

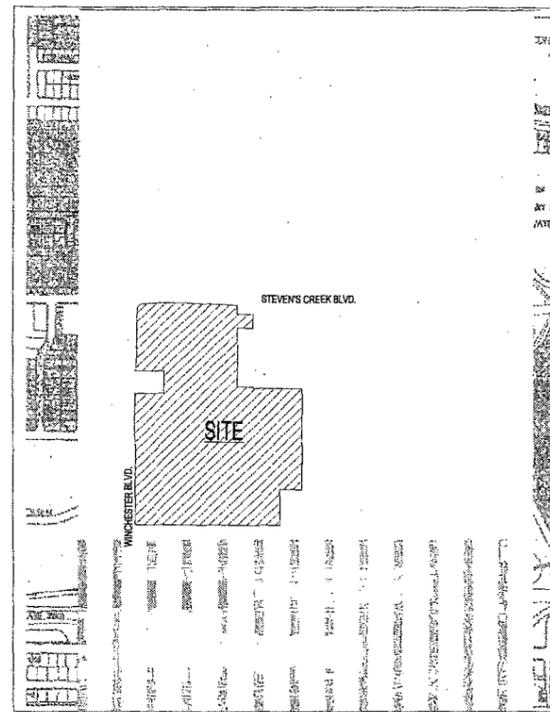
FEDERAL REALTY INVESTMENT TRUST

SANTANA ROW SAN JOSE, CALIFORNIA

AMENDMENT TO PLANNED DEVELOPMENT ZONING PDCSH-97-06-036, AS AMENDED BY PDCSH-00-09-095, PDCSH 01-02-023, PDCSH 02-01-005, PDC 03-083, PDC05-030 AND CITY FILE NO. PDC07-095

TABLE OF CONTENTS

SHEET	DESCRIPTION
1	TITLE SHEET
2A	LAND USE PLAN (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
2B	LAND USE PLAN (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
2C	LAND USE PLAN (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
2D	LAND USE PLAN (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
3	INTENTIONALLY OMITTED
4A	CONCEPTUAL GRADING AND DRAINAGE PLAN (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
4B	CONCEPTUAL GRADING AND DRAINAGE SECTIONS (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
5	CONCEPTUAL BUILDING ELEVATIONS (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
6A	CONCEPTUAL LANDSCAPE STREET PLANS & SECTIONS (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
6B	CONCEPTUAL LANDSCAPE STREET PLANS & SECTIONS (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
7A	CONCEPTUAL PARK PLANS (GENERAL DEVELOPMENT PLAN EXHIBIT-C)
7B & 7C	PARK PLANS DETAIL (GENERAL DEVELOPMENT PLAN EXHIBIT-C)



1 VICINITY MAP
1-B SCALE: 1" = 500'

PURPOSE OF PLANNED DEVELOPMENT REZONING

The purpose of the Planned Development Rezoning is to revise Sheet 2B to clarify the setbacks and lots/building uses for the project site in accordance with the Development Standards listed on Sheet 2C, and to affirm the conversion of 190 hotel rooms to approximately 60,000 square feet of office space on lot 2 and the conversion of up to 229 residential dwelling units to approximately 80,000 square feet of office space.

GENERAL

OWNER / APPLICANT: FEDERAL REALTY INVESTMENT TRUST
3055 OLIN AVENUE, SUITE 2100
SAN JOSE, CA 95128

OWNER / APPLICANT: FEDERAL REALTY INVESTMENT TRUST
1626 EAST JEFFERSON STREET
ROCKVILLE, MD. 20852
TEL. (301) 998-8100

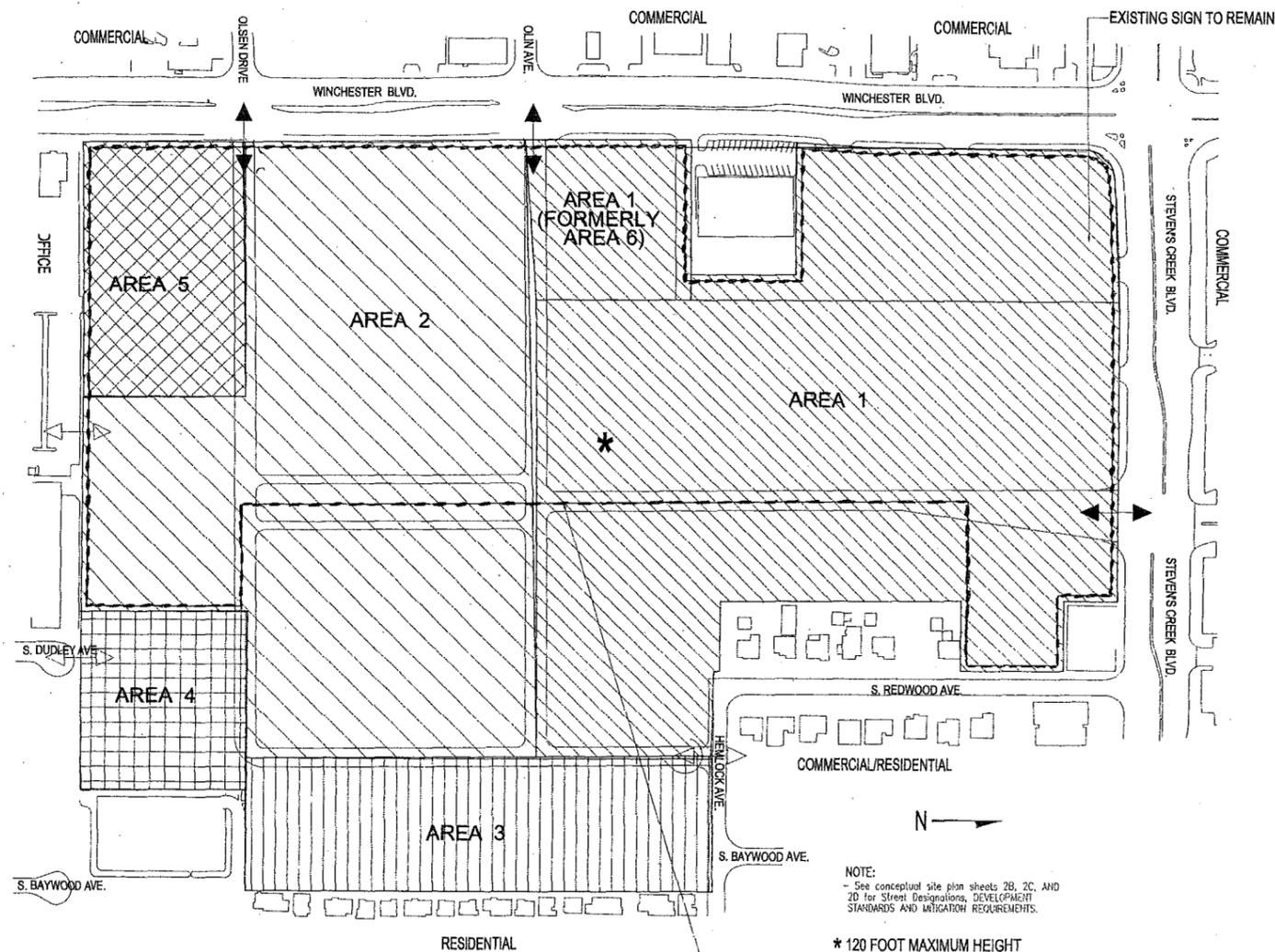
ARCHITECTURE & PLANNING: STREET-WORKS
132 KING STREET
ALEXANDRIA, VIRGINIA 22314
TEL. (703) 837-1630

CIVIL ENGINEERING: BRIAN KANGAS FOULK
981 RIDDER PARK DRIVE, SUITE 100
SAN JOSE, CA 95131
TEL. (408) 467-9100

PLAN SET REVISIONS

NO.	DESCRIPTION	DATE
1	PD Rezoning PDC05-030 approved	12/05/06
2	Planned Development Zoning PDC08-095- submittal #1	11/08/07
3	Planned Development Zoning PDC08-095- submittal #2	04/03/08

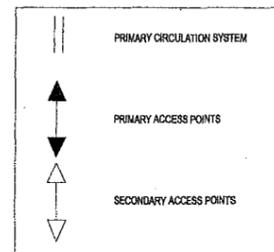
CONSULTANTS:



NOTE:
- See conceptual site plan sheets 2B, 2C, AND 2D for Street Designations, DEVELOPMENT STANDARDS AND MITIGATION REQUIREMENTS.

* 120 FOOT MAXIMUM HEIGHT

TWO OTHER 120 FOOT BUILDINGS TO BE LOCATED WITHIN DASHED BOUNDARY



**CONCEPTUAL LAND USE BREAKDOWN BY AREA
TOWN & COUNTRY**

AREA	RESIDENTIAL (DWELLING UNITS)	COMMERCIAL (SQUARE FOOTAGE)	HOTEL (ROOMS)	PARKING SPACES
1	300 - 400	350,000 - 550,000	214	2,500 - 3,500
2	600 - 750	175,000 - 300,000	0	2,000 - 2,500
3	0 - 100	0	0	100 - 200
4	0 - 150	0 - 100,000	0	150 - 300
5	0	0 - 200,000	0	250 - 350
TOTALS	1,182	832,500	214 MAX	5,000 - 6,500

RESIDENTIAL USES MAY BE TRANSFERRED BETWEEN AREAS.

EXISTING STATEMENTS AND TABLES

GENERAL PLAN:	REGIONAL COMMERCIAL/ GENERAL COMMERCIAL
EXISTING ZONING:	A(PD) PLANNED DEVELOPMENT
PROPOSED ZONING:	A(PD) PLANNED DEVELOPMENT
SITE AREA:	40.788 GROSS ACRES 40.788 NET ACRES
PUBLIC R.O.W.	0.0 ACRES
NO. RESIDENTIAL UNITS:	1,601 DU (OR 1,411 D.U., if second hotel is not built)
NO. HOTEL UNITS:	404 ROOMS MAX. (OR 214 rooms max. if second hotel is not built)
OVERALL RESIDENTIAL DENSITY:	39.2 D.U./ACRE OVERALL AVERAGE
COMMERCIAL SQ. FT.:	695,000 S.F. GROSS BUILDING AREA
PKG SPACES PROV.:	5,500 - 6,500 SPACES (1.3 SPACE/RESIDENTIAL UNIT)
LOADING SPACES PROV.:	21

DEVELOPMENT SCHEDULE

START:	SPRING 2007
COMPLETION	UNKNOWN

PROPOSED STATEMENTS AND TABLES

GENERAL PLAN:	REGIONAL COMMERCIAL/ GENERAL COMMERCIAL
EXISTING ZONING:	A(PD) PLANNED DEVELOPMENT
PROPOSED ZONING:	A(PD) PLANNED DEVELOPMENT
SITE AREA:	40.788 GROSS ACRES 40.788 NET ACRES
PUBLIC R.O.W.	0.0 ACRES
NO. RESIDENTIAL UNITS:	1,182
NO. HOTEL UNITS:	214 rooms (already constructed)
OVERALL RESIDENTIAL DENSITY:	29.0 D.U./ACRE OVERALL AVERAGE
COMMERCIAL SQ. FT.:	832,500 S.F. GROSS BUILDING AREA
PKG SPACES PROV.:	5,000 - 6,500 SPACES (1.3 SPACE/RESIDENTIAL UNIT)
LOADING SPACES PROV.:	21

DEVELOPMENT SCHEDULE

START:	SPRING 2008
COMPLETION	UNKNOWN

SEAL:

PROJECT:

TOWN & COUNTRY
GENERAL

DEVELOPMENT PLAN
EXHIBIT "C"

No.

ISSUE/REVISIONS

SCALE: AS NOTED

DATE: Nov. 8, 2007; revised Apr. 3, 2008

PROJECT NO.: 69450-10

PLOT DATE:

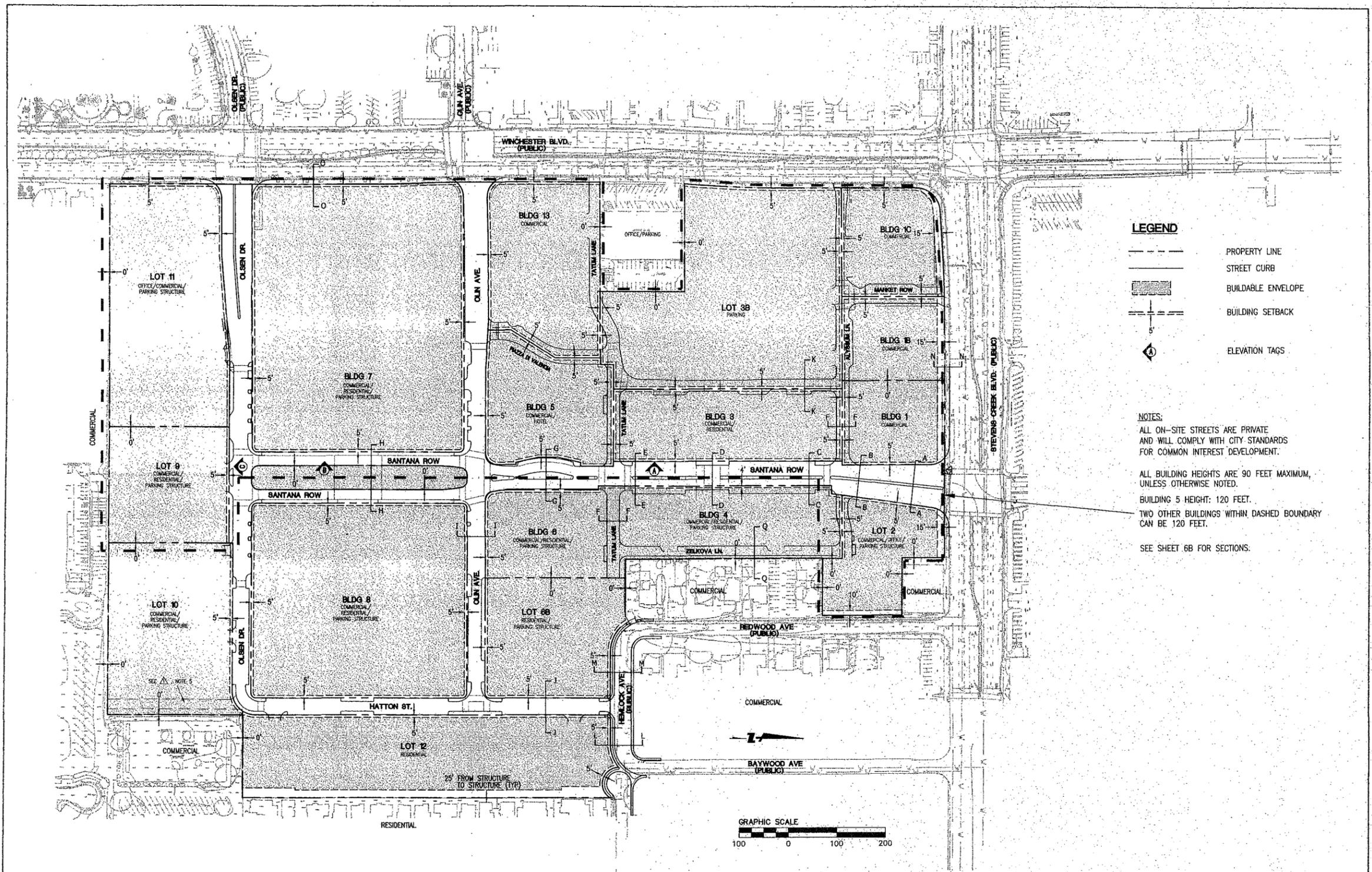
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LAND USE PLAN

SHEET TITLE:

SHEET 2A OF 7



LEGEND

- PROPERTY LINE
- STREET CURB
- BUILDABLE ENVELOPE
- BUILDING SETBACK
- ELEVATION TAGS

NOTES:

ALL ON-SITE STREETS ARE PRIVATE AND WILL COMPLY WITH CITY STANDARDS FOR COMMON INTEREST DEVELOPMENT.

ALL BUILDING HEIGHTS ARE 90 FEET MAXIMUM, UNLESS OTHERWISE NOTED.

BUILDING 5 HEIGHT: 120 FEET.

TWO OTHER BUILDINGS WITHIN DASHED BOUNDARY CAN BE 120 FEET.

SEE SHEET 6B FOR SECTIONS.

- SETBACK CLARIFICATIONS:**
1. SETBACKS BETWEEN NEIGHBORING ADJACENT COMMERCIAL USES (0' TYP.) HAVE BEEN ADDED TO THE PLAN.
 2. ADDITIONAL SETBACK CALLOUTS TO INTERIOR PROPERTY LINES (5' TYP.) HAVE BEEN ADDED TO THE PLAN.
 3. SETBACKS TO REDWOOD AVE. AND HEMLOCK AVE. HAVE BEEN MODIFIED TO: 10' FOR REDWOOD AVE. AND 5' FOR HEMLOCK AVE., PER MINIMUM SETBACK NOTE 1; DEVELOPMENT STANDARDS, SHEET 2C.
 4. LOT/BUILDING USES HAVE BEEN CLARIFIED.
 5. LOCATION AND WIDTH OF CONNECTING STREET FOR ACCESS TO TISCH WAY TO BE FINALIZED AT PD PERMIT STAGE. THE STATUS OF THIS STREET AS A PRIVATE OR PUBLIC STREET TO BE FINALIZED AT PD PERMIT OR REZONING THAT AFFECTS THIS AREA OF THE SITE.

CONSULTANTS:

BKF
ENGINEERS / SURVEYORS / PLANNERS
1650 TECHNOLOGY DRIVE, SUITE 650
SAN JOSE, CALIFORNIA 95110
PHONE (408) 467-9100 FAX (408) 467-9199

4/3/08 - SETBACK CLARIFICATIONS

PROJECT:
TOWN & COUNTRY GENERAL DEVELOPMENT PLAN EXHIBIT "C"

ISSUE/REVISIONS

SCALE: AS NOTED

DATE: SEP 18, 2007

PROJECT NO.: 06450-10

PLOT DATE:

FILE PATH:

DRAWING TITLE:
LAND USE PLAN

SHEET TITLE:
SHEET 2B OF 7

Street-Works

Development & Consulting Group

 A Division of PEG/Perk LLC
30 Glenn Street
White Plains, NY 10603
914.949.6505

CONSULTANTS:

[Empty box for consultant information]

[Empty box for consultant information]

SEAL:

PROJECT:
TOWN & COUNTRY
GENERAL
DEVELOPMENT PLAN
EXHIBIT "C"

No. _____
ISSUE/REVISIONS

SCALE: AS NOTED

DATE: Nov. 8, 2007; revised Apr. 3, 2008

PROJECT NO.: 89450-10

PLOT DATE:

FILE PATH:

DRAWING TITLE:
LAND USE PLAN

SHEET TITLE:
SHEET 2C OF 7

GENERAL DEVELOPMENT PLAN NOTES
Town & Country Shopping Center Redevelopment Project
File No: FDCSH 97-06-036

1. Mitigation for Geologic and Seismic Impacts

(a) All buildings and structures shall be designed to conform to Uniform Building Code Zone 4 guidelines.

(b) A design-level geo-technical/foundation investigation shall be completed to address the geologic hazards on the site. This investigation shall be completed prior to the approval of Grading Permits for the specific buildings and structures. New buildings and structures shall be designed in accordance with the recommendations of this report.

2. Mitigation for Hydrology and Water Quality Impacts

(a) The project shall comply with the NPDES General Construction Activity Storm Water Permit, administered by the State Regional Water Quality Control Board. Prior to construction grading, the applicant shall file a Notice of Intent (NOI) to comply with the General Permit and shall prepare a Storm Water Pollution Prevention Plan (SWPPP), which addresses measures that will be implemented to control construction and post-construction runoff. The following measures shall be included in the SWPPP:

(i) No non-storm water discharges shall be made to the storm water system.

(ii) Monitoring of discharges to the storm water system.

(b) The project shall submit a copy of the draft SWPPP to the City of San Jose, Department of Public Works for review and approval prior to the issuance of a Grading Permit.

(c) The project grading plans shall conform to the drainage and erosion control standards adopted by the City of San Jose and shall be approved by the City Public Works Department. The following specific measure shall be implemented to prevent storm water pollution during construction:

(i) Restriction of grading to the dry season (April-October) or use of Best Management Practices for wet season erosion control.

(d) The project developer shall install filter inlet inserts in all new and existing storm drainage inlets on the project site. These filters shall be installed, maintained, and replaced by a qualified consultant hired by the property owner. Copies of all inspection and maintenance records shall be provided to the City upon request.

(e) The project developer shall implement a maintenance program for these filter inlet inserts that includes, but is not limited to, the following measures:

(i) The filter inlet inserts shall be installed by a qualified individual in conformance with the manufacturer's specifications. Installation records shall be maintained by the project developer and any subsequent property owners.

(ii) The property owner must keep a record available for inspection on the project site of all inspections and maintenance of the filter inlet inserts.

(iii) Paved surfaces subject to runoff should be swept regularly during dry periods to remove dirt, silt, or other loose debris.

(iv) The filter inlet inserts shall be inspected monthly between September and April of each year, and the absorbent material shall be replaced by a qualified individual, as necessary, to ensure that the filters are functioning properly.

(v) The absorbent material shall be replaced by a qualified individual in conformance with the manufacturer's specifications. Care shall be taken to avoid spilling the contaminated material into the drainage system.

(vi) Used absorbent material shall be disposed of in conformance with all applicable City, state, and federal regulations.

(vii) The property owner shall keep a sufficient amount of absorbent material on hand to replace the amount of installed absorbent plus a reserve to handle emergencies.

3. Mitigation for Impacts to Archaeological and Cultural Resources

In the event that archaeological traces are encountered, all construction within a 100-foot radius of the find shall be halted, the Director of Planning shall be notified, and an archaeologist shall be retained to examine the find and make appropriate recommendations to the Director of Planning.

If human remains are discovered, the Santa Clara County Coroner shall be notified. The Coroner shall determine whether or not the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission, who shall attempt to identify descendants of the deceased Native American.

If the Director of Planning finds that the archaeological find is not a significant resource, work shall resume only after the submittal of a preliminary archaeological report and after provisions for reburial and ongoing monitoring are accepted. Provisions for identifying descendants of a deceased Native American and for reburial would follow the protocol set forth in "Appendix K" of the CEQA Guidelines. If the site is found to be a significant archaeological site, a mitigation program will be prepared and submitted to the Director of Planning for consideration and approval in conformance with the protocol set forth in "Appendix K" of the CEQA Guidelines.

A final report shall be prepared when a find is determined to be a significant archaeological site, and/or when Native American remains are found on the site. The final report shall include background information on the completed work, a description and list of identified resources, the disposition and duration of these resources, any testing, other recovered information, and conclusions.

4. Mitigation for Short-term Air Quality Impacts due to Construction Activities

The following measures shall be implemented during demolition of the existing structures and during all phases of construction to minimize short-term air quality impacts:

(a) During demolition, dust-proof chutes will be used, whenever possible, for loading construction debris onto trucks.

(b) During demolition, watering will be used to control dust generation of structures and the break-up of pavement materials.

(c) Internal haul roads shall be paved, sealed, or stabilized to control dust from truck traffic. Paved haul roads shall be regularly swept and cleaned to remove accumulated dust and debris.

(d) The recycling of demolition materials is encouraged as it would reduce the number of truck trips to the site during construction. It is possible that materials from the demolition of the existing shopping center buildings and pavement could be recycled after being crushed on the project site. The use of a crusher device on the site is subject to regulation by the BAAQMD.

(e) All active construction areas shall be watered twice daily, or more often if necessary. Increased watering frequency shall be required whenever wind speeds exceed 15 miles-per-hour.

(f) Pave, apply water three times daily, or apply non-toxic soil stabilizers on all unpaved access roads and parking and staging areas at construction sites.

(g) Cover stockpiles of debris, soil, sand, and any other materials that can be windblown. Trucks transporting these materials shall be covered.

(h) Damp sweep daily, or more often if necessary, all paved construction areas and adjacent streets of dust and debris.

(i) Subsequent to clearing, grading, or excavating, exposed portions of the site shall be watered, landscaped, treated with soil stabilizers, or covered as soon as possible. Hydroseeded or apply (non-toxic) soil stabilizers to inactive construction areas and previously graded areas inactive for ten days or more.

(j) Traffic speeds shall not exceed 15 m.p.h. on unpaved roads.

(k) Installation of sandbags or other erosion control measures to prevent silt runoff to public roadways.

(l) Replanting of vegetation in disturbed areas as soon as possible after the completion of construction.

5. Mitigation for Construction Noise Impacts

The following measures shall be implemented during all phases of construction on the project site:

(a) Demolition and construction activities on- or off-site, within 500 feet of sensitive receptors, such as residential development, shall be restricted to the hours of 7 AM to 7 PM Monday through Friday, non-holidays only.

(b) All internal combustion engine for construction equipment used on the site shall be properly muffled and maintained.

(c) All stationary, noise-generating construction equipment, such as air compressors and portable power generators, shall be located as far as practical from existing residences and businesses.

(d) The Director of Planning and residential neighborhoods proximately located to the project site shall be notified in writing by the developer of the construction schedule at least seven days prior to the start of construction.

(e) A noise disturbance coordinator shall be designated who is responsible for responding to complaints about construction noise. The telephone number of the disturbance coordinator shall be posted in a conspicuous place at the construction site and shall also be included in the notice sent to neighbors and the Director of Planning regarding the construction schedule.

6. Mitigation for Post-Construction Noise Impacts

Prior to the approval of any Planned Development Permits for the project, a detailed acoustical analysis shall be prepared and the recommendations for noise attenuation shall be incorporated into the design of the residential buildings proposed for the project site to reduce the interior noise levels to 45 dBA, in accordance with City General Plan policies. Design features that could provide noise attenuation include sound-rated windows, forced-air mechanical ventilation, and special building construction techniques such as insulation and sound-proofing.

7. Mitigation to Potential Sanitary Sewer Service Impacts

Should it be determined prior to the issuance of a Planned Development Permit that the existing sanitary sewer system does not contain sufficient capacity to serve the project, the project shall implement some or all of the following mitigation measures, as necessary:

(a) Up-size the existing eight-inch sanitary sewer line that runs from Stevens Creek Boulevard to the existing 10-inch sanitary sewer line at the adjacent Valley Fair Mall.

(b) Redesign of the project to connect to both the existing 10-inch sewer line at Valley Fair Mall and the six-inch line that runs under Interstate 280 from Dudley Avenue to Moorpark Avenue.

(c) Up-size the existing 10-inch sanitary sewer line that runs through Valley Fair Mall from Stevens Creek Boulevard to Forest Avenue.

(d) Construct a new sanitary sewer line along Winchester Boulevard from the project site to Forest Avenue.

8. Mitigation for Impacts to Burrowing Owls

In conformance with federal and state regulations regarding the protection of raptors, a pre-construction survey for burrowing owls shall be completed in accordance with appropriate protocols no more than 30 days prior to the start of any phase of construction on the vacant portion of the site. If burrowing owls are not located during these surveys, then no additional action shall be warranted.

However, if breeding or resident owls are located on, or immediately adjacent to the project site, a construction-free buffer zone around the active burrow shall be established as determined by the ornithologist, in consultation with the California Department of Fish and Game (CDFG). No construction activities shall proceed that will disturb breeding owls.

If resident or breeding owls are located on the project site during pre-construction surveys, a site-specific mitigation plan shall be prepared. This plan shall include: performing any construction in the vicinity of the nests outside the breeding season; or, alternatively, establishing a construction-free buffer zone around the nest. Construction shall only proceed after owl chicks have fledged and are independent of any immediate nesting area. No construction activities shall proceed that will disturb breeding owls.

Any relocation site(s) shall be monitored at least three times during the breeding season, and for a period of three years following the relocation. Monitoring results shall be provided to the CDFG and the U.S. Fish and Wildlife Service as part of the Permit requirements.

The project developer has entered into a contract with the Department of Fish and Game in conformance with the mitigation measures described above. That document is entitled "MITIGATION AGREEMENT BETWEEN FRIT SAN JOSE TOWN AND COUNTRY VILLAGE, LLC, a California limited liability company and the CALIFORNIA DEPARTMENT OF FISH AND GAME Ref. No. 1802-2000-007-3.

9. Mitigation for the Removal of Existing Trees on the Project Site

All trees that are removed shall be replaced by new trees at the following ratios based on the trunk size of the existing trees:

Diameter of Existing Tree	No. of Replacement Trees	Size of Replacement Trees
> 18-inch Diameter	Four	24inch Box
12-17 inch Diameter	Two	24inch Box
< 12-inch Diameter	One	15-gallon

10. Mitigation for Hazardous Material Impacts

Prior to the issuance of a Planned Development Permit, for development of any portion of the site currently occupied by the Courtesy Chevrolet auto dealership, a detailed site assessment shall be conducted on the portion of that site that is proposed for development. The proposed project shall identify and implement remediation measures as necessary to reduce potential health risks in conformance with City, state, and federal regulations.

Prior to issuance of a PD permit for the development on a portion of the project site that is subject to a Removal Action Workplan (RAW), the RAW will be developed in conjunction with the Department of Toxic Substances Control and the City of San Jose requirements.

The final RAW dated November 10, 1999 was approved by the California Department of Toxic Substances Control by letter dated November 17, 1999.

11. Mitigation for Transportation Impacts

I. **Stevens Creek Boulevard and Monroe Street:** Prior to the issuance of any Building Permits, the developer shall enter into and comply with the terms of a Construction Agreement for the construction of the following improvements at the intersection of Stevens Creek Boulevard and Monroe Street:

(a) The addition of a fourth eastbound through-lane on Stevens Creek Boulevard, requiring the removal and reconstruction of the existing curb, gutter, and sidewalk, and the re-paving and re-striping of the west and east approaches in the eastbound direction.

(b) The acquisition of 10 feet of right-of-way along the south side of Stevens Creek Boulevard over a distance of approximately 600 linear feet west of Monroe Street to the southbound on-ramp to Interstate 880. The additional through-lane, described above, will transition into a second lane to the southbound on-ramp to Interstate 880.

II. **Winchester Boulevard and Moorpark Avenue:** Prior to the issuance of any Building Permits, the developer shall enter into and comply with the terms of a Construction Agreement for the construction of the following improvements at the intersection of Winchester Boulevard and Moorpark Avenue:

(a) Improvement of the west-leg of the intersection, on Moorpark Avenue, to include the addition of a second exclusive left-turn lane and the conversion of the existing, shared through- and left-turn-lane to an exclusive through-only lane.

III. **Stevens Creek and Winchester Boulevards:** Prior to the issuance of any Building Permits, the developer shall enter into and comply with the terms of a Construction Agreement for the construction of the following improvements at the intersection of Stevens Creek and Winchester Boulevards:

Modifications to the south-leg of the intersection, on Winchester Boulevard, to include the addition of a second northbound left-turn lane. The south-leg of the intersection is located wholly within the City of San Jose.

IV. (a) Prior to the issuance of a Public Works Clearance, the developer shall enter into a Construction Agreement to provide at the intersection of Olin Avenue and Winchester Boulevard, double left turning lanes from southbound Winchester Boulevard, provided those improvements can be constructed within the existing right of way.

(b) Prior to the issuance of a Public Works Clearance, the developer shall enter into a Construction Agreement to provide at the intersection of Olsen Drive and Winchester Boulevard, double left turning lanes from southbound Winchester Boulevard, provided those improvements can be constructed within the existing right of way.

(c) The project shall include a traffic diversion measure in the vicinity of Baywood and Hemlock Avenues to prevent project-related automobile traffic from circulating through existing residential neighborhoods east of the project site.

V. Prior to the occupancy of any building covered by this Planned Development zoning and prior to the occupancy of any new retail building at the adjacent Valley Fair Mall, approved through Site Development Permit HSH 97-02-012, a plan implementing shuttle service between the two projects shall be adopted to the satisfaction of the Director of Planning. Shuttle vehicles shall employ a non-polluting power source, such as propane or electricity, in lieu of conventional gasoline or diesel powered vehicles.

VI. Prior to the issuance of any Planned Development Permit, the developer shall contribute to the City of San Jose \$300,000 towards a study to analyze freeway and interchange improvements in the project vicinity to the satisfaction of the Director of Public Works. In connection with Master PD Permit PDSH 98-1-074, the \$300,000 was paid to the City of San Jose.

Street-Works
Development & Consulting Group



CONSULTANTS:

SEAL:

PROJECT:

TOWN & COUNTRY
GENERAL
DEVELOPMENT PLAN
EXHIBIT "C"

ISSUE/REVISIONS

SCALE: AS NOTED

DATE: APRIL 4, 2005; Final Dec. 5, 2006

PROJECT NO.: 89450-10

PLOT DATE:

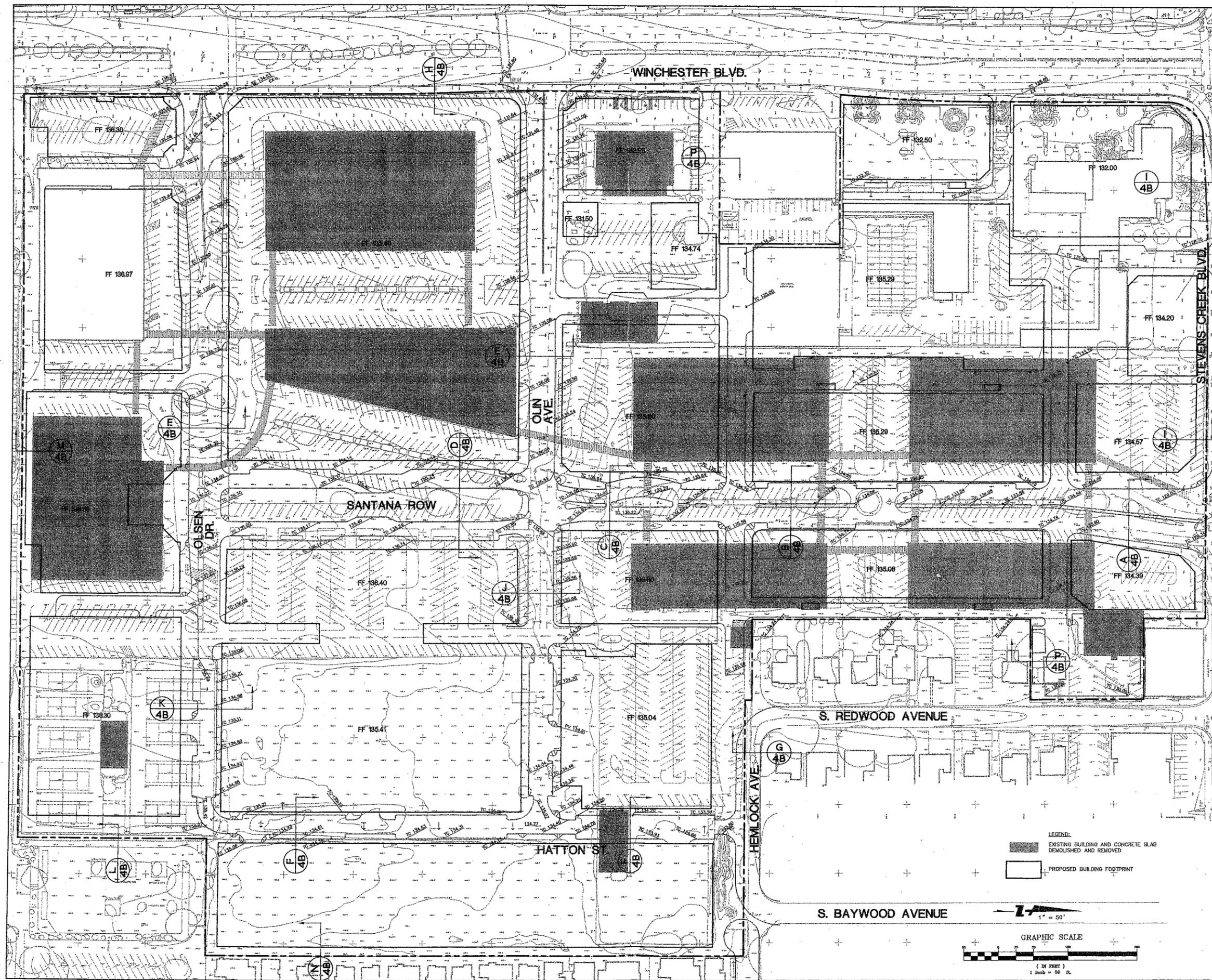
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LAND USE PLAN

SHEET TITLE:

SHEET 2D OF 7



CONSULTANTS:
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CONSULTING ENGINEERS
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San Jose, CA 95131
(408)467-9100 / fax (408)467-9199

PROJECT:
TOWN & COUNTRY
GENERAL
DEVELOPMENT PLAN
EXHIBIT "C"

No.
ISSUE/REVISIONS

SCALE: AS NOTED

DATE: APRIL 4, 2005; Final Dec. 5, 2008

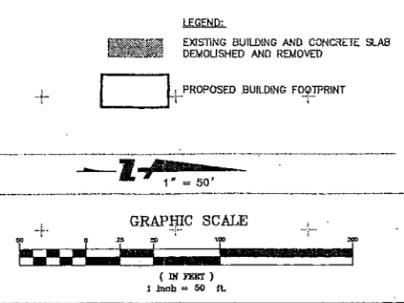
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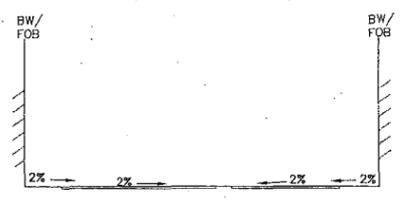
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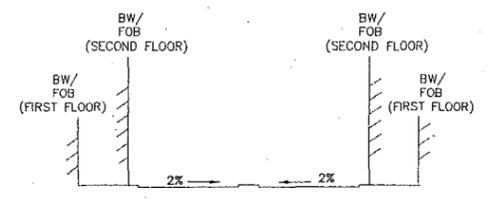
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**CONCEPTUAL
GRADING &
DRAINAGE PLAN**

SHEET TITLE:
4A OF 7

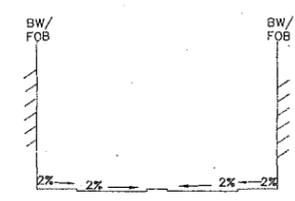




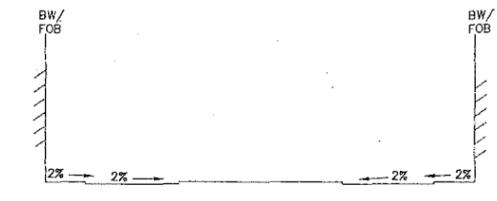
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NTS



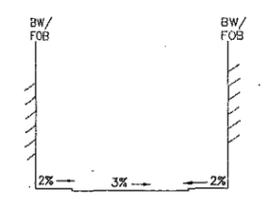
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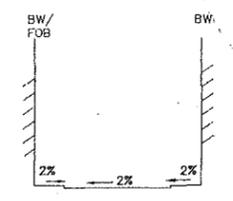
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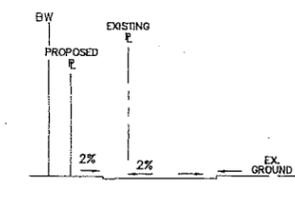
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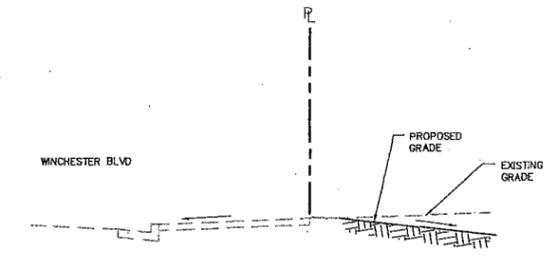
E OLIN AVE WEST OF SANTANA ROW
NTS



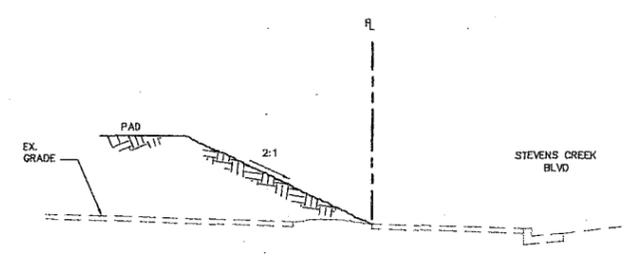
F HATTON STREET
NTS



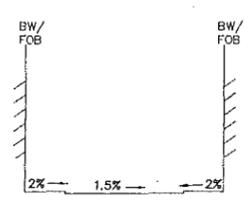
G HEMLOCK AVE. BETWEEN BAYWOOD AND REDWOOD
NTS



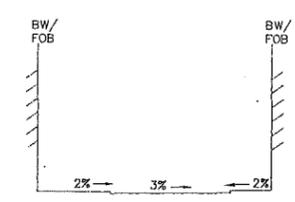
H WINCHESTER BLVD.
NTS



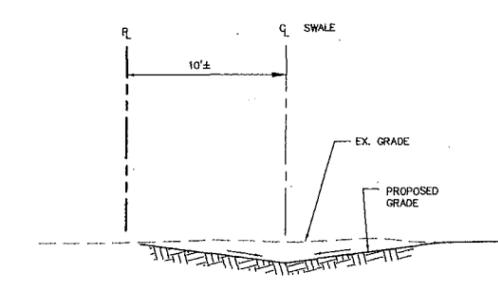
I STEVENS CREEK BLVD.
NTS



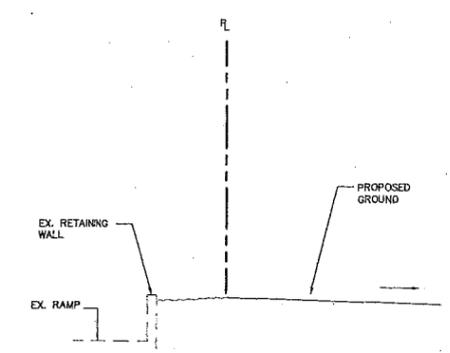
J OLIN AVE EAST OF SANTANA ROW
NTS



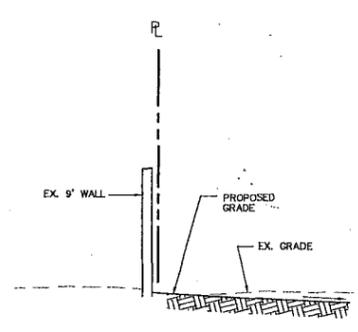
K OLSEN DR EAST OF SANTANA ROW
NTS



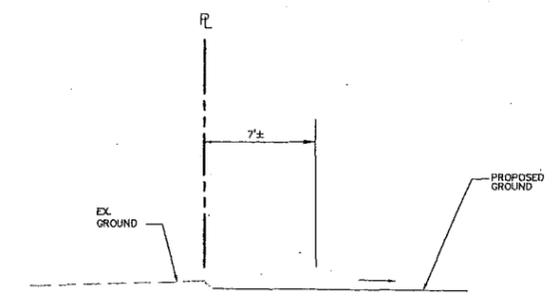
L SECTION AT PROPERTY LINE
NTS



M SECTION AT PROPERTY LINE
NTS



N SECTION AT PROPERTY LINE
NTS



P SECTION AT PROPERTY LINE
NTS

PROJECT:

TOWN & COUNTRY GENERAL
DEVELOPMENT PLAN
EXHIBIT "C"

ISSUE/REVISIONS

SCALE: AS NOTED

DATE: APRIL 4, 2005; Final Dec. 5, 2006

PROJECT NO.: 89450-87

PLOT DATE:
FILE PATH:

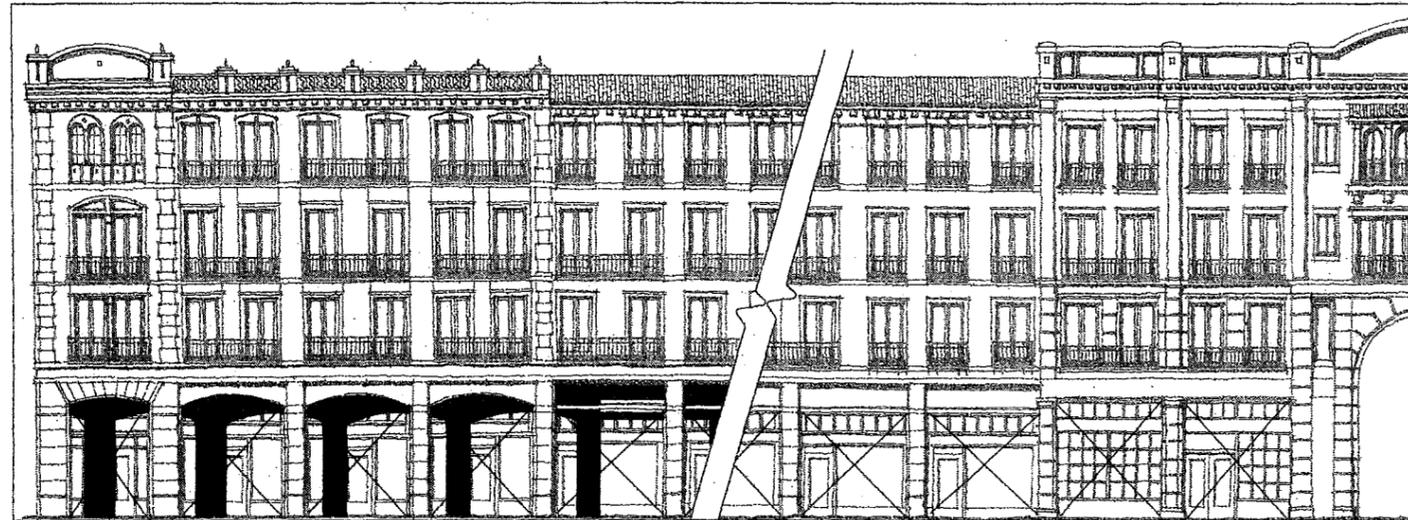
DRAWING TITLE:

SECTIONS

SHEET TITLE:

4B OF 7

CONSULTANTS:

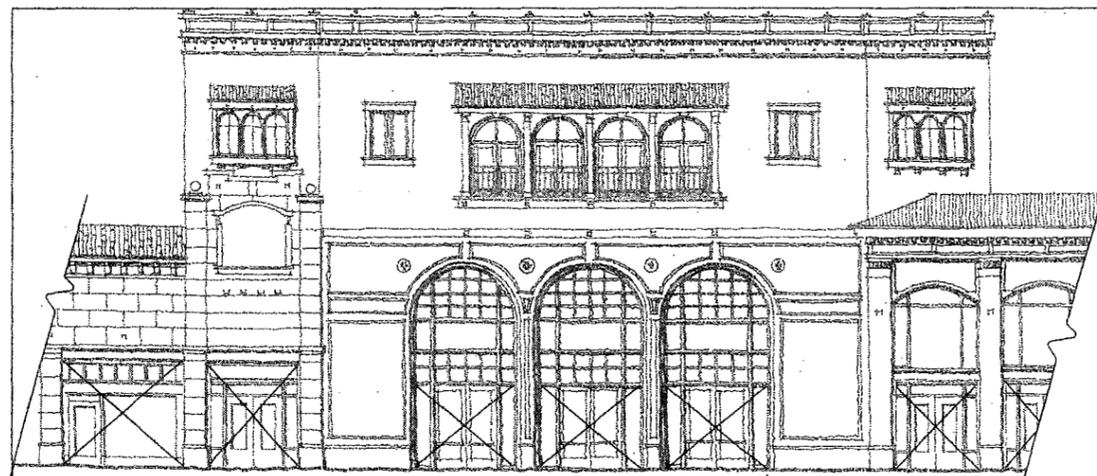


A TYP. RESIDENTIAL/COMMERCIAL MIXED-USE BUILDING ELEVATION WITH ARCADE
SCALE: 1/4" = 1'-0"

B TYP. RESIDENTIAL/COMMERCIAL MIXED-USE BUILDING ELEVATION W/O ARCADE
SCALE: 1/4" = 1'-0"

ARCHITECTURAL VOCABULARY:

THE ARCHITECTURAL DESIGN AND DETAILS ILLUSTRATED ARE CONCEPTUAL AND SUBJECT TO FURTHER REFINEMENT. THESE BUILDING ELEVATIONS ARE INTENDED TO ILLUSTRATE THE ARCHITECTURAL STYLE AND CHARACTER, AS WELL AS THE SIZE, SHAPE, MATERIALS, AND GENERAL DETAIL OF BUILDINGS. SPECIFIC BUILDING DESIGN WILL BE FINALIZED LATER. APPROPRIATE ARCHITECTURAL MATERIALS WILL BE USED THROUGHOUT THE PROJECT. THESE INCLUDE BRICK, TILE, STONE, PRE-CAST CONCRETE, STUCCO (EIFS * -EXTERIOR INSULATION FINISH SYSTEM), OR A COMBINATION OF THESE MATERIALS. NATURAL WOOD WITH A DARK STAIN IS APPROPRIATE AS AN ACCENT MATERIAL IN BALCONIES, BRACKETS, EAVES, ETC. WOOD TRIM AND THE USE OF WOOD COLUMNS IS ALSO APPROPRIATE, ALONG WITH THE USE OF WOOD SHUTTERS, PLANTER BOXES, AND AWNINGS AS ACCENT MATERIALS. THE PROJECT WILL BE DESIGNED WITH AN APPROPRIATE SAN JOSE REGIONAL VOCABULARY. THE RESIDENTIAL COMPONENT WILL BE COMPATIBLE WITH THE REMAINDER OF THE PROJECT SITE. NON-MIXED USE COMMERCIAL BUILDINGS WILL BE COMPATIBLE WITH THE REMAINDER OF THE PROJECT SITE WITH AN EMPHASIS ON A UNIQUE IDENTITY AS DEFINED BY THE TENANTS. EXPOSED PARKING GARAGE FACADES WILL BE COMPATIBLE WITH THE PROJECT SITE AND SOFTENED WITH APPROPRIATE ARCHITECTURAL MATERIALS AND LANDSCAPING.



C TYP. STAND-ALONE COMMERCIAL BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

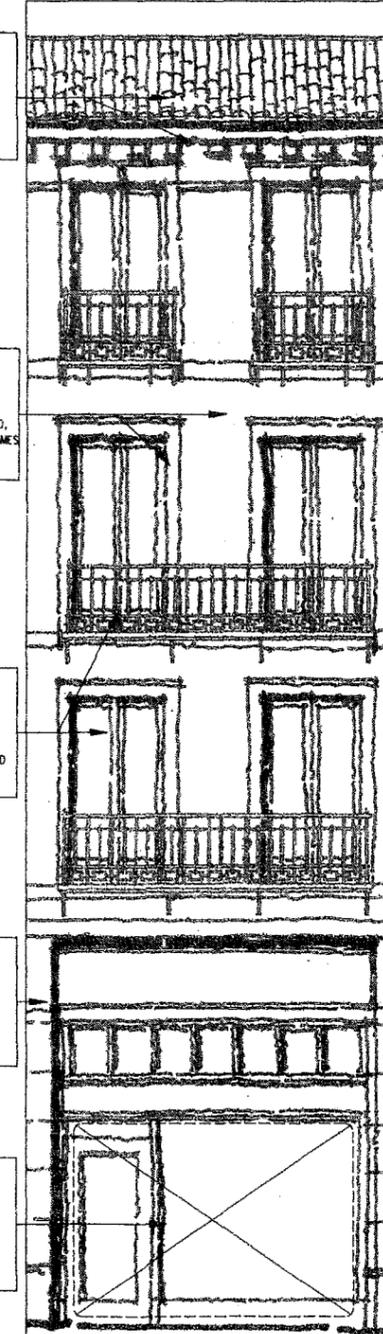
TYPICAL CORNICE AND ROOF TREATMENT MAY CONSIST OF:
-CLAY BARREL OR S-TILE
-CAST STONE BALUSTRADE
-WOOD/CAST STONE OR EIFS *
-CORNICE OR OTHER APPROPRIATE REGIONAL EXPRESSIONS.

TYPICAL WALL AND OPENING FRAME TREATMENT MAY CONSIST OF:
-STUCCO PAINTED, EIFS * PAINTED, MOSAIC TILE AND/OR BRICK WITH WOOD, CAST STONE, EIFS * - OR PAINTED FRAMES OR OTHER APPROPRIATE REGIONAL EXPRESSIONS.

TYPICAL OPENINGS AND BALCONY TREATMENT MAY CONSIST OF:
-WINDOWS AND FRENCH DOORS WITH CLEAR GLASS SET IN PAINTED METAL OR WOOD FRAMES.
-BALCONIES MAY CONSIST OF PAINTED METAL OR WOOD WITH OTHER APPROPRIATE REGIONAL EXPRESSIONS.

STREET LEVEL BASE BUILDING FRAME TREATMENT MAY CONSIST OF:
-STONE OR CAST STONE COLUMNS
-WOOD, TILE OR EIFS LINTELS AND SURROUNDS WITH OTHER APPROPRIATE REGIONAL EXPRESSIONS

NOTE:
STOREFRONT DESIGN, AWNINGS, TENANT GRAPHICS, AND OTHER STREET LEVEL BUILDING AMENITIES WILL BE SUBMITTED BY THE COMMERCIAL OCCUPANT AT THE TIME OF BUILDING PERMIT SUBMISSIONS.



PROJECT:
TOWN & COUNTRY
GENERAL
DEVELOPMENT PLAN
EXHIBIT "C"

No.
ISSUE/REVISIONS

SCALE: AS NOTED

DATE: APRIL 4, 2005; Final Dec. 5, 2006

PROJECT NO.: 88450-10

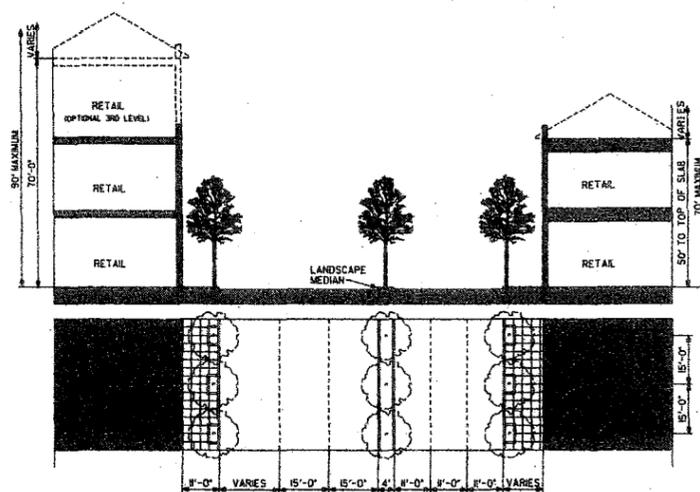
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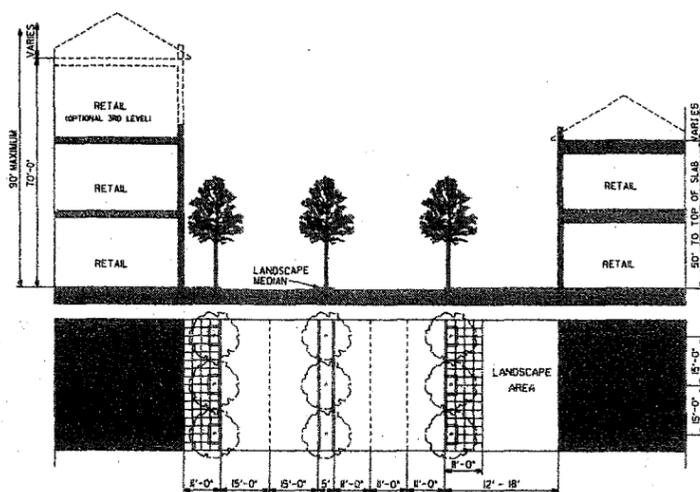
DRAWING TITLE:
**CONCEPTUAL
BUILDING
ELEVATIONS**

SHEET TITLE:
SHEET 5 OF 7

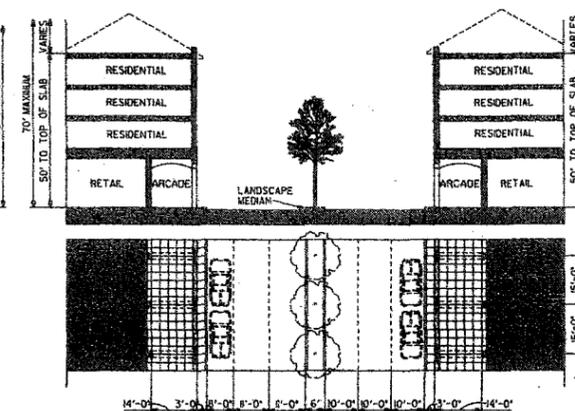
CONSULTANTS:



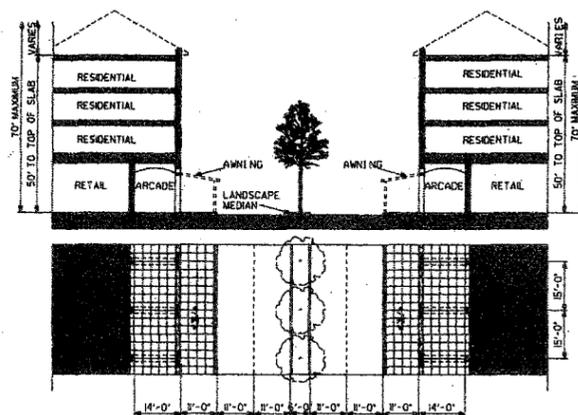
1 PLAN/SECTION - A MAIN ST. OPENING ONTO STEVEN'S CREEK
SCALE: P = 20'



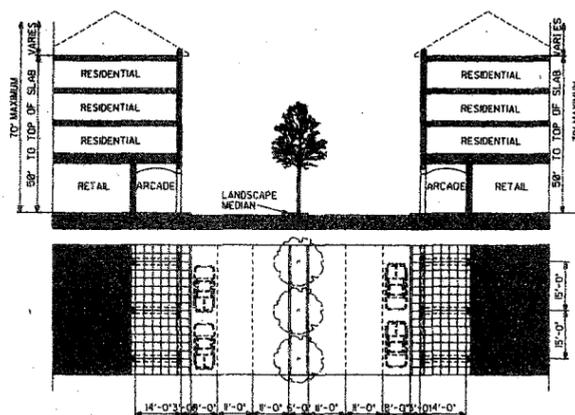
2 PLAN/SECTION - B 180 SOUTH OF STEVEN'S CREEK ON MAIN STREET
SCALE: P = 20'



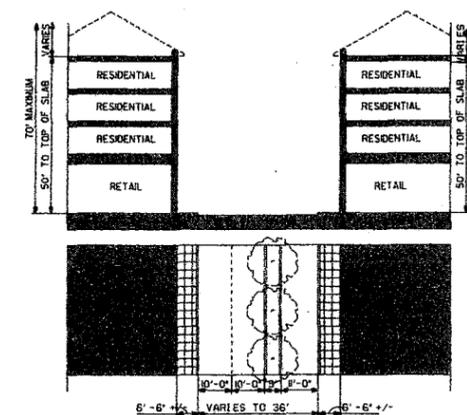
3 PLAN/SECTION - C 285 SOUTH OF STEVEN'S CREEK ON MAIN STREET
SCALE: P = 20'



4 PLAN/SECTION - D MAIN ST., 425 SOUTH OF STEVEN'S CREEK
SCALE: P = 20'



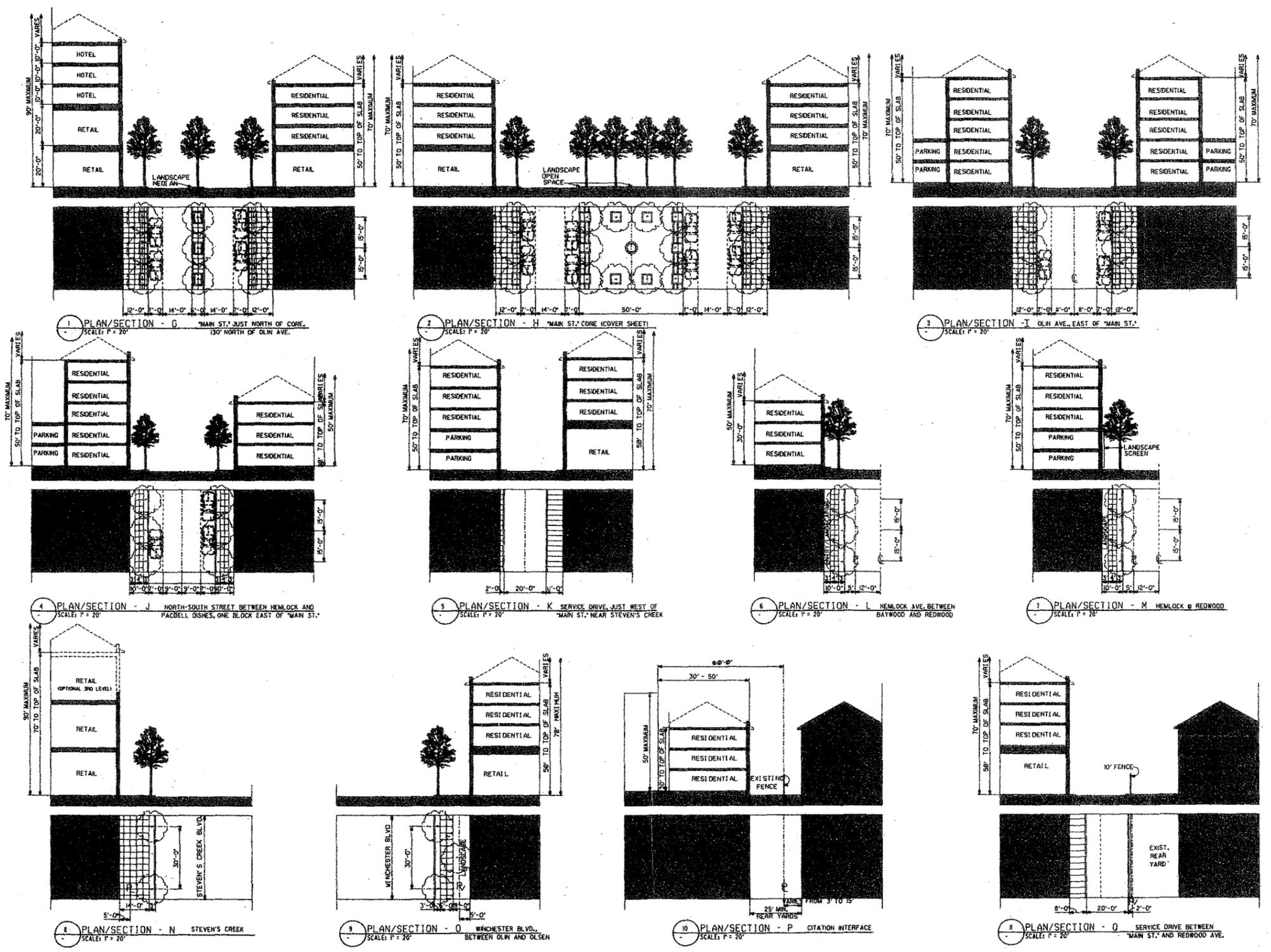
5 PLAN/SECTION - E MAIN ST., 620 SOUTH OF STEVEN'S CREEK
SCALE: P = 20'



6 PLAN/SECTION - F SERVICE DRIVE ADJACENT TO SECTION E
SCALE: P = 20'

PROJECT:	TOWN & COUNTRY GENERAL
DEVELOPMENT PLAN EXHIBIT "C"	
ISSUE/REVISIONS	
SCALE:	AS NOTED
DATE:	APRIL 4, 2005; Final Dec. 5, 2008
PROJECT NO.:	08450-10
PLOT DATE:	
FILE PATH:	
DRAWING TITLE:	CONCEPTUAL LANDSCAPE STREET PLANS & SECTIONS
SHEET TITLE:	SHEET 6A OF 7

CONSULTANTS:



PROJECT:
TOWN & COUNTRY
GENERAL
DEVELOPMENT PLAN
EXHIBIT "C"

No.

ISSUE/REVISIONS

SCALE: AS NOTED

DATE: APRIL 4, 2005; Final Dec. 5, 2006

PROJECT NO.: B9450-10

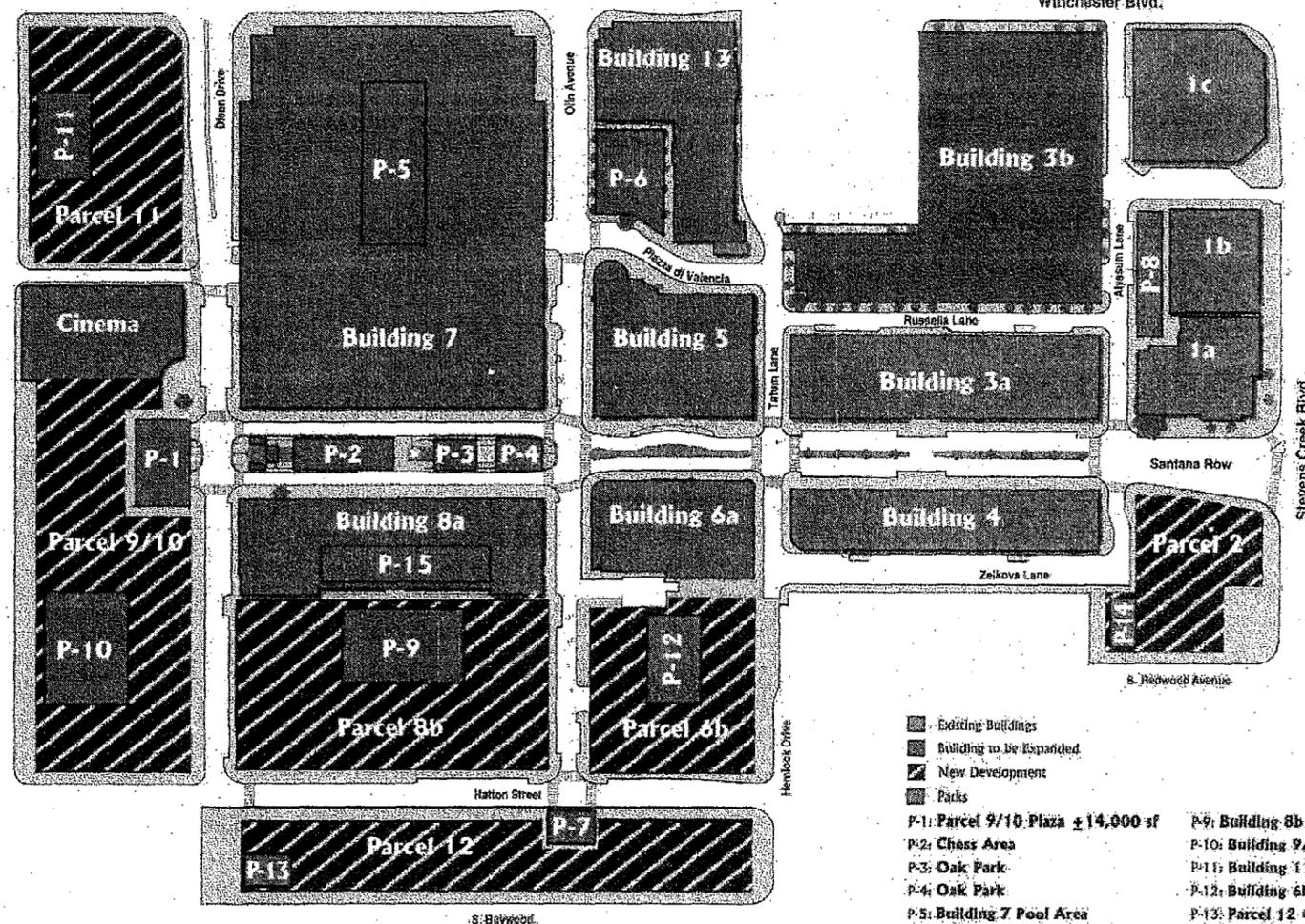
PILOT DATE:

FILE PATH:

DRAWING TITLE:
CONCEPTUAL LANDSCAPE
STREET PLANS &
SECTIONS

SHEET TITLE:
SHEET 6B OF 7

SANTANA ROW



- Existing Buildings
 - Building to be Expanded
 - New Development
 - Parks
- | | |
|-----------------------------------|-------------------------------|
| P-1: Parcel 9/10 Plaza ±14,000 sf | P-9: Building 8b Pool Area |
| P-2: Chess Area | P-10: Building 9/10 Pool Area |
| P-3: Oak Park | P-11: Building 11 Pool Area |
| P-4: Oak Park | P-12: Building 6b Pool Area |
| P-5: Building 7 Pool Area | P-13: Parcel 12 Garden |
| P-6: Valencia Park | P-14: Building 2 Pool Area |
| P-7: Parcel 12 Park ±6,000 sf | P-15: Building 8a Podium |
| P-8: Building 1 Plaza | |

SG
SLAVIK GROUP
Parks-Use Planning

SANTANA ROW

Federal Realty

November 30, 2008

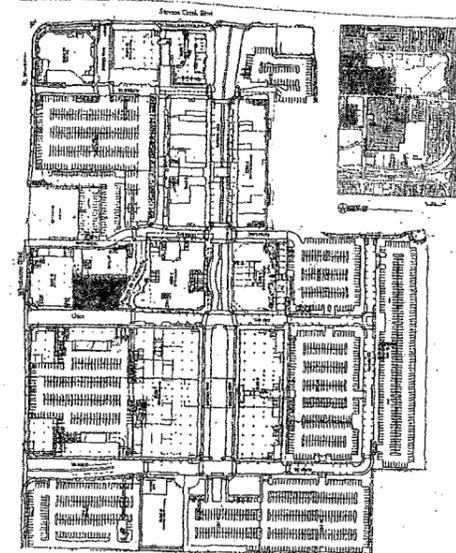
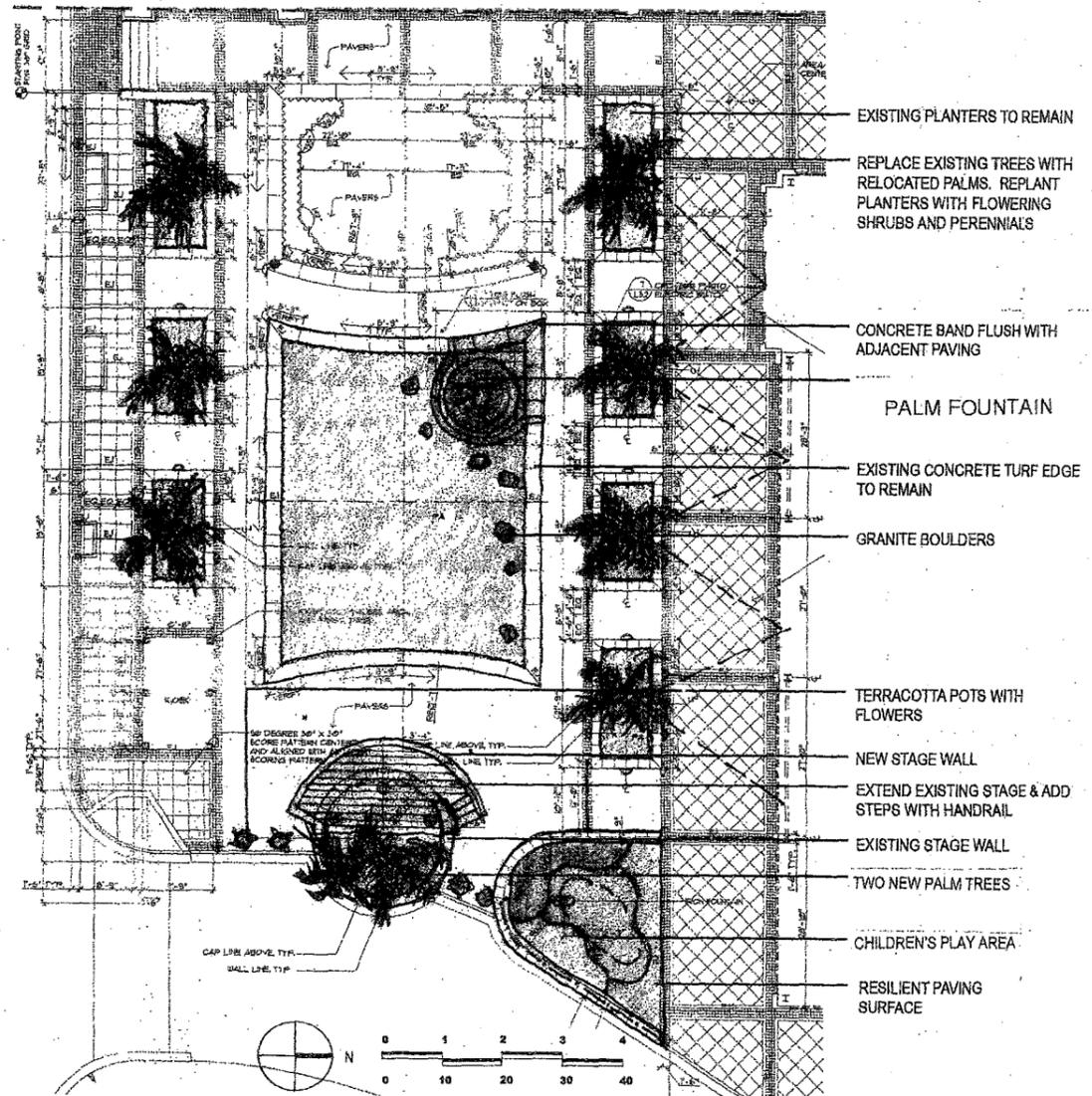
Parks and Recreation Map

PROJECT:	TOWN & COUNTRY GENERAL
ISSUE/REVISIONS:	DEVELOPMENT PLAN EXHIBIT "C"
SCALE:	AS NOTED
DATE:	APRIL 4, 2008; REVISED NOV. 30, 2008; FINAL DEC. 5, 2008
PROJECT NO.:	89450-10
PLOT DATE:	
FILE PATH:	
DRAWING TITLE:	CONCEPTUAL PARK PLANS
SHEET TITLE:	SHEET 7A OF 7



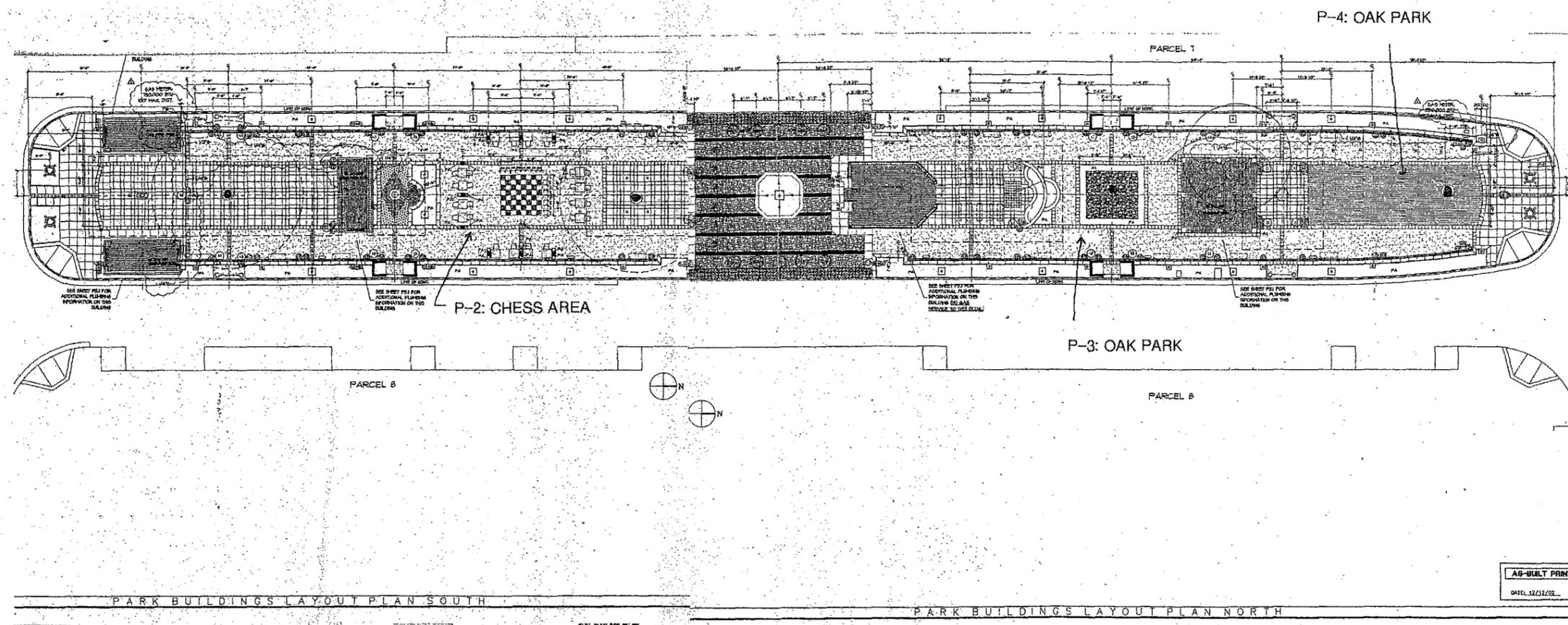
FEDERAL REALTY INVESTMENT TRUST

VALENCIA PARK LANDSCAPE RENOVATION PLAN



ROYSTON HANAMOTO ALLEY & ABEY
LANDSCAPE ARCHITECTS

PROJECT:	TOWN & COUNTRY GENERAL DEVELOPMENT PLAN EXHIBIT "C"
ISSUE/REVISIONS	
SCALE:	AS NOTED
DATE:	APRIL 4, 2006; REVISED NOV. 30, 2006; FINAL DEC. 5, 2006
PROJECT NO.:	89450-10
FILE PATH:	
DRAWING TITLE:	CONCEPTUAL PARK PLANS DETAIL
SHEET TITLE:	SHEET 7B OF 7



PARK BUILDINGS LAYOUT PLAN SOUTH

PARK BUILDINGS LAYOUT PLAN NORTH

AS-BUILT PRINT
DATE: 12/11/06

PROJECT:	TOWN & COUNTRY GENERAL DEVELOPMENT PLAN EXHIBIT "C"
ISSUE/REVISIONS	
SCALE:	AS NOTED
DATE:	APRIL 4, 2006; REVISED NOV. 30, 2006; FINAL DEC. 5, 2006
PROJECT NO.:	00450-10
PLOT DATE:	
FILE PATH:	
DRAWING TITLE:	CONCEPTUAL PARK PLANS DETAIL
SHEET TITLE:	SHEET 7C OF 7