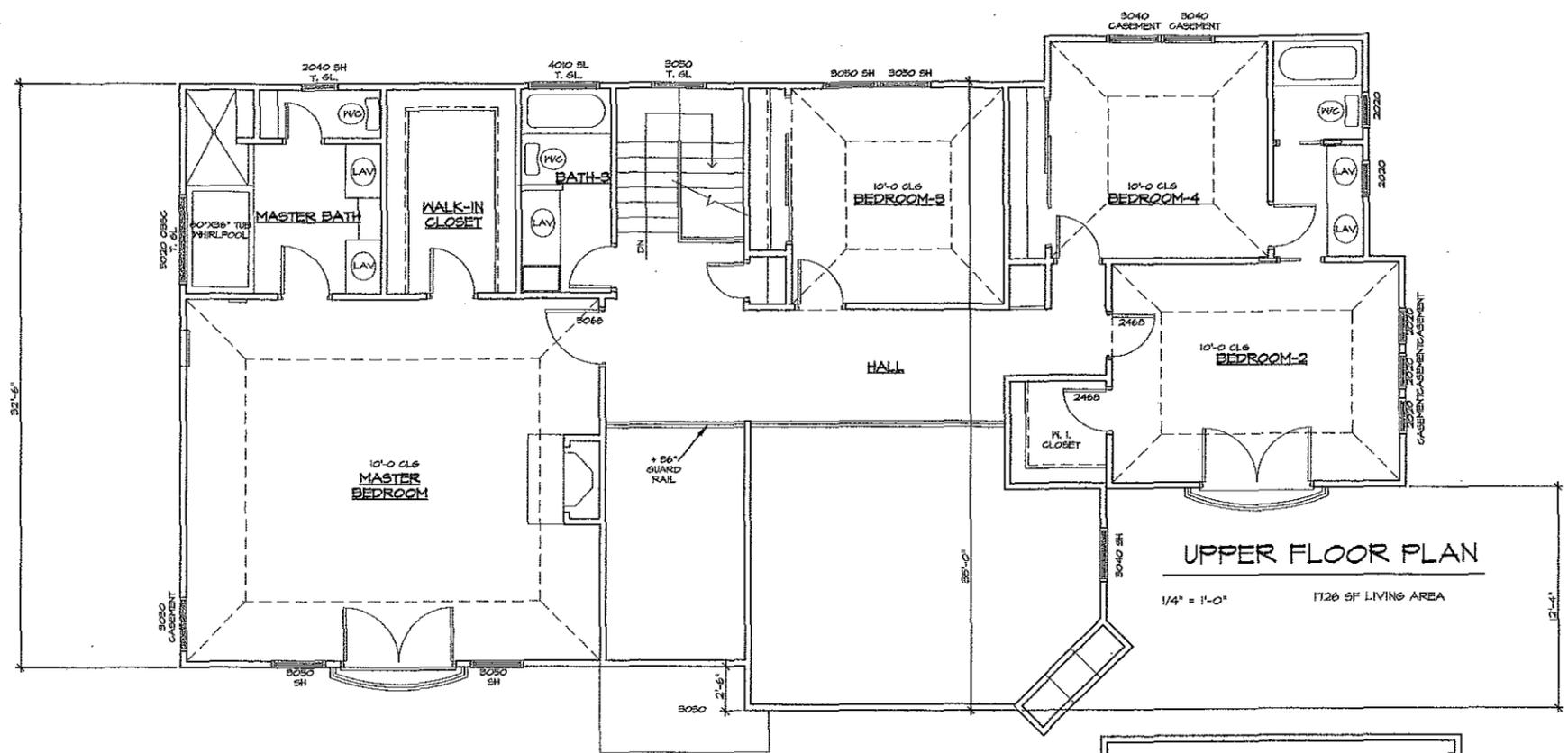
DATE	1-20-08
BY	RH
SCALE	1/4" = 1'-0"
PROJECT	CORTE DE ROSA

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

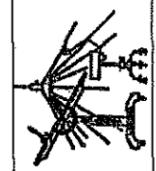
RICHARD HARO
DRAFTING and PLANNING, INC.
843 S. McGLINCEY LANE, CAMPBELL, CA 95008
(408) 371-7289
Richard Haro



EXTERIOR ELEVATIONS
FLOOR PLAN -6



FLOOR PLAN 7

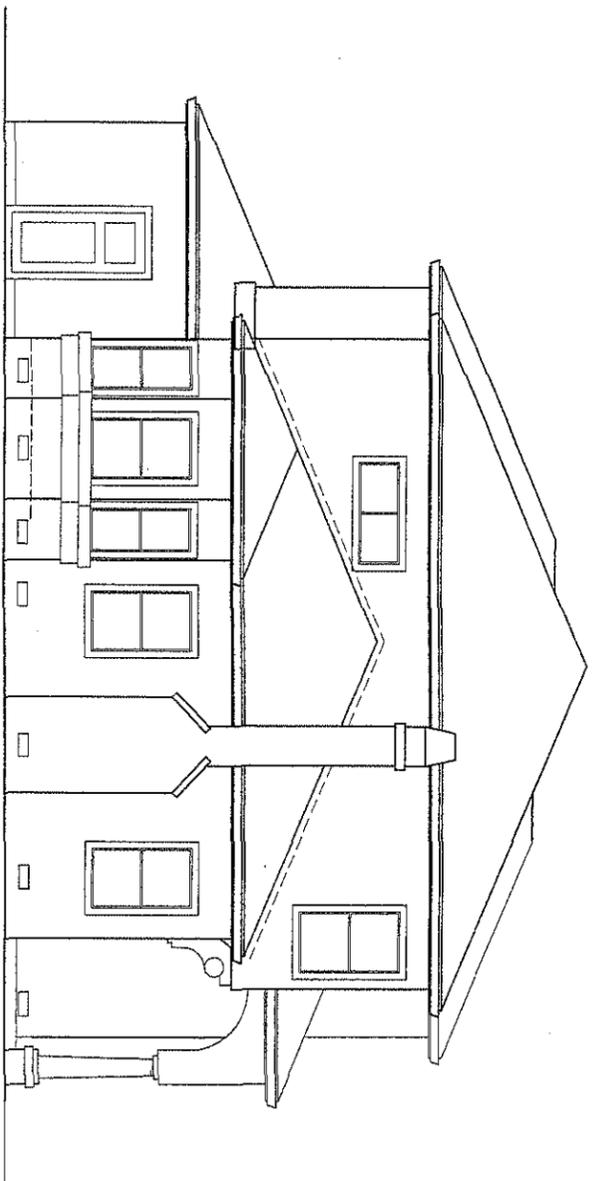


RICHARD HARO
 DRAFTING and PLANNING, INC.
 243 S. McGINLEY LANE, CAMPBELL, CA, 95008
 (408) 371-7300
Richard Haro

CORTE DE ROSA LLC
 750 UNIVERSITY AVE
 LOS GATOS CA

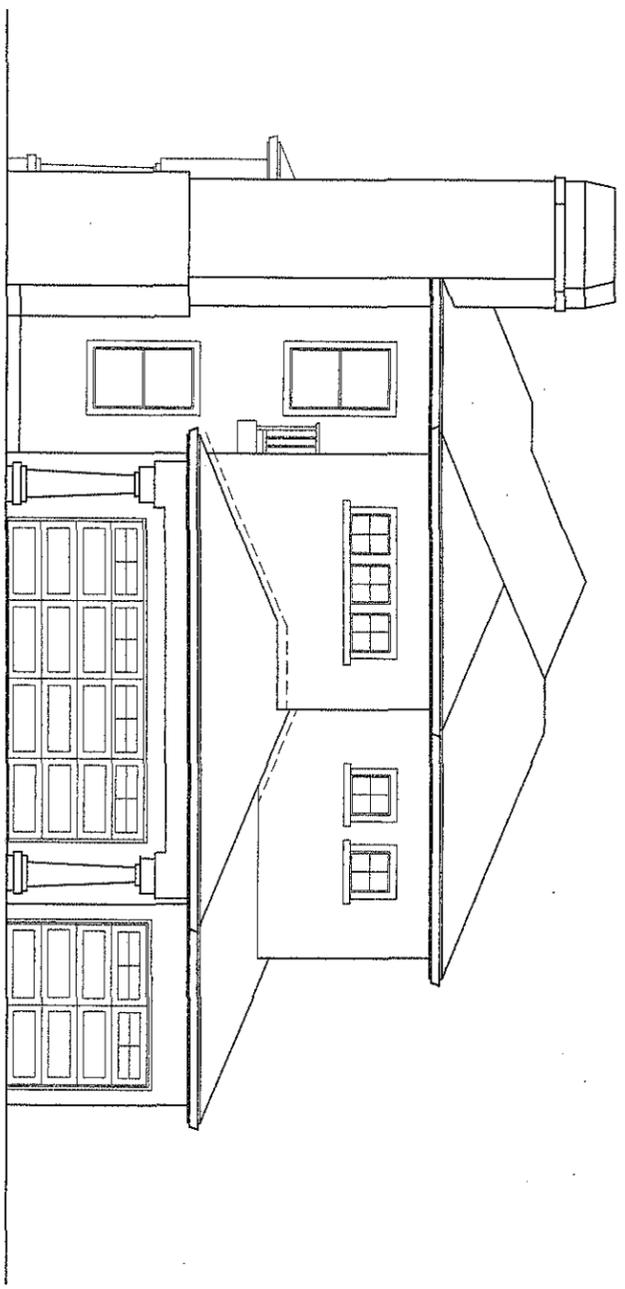
DATE	1-20-08
BY	RH
SCALE	1/4" = 1'-0"
PROJECT	CORTE DE ROSA
	5g.1

PLAN-7



REAR ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

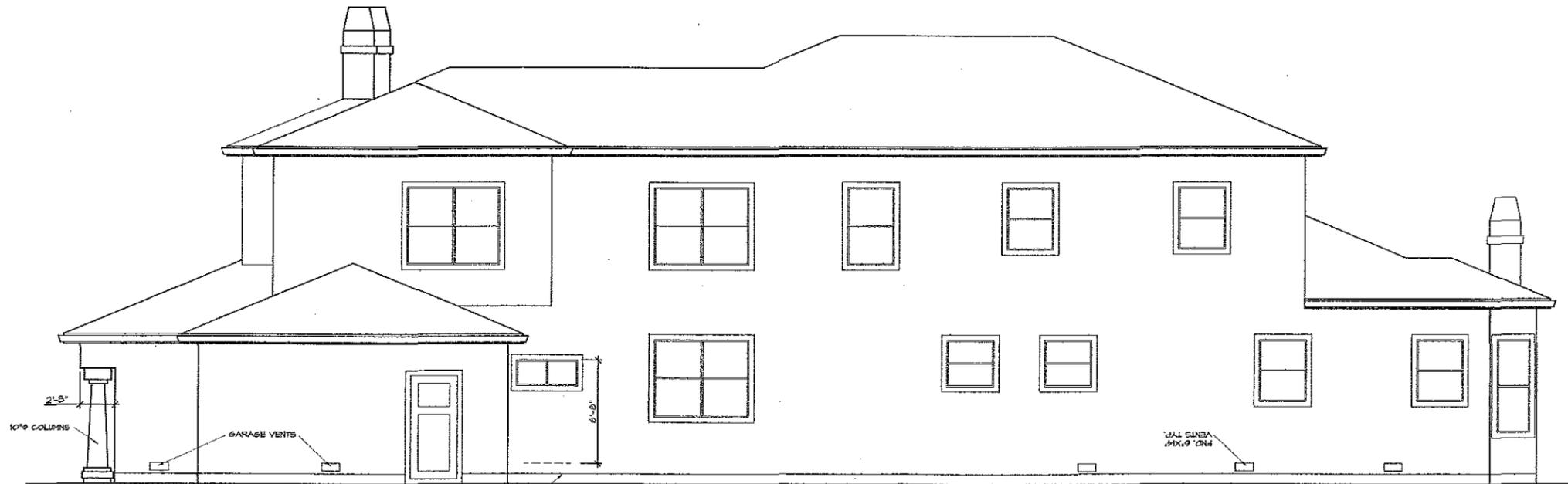
PLAN-7

<p>5g.2</p> <p>DATE: 1-20-08 BY: RH SCALE: 1/4" = 1'-0" PROJECT: CORTE DE ROSA</p>	<p>CORTE DE ROSA LLC 750 UNIVERSITY AVE LOS GATOS CA</p>	<p>RICHARD HARO DRAFTING and PLANNING, INC. 843 S. McGLINCEY LANE, CAMPBELL, CA. 95008 (408) 371-7200</p> <p><i>Richard Haro</i></p>		<p>EXTERIOR ELEVATIONS FLOOR PLAN 7</p>	<table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>										



RIGHT SIDE ELEVATION

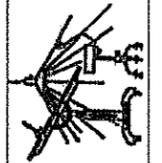
1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATIONS
FLOOR PLAN -7



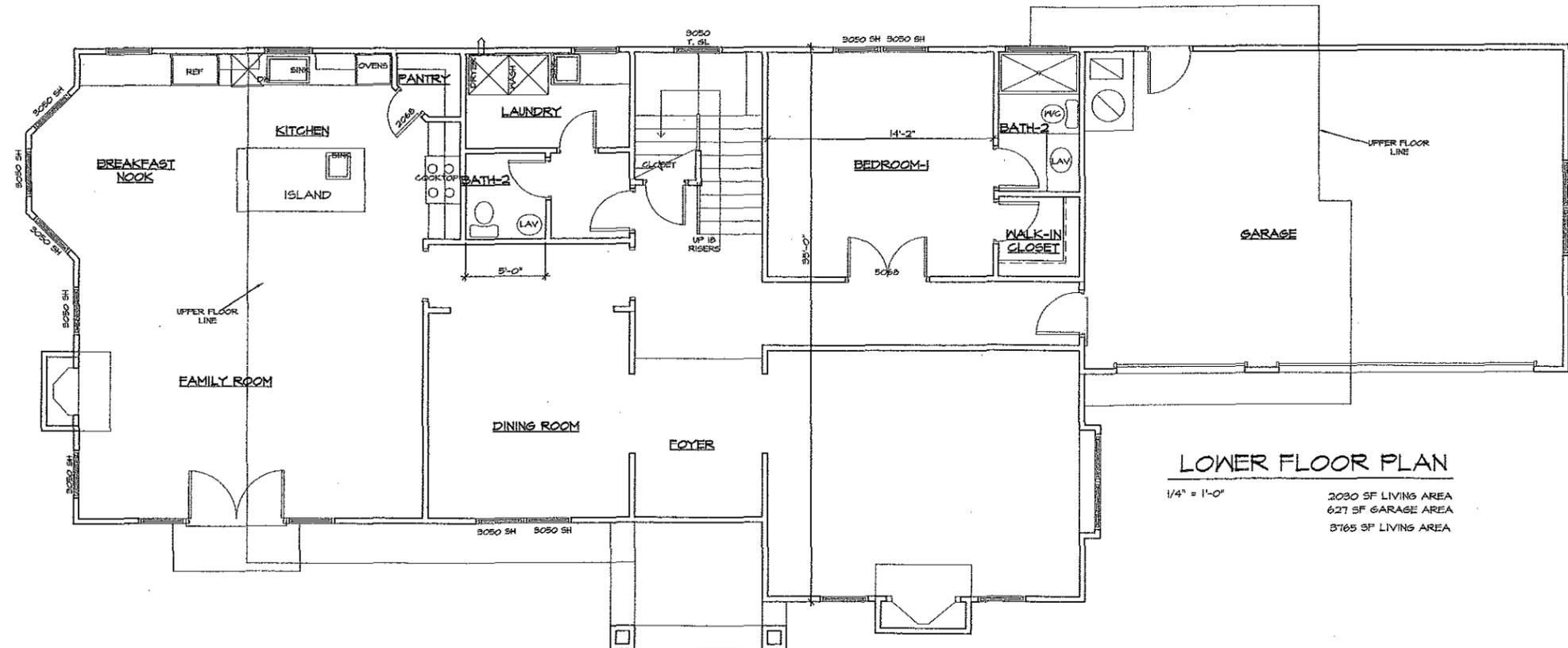
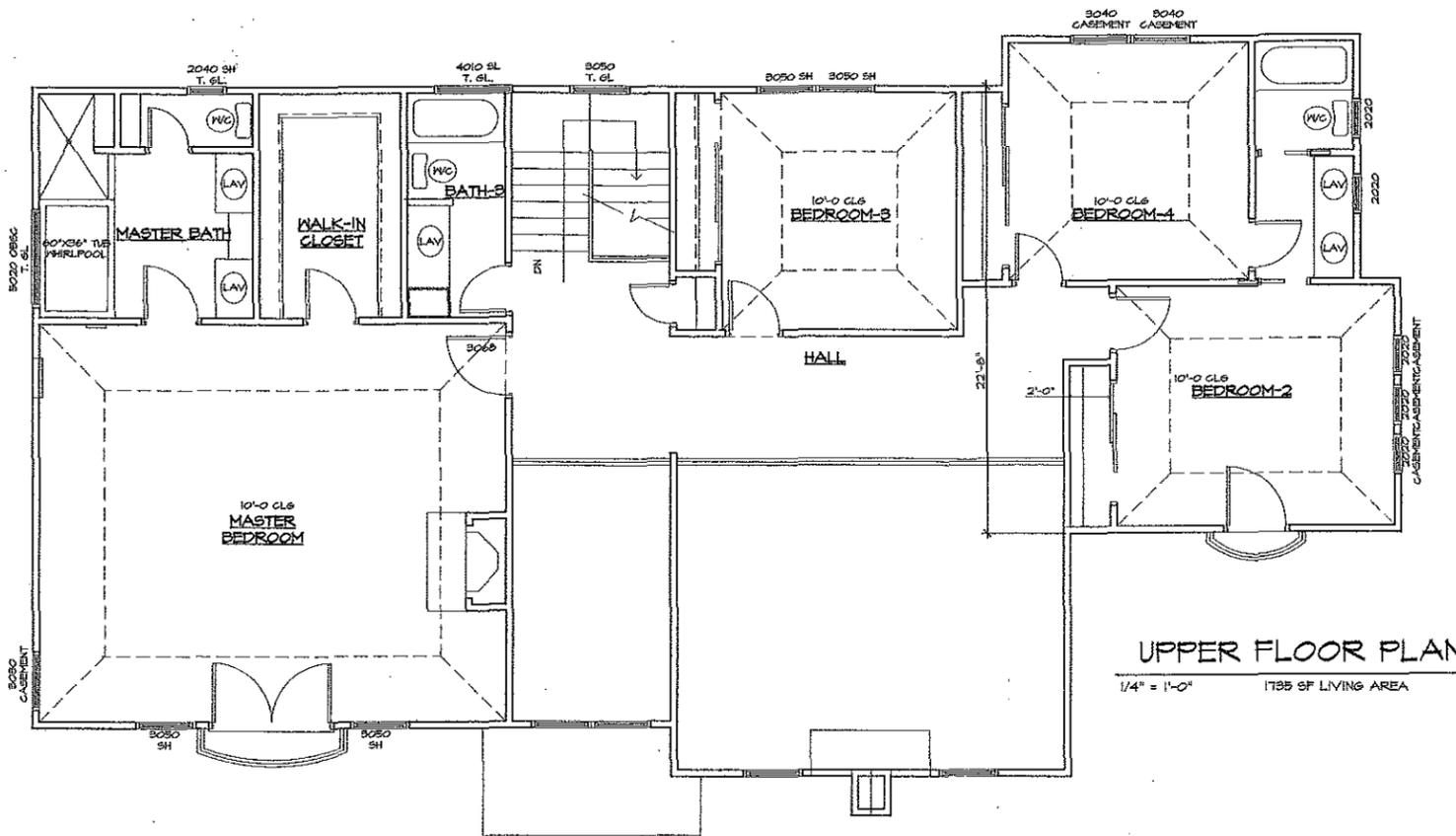
RICHARD HARO
DRAFTING and PLANNING, INC.
343 S. MCGILGHEY LANE, CAMPBELL, CA, 95008
(408) 371-7388
Richard Haro

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

DATE 1-20-08
BY RH
SCALE 1/4" = 1'-0"

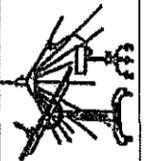
PROJECT CORTE DE ROSA
5g.3

PLAN-7



	▲
	▲
	▲
	▲
	▲

FLOOR PLAN 8



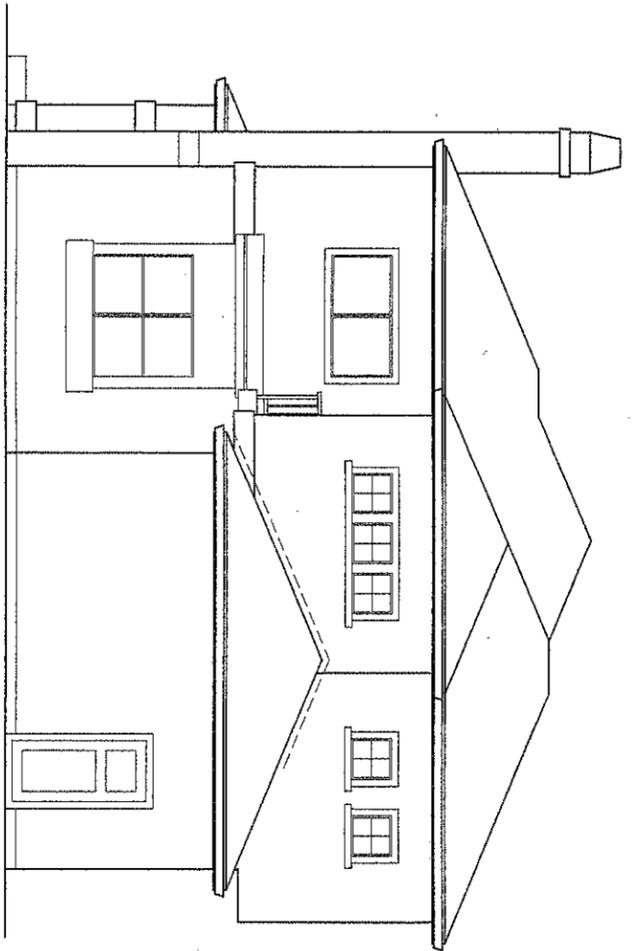
RICHARD HARO
 DRAFTING and PLANNING, INC.
 843 S. McGINLEY LANE, CAMPBELL, CA 95008
 (408) 371-7268
Richard Haro

CORTE DE ROSA LLC
 750 UNIVERSITY AVE
 LOS GATOS CA

Date: 1-20-08
 Drawn: RH
 Scale: 1/4" = 1'-0"
 Project: CORTE DE ROSA

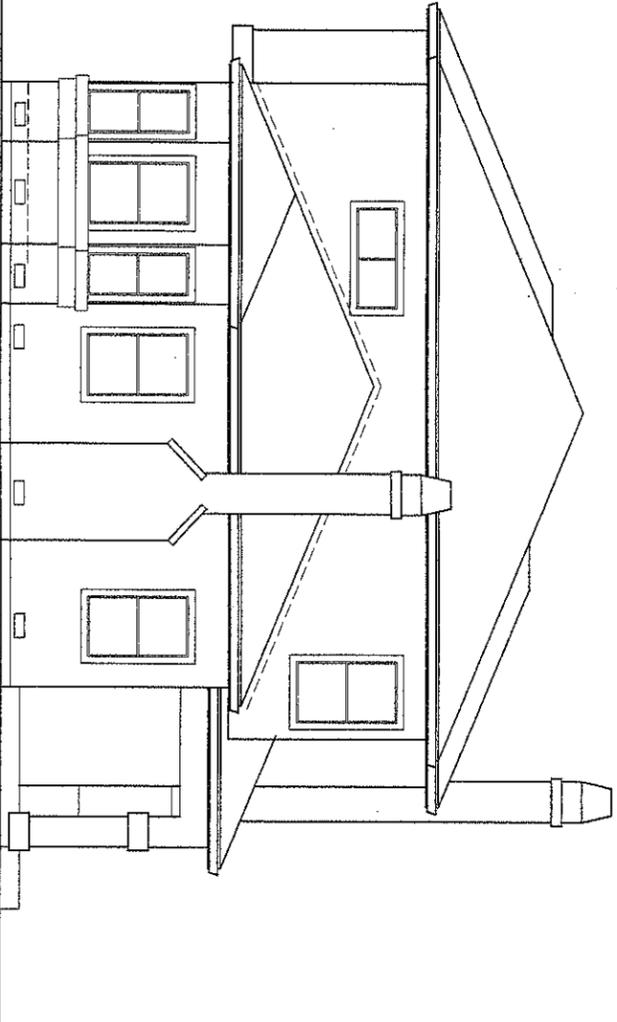
5h.1
 of 10

PLAN-8



FRONT ELEVATION

1/4" = 1'-0"

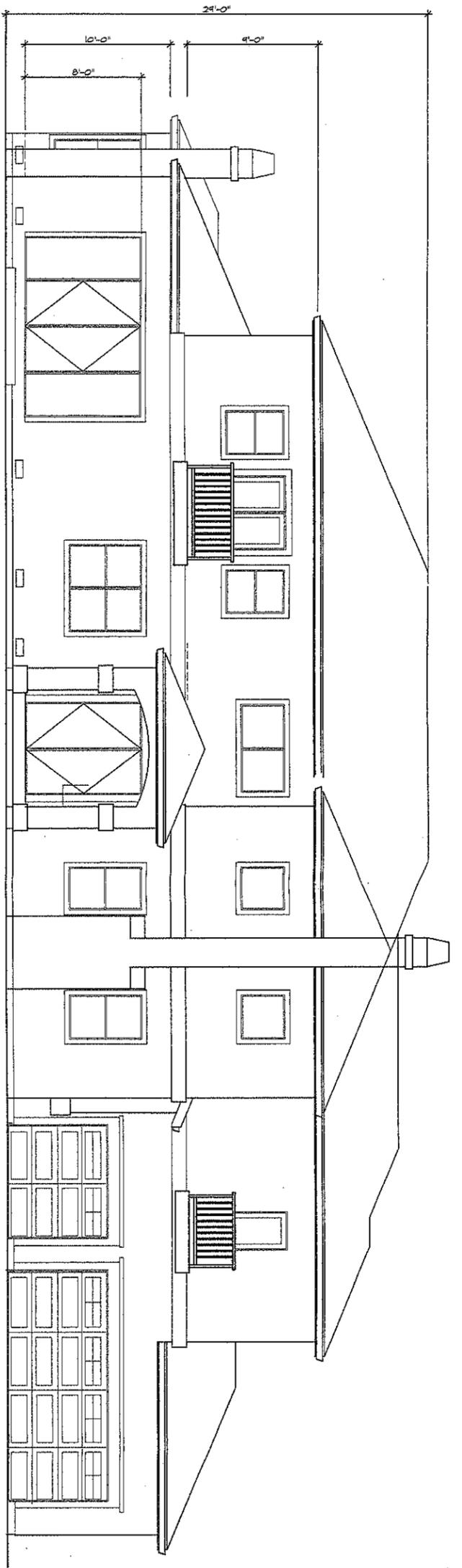


REAR ELEVATION

1/4" = 1'-0"

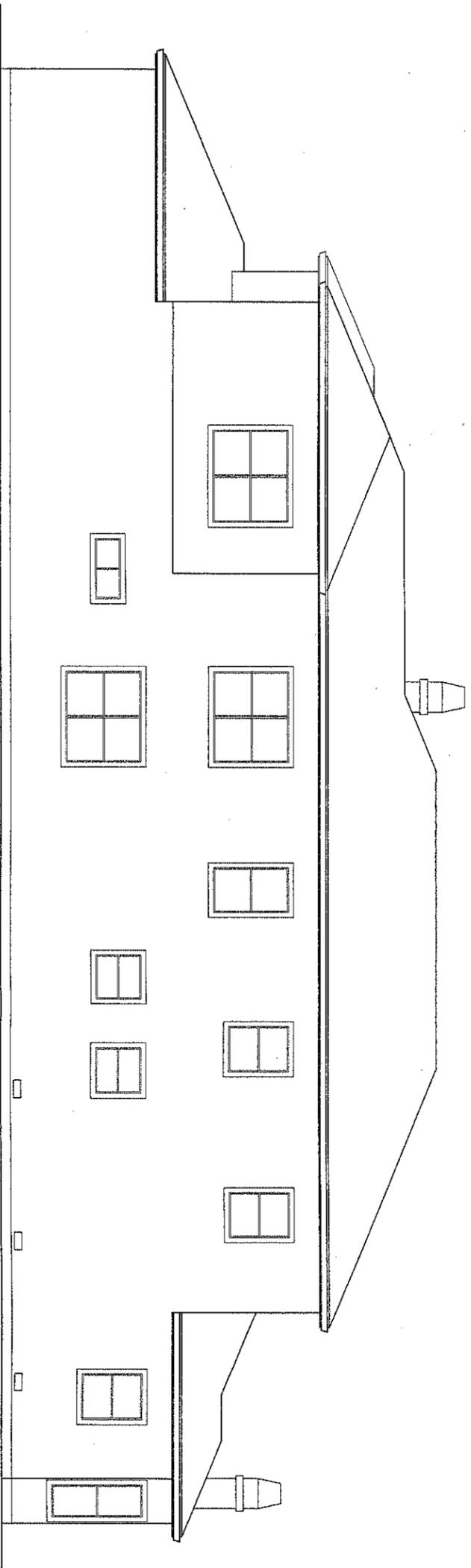
PLAN-8

<p>5h.2</p>	<p>CORTE DE ROSA LLC 750 UNIVERSITY AVE LOS GATOS CA</p>	<p>RICHARD HARO DRAFTING and PLANNING, INC. 843 S. McGLINCEY LANE, CAMPBELL, CA, 95008 (408) 371-7289</p> <p><i>Richard Haro</i></p>		<p>EXTERIOR ELEVATIONS FLOOR PLAN 8</p>	<table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>										



LEFT SIDE ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"

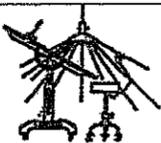
PLAN-8

5h.3

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

RICHARD HARO
DRAFTING and PLANNING, INC.
343 S. McGLINCEY LANE, CAMPBELL, CA. 95008
(408) 371-7209

Richard Haro



EXTERIOR ELEVATIONS
FLOOR PLAN - 8

Plant Legend

KEY	SIZE	BOTANICAL NAME	COMMON NAME
TREES			
PC	15	<i>Pistacia chinensis</i> Keith Davies	Chinese Pistache
ST	15	Street Tree selected by City Arborist	
LI	15	<i>Lagerstroemia indica</i> Tuskegee	Crape Myrtle
AM	15	<i>Arbutus Menziesii</i>	Strawberry Tree
TALL SHRUBS			
PH	5	<i>Phormium</i> - Large Green or Bronze variety	Flax
WF	5	<i>Westringia fruticosa</i>	Coast Rosemary
MEDIUM SHRUBS			
RF	5	<i>Rosa FLOWER CARPET PINK</i>	not light pink
EP	5	<i>Euryops pectinatus</i> Wildis	Euryops Daisy
W	5	<i>Westringia Menziesii</i> Light	Coast Rosemary
D	5	<i>Dialys vegea</i>	Fortnight Lily
N	5	<i>Nandina Gulf Stream</i>	Heavenly Bamboo
M	5	<i>Myrtus communis compacta</i>	Myrtle
IC	5	<i>Ilex cornuta rotunda</i>	Low Holly
EC	5	<i>Escallonia compacta</i>	
CC	5	<i>Correa Carmine Belle</i>	Australian Fuchsia
LO	5	<i>Laropetalum Razzleberry</i>	
P	5	<i>Phormium Platt's Block</i>	Medium Flax
GROUND COVERS			
L	1	<i>Lantana montevidensis</i>	Purple Lantana
E	1	<i>Erigeron korvinskianus</i>	Santa Barbara Daisy
S	1	<i>Salvia leucantha</i>	Mex. Sage
H	1	<i>Carex testacea</i>	Sedge
V	1	<i>Tulbaghia violacea</i>	Society Garlic
Lawn	1	Turf Tall Fescue	
R	1	<i>Rosmarinus Huntington Carpet</i>	Low Rosemary

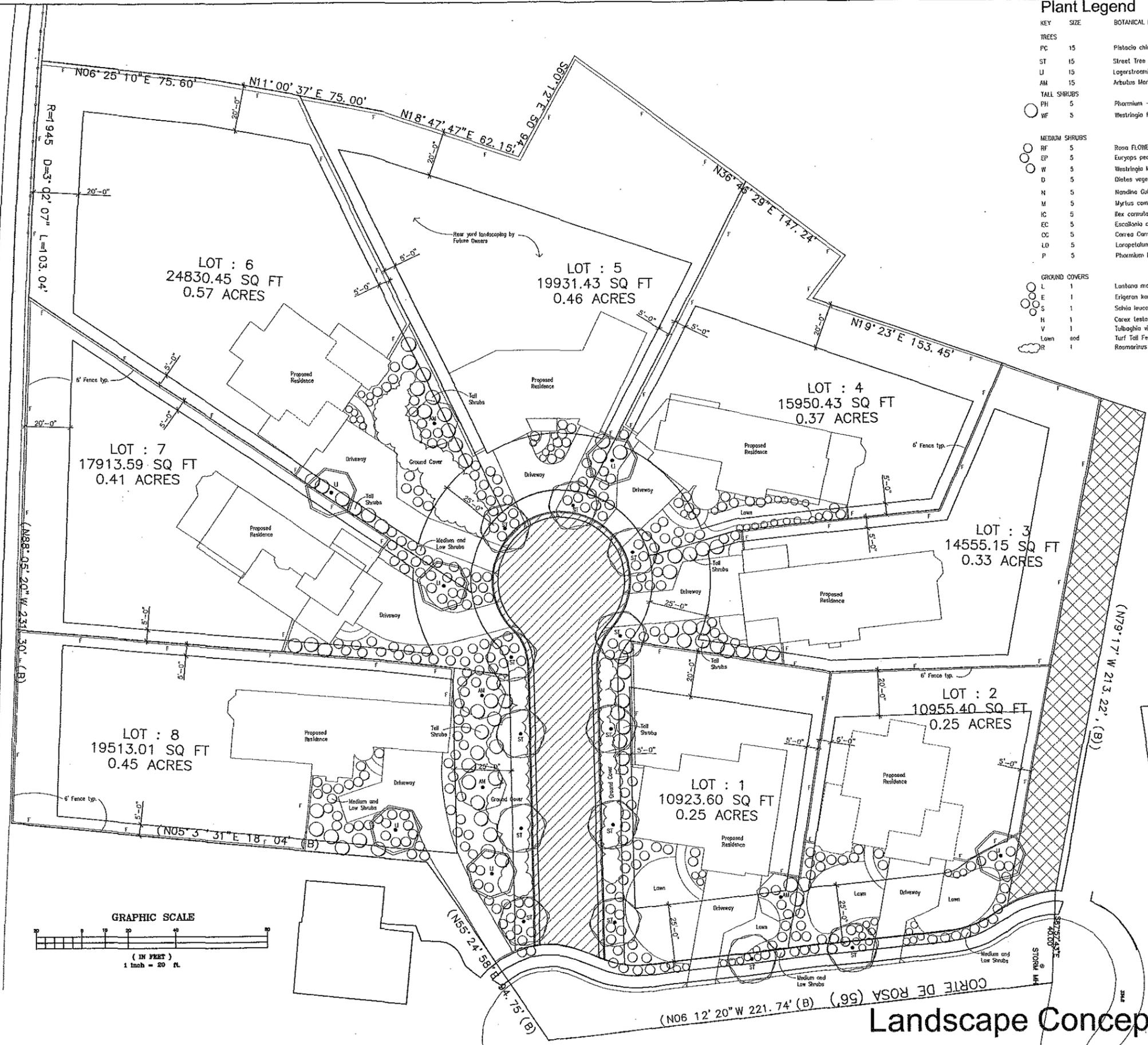
CONCEPTUAL LANDSCAPE PLAN



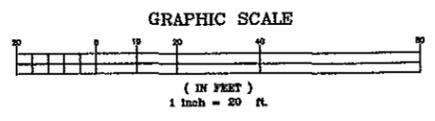
RICHARD HARO
DRAFTING and PLANNING, INC.
849 S. MCCLINCEY LANE, CAMPBELL, CA, 95008
(408) 371-7300

CORTE DE ROSA LLC
750 UNIVERSITY AVE
LOS GATOS CA

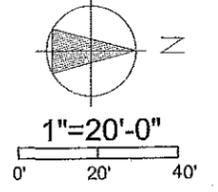
1-20-08
CL
1" = 20'-0"
CORTE DE ROSA
6.0



CAMDEN AVENUE
(WIDTH VARIES)



Gregory Lewis
Landscape Architect
#2176
736 Park Way
Santa Cruz, CA 95065
(831) 425-4747
FAX (831) 425-1107
lewislandscape@sbcglobal.net



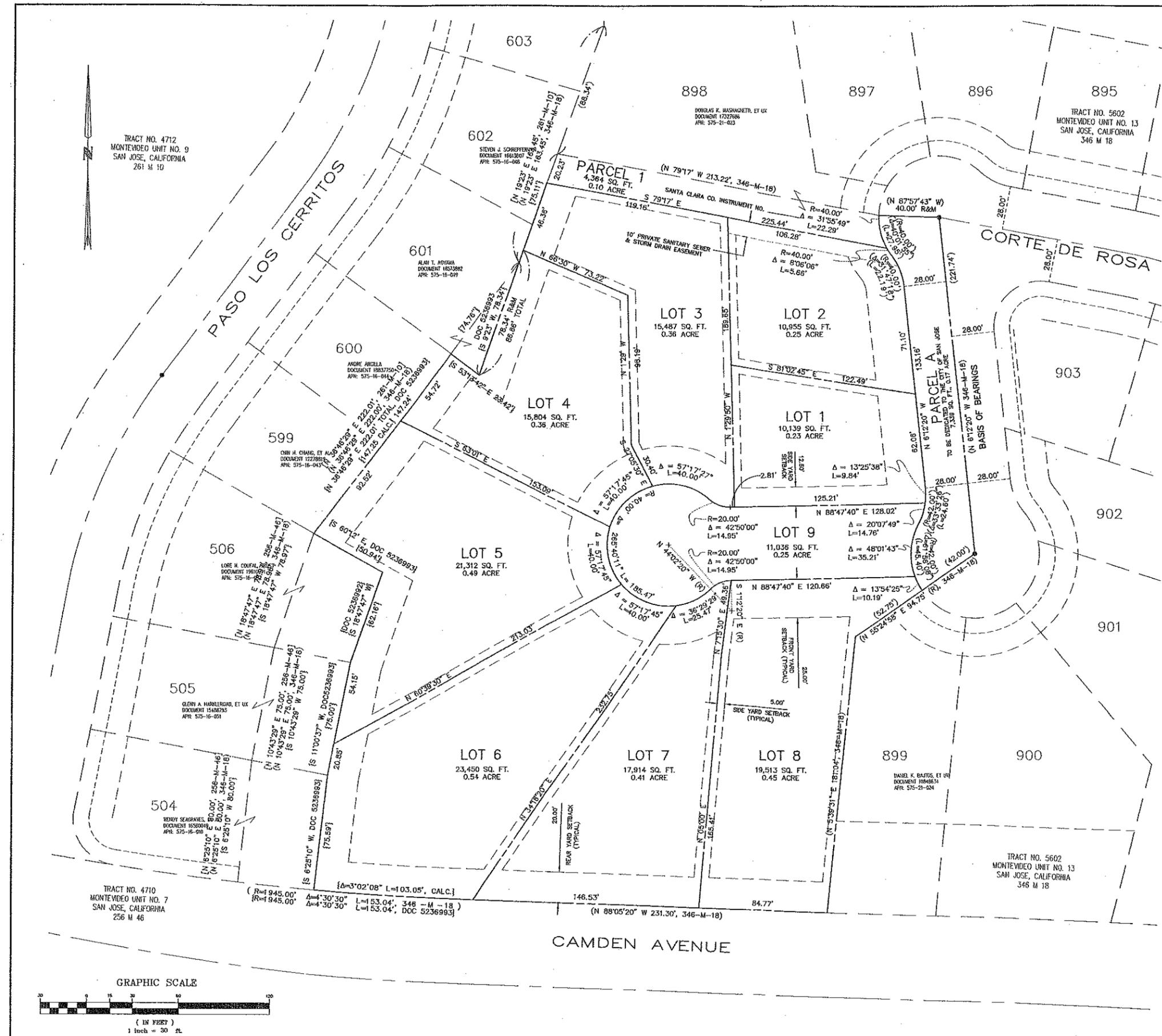
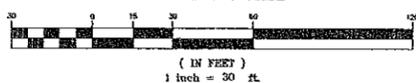
Landscape Concept

TRACT NO. 4712
MONTEVIDEO UNIT NO. 9
SAN JOSE, CALIFORNIA
261 M 10



TRACT NO. 4710
MONTEVIDEO UNIT NO. 7
SAN JOSE, CALIFORNIA
256 M 46

GRAPHIC SCALE



PROJECT INFORMATION

OWNER/APPLICANT: CORTE DE ROSA HOMES LLC
750 UNIVERSITY AVENUE, #150
LOS GATOS, CA 95032-7697

CIVIL ENGINEER: BOWMAN AND WILLIAMS
1011 CEDAR STREET
SANTA CRUZ, CA 95060

ARCHITECT: RICHARD HARO DRAFTING & PLANNING INC.
P.O. BOX 100429
CAMPBELL, CA 95011-0429

WATER SUPPLY: SAN JOSE WATER COMPANY
110 TAYLOR STREET
SAN JOSE, CA 95198-0001

SEWER SERVICE: CITY OF SAN JOSE
200 EAST SANTA CLARA STREET, 4TH FLOOR
SAN JOSE, CA 95113

EXISTING ZONING: R-1-5 SINGLE FAMILY RESIDENCE ZONING DISTRICT

PROPOSED REZONING: (PD) PLANNED DEVELOPMENT ZONING DISTRICT

EXISTING USE: CITY OF SAN JOSE PARKLAND

PROPOSED USE: 8 SINGLE FAMILY HOMES AND 1 PRIVATE STREET

AREAS OF INUNDATION: NO AREA WITHIN PROJECT BOUNDARY ARE LOCATED WITHIN 100 YEAR FEMA FLOOD PLANE

EXISTING PARCEL	SQUARE FEET (SF)	ACRES
APN 575-16-053	157,311	3.61

AREA TABULATION

COMMON LOT (PRIVATE STREET)		
LOT	SF	ACRES
LOT 9	11,036	0.25

PARCEL FOR DEDICATION TO CITY		
PARCEL	SF	ACRES
PARCEL A	7,339	0.17

LOT LINE ADJUSTMENT		
PARCEL	SF	ACRES
PARCEL 1	4,364	0.10

SUBDIVISION LOTS		
LOT	SF	ACRES
LOT 1	10,139	0.23
LOT 2	10,955	0.25
LOT 3	15,487	0.36
LOT 4	15,804	0.36
LOT 5	21,312	0.49
LOT 6	23,450	0.54
LOT 7	17,914	0.41
LOT 8	19,513	0.45
SUBTOTAL	134,573	3.09



BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE CENTER LINE OF CORTE DE ROSA BETWEEN FOUND MONUMENTS AS SHOWN ON THIS MAP AND AS SHOWN ON TRACT NO. 5602, MONTEVIDEO, UNIT NO. 15, FILED IN BOOK 346 OF MAPS AT PAGE 17 AND 18, SANTA CLARA COUNTY RECORDS.

NORTH 08°12'20" WEST

APN 575-16-053

BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS 1011 CEDAR STREET SANTA CRUZ, CA 95060 (531) 426-3560		TENTATIVE MAP CORTE DE ROSA SUBDIVISION	
REGISTERED CIVIL ENGINEER NO. 42666		HOWELL AND McNEIL DEVELOPMENT LLC CORTE DE ROSA SAN JOSE, CALIFORNIA	
SCALE 1"=30'	DRAWN CMM	JOB NO. 23981	SHEET
DATE 18 AUG 2008	CHECKED JRH	INDEX SAN JOSE	1.0
DESIGN CMM	DWG NAME TENTATIVEMAP	FILE NO. 23981	OF