

WHOLE FOODS MARKET BLOSSOM HILL

1140 BLOSSOM HILL ROAD

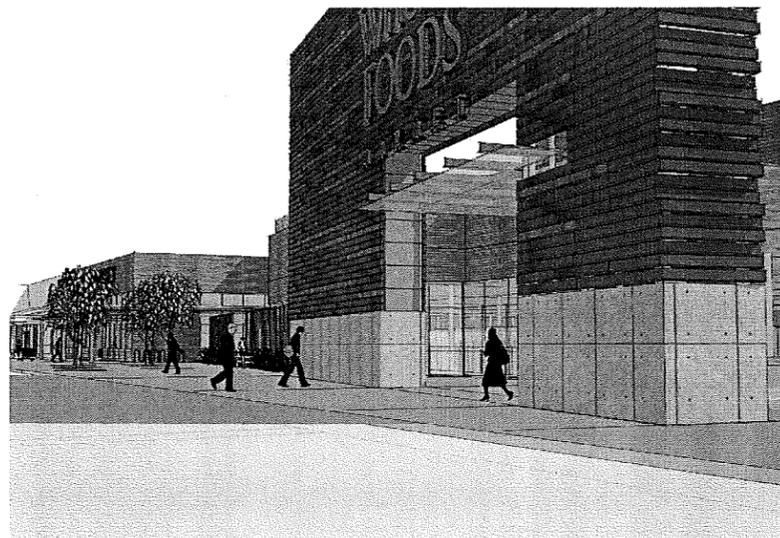
SAN JOSE, CA 95118

PLANNING DEPARTMENT RESUBMITTAL 2

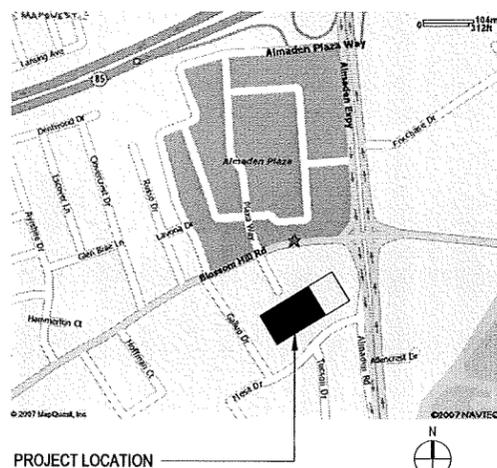
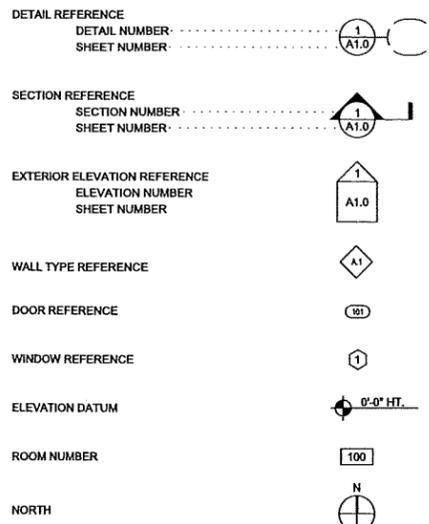
01.14.08

PLANNING DEPARTMENT FILE NO. CP07-072

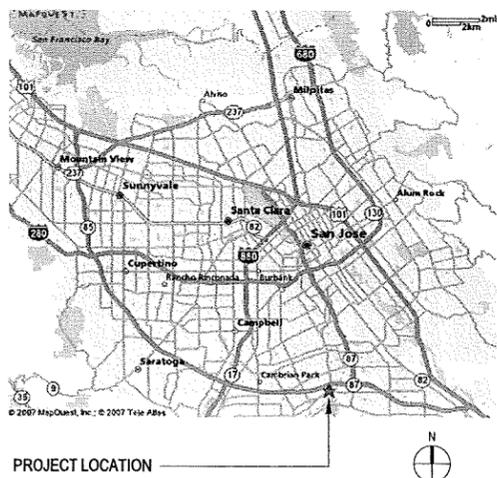
REZONING FILE NO. C07-069



GRAPHIC SYMBOLS



VICINITY MAP



LOCATION MAP

BUILDING CODE ANALYSIS

GENERAL
CONSTRUCTION: V-NR FULLY SPRINKLERED
OCCUPANCY: M - RETAIL S-2 - LOADING AREA

BUILDING HEIGHT AND AREA
ALLOWABLE NUMBER OF STORIES: 2 FLOORS
PROPOSED NUMBER OF STORIES: 1 FLOOR
ALLOWABLE AREA - M OCCUPANCY PER 505.2 - UNLIMITED AREA FOR TYPE M OCCUPANCY - OCCUPANCIES SHALL NOT BE LIMITED IF THE BUILDING IS PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT AS SPECIFIED IN CHAPTER 9, AND ENTIRELY SURROUNDED AND ADJOINED BY PUBLIC WAYS OR YARDS NOT LESS THAN 60 FEET IN WIDTH.
ALLOWABLE AREA - S-2 OCCUPANCY PER TABLE 5-B - 2 STORIES, 8,000 sf

PROPOSED AREA (M OCCUPANCY): 107,584 sf
PROPOSED AREA (S-2 OCCUPANCY): 5,394 sf
TOTAL AREA: 112,978 sf

MIXED OCCUPANCY RATIO: $107,584 / 112,978 + 5,394 / 112,978 = .95 + .05 = 1.00$

OCCUPANT LOAD
WHOLE FOODS
RETAIL 2 (M OCCUPANCY): 60,499 sf / 30 = 2,017
LOADING 2 (S-2 OCCUPANCY): 5,394 sf / 200 = 27

RETAIL 1 (M OCCUPANCY): 10,000 sf / 30 = 333
RETAIL 2 (M OCCUPANCY): 2,500 sf / 30 = 83

EXITS REQUIRED / PROVIDED
WHOLE FOODS
OCCUPANTS: 2,044
OCCUPANTS PER EXIT: 2,044 / 3 = 681
SIZE OF EXIT: 681 * 2' = 136"

RETAIL 1
OCCUPANTS: 333
OCCUPANTS PER EXIT: 333 / 2 = 167
SIZE OF EXIT: 167 * 2' = 33"

RETAIL 2
OCCUPANTS: 83
OCCUPANTS PER EXIT: 83 / 2 = 42
SIZE OF EXIT: 42 * 2' = 8"

OCCUPANCY SEPARATION
1 HOUR BETWEEN S-2 AND M OCCUPANCIES

LIFE SAFETY REQUIREMENTS FOR THE BUILDING
EXTERIOR BEARING: 1 HOUR IF <20' FROM PROP. LINE
EXTERIOR NON-BEARING: SAME AS BEARING
INTERIOR: NA
STRUCTURAL FRAME: NA
PARTITIONS - PERMANENT: NA
SHAFT ENCLOSURES: 1 HOUR
FLOOR / CEILING: NA
FLOOR / CEILING: NA

ROOF: NA
EXTERIOR OPENINGS: NOT PERMITTED <10' FROM PROP. LINE, PROTECTED <5' FROM PROP. LINE
STANDPIPE: TBD
SPRINKLERS: TBD
FIRE ALARM: TBD

PROJECT DATA

ASSESSOR'S PARCEL NUMBER: 567-50-005, 567-50-011, 567-50-012, 567-50-013, 567-50-014, 567-50-015, 567-50-016, 017, AND 567-50-018
ZONING: CG - Commercial General
GENERAL PLAN DESIGNATION: Regional / Commercial
CONSTRUCTION TYPE: V-N
EXISTING LOT SIZE: approx. 10.2 acres

BUILDING HEIGHT LIMIT
50 feet or 4 stories, whichever is shorter

PARKING
EXISTING PARKING: 552 PARKING SPACES
PARKING SPACES REQUIRED BY SAN JOSE MUNICIPAL CODE TABLE 20-190 NEIGHBORHOOD SHOPPING CENTER - 1 SPOT PER 225 NET SF

WFM + Retail: 73,000SF
Office Max: 26,834
Video Store (incl. future expansion): 15,000
Shops: 7,750
Total: 122,584SF

122,584sf * .85 = 104,196sf NET AREA per 20.90.050

104,196 sf / 225 sf = 463 SPACES REQUIRED

18 ADDITIONAL SPACES REQUIRED DUE TO POTENTIAL FUTURE VIDEO STORE EXPANSION. EXISTING SPACES ADJACENT TO THE VIDEO STORE WOULD BE LOST DUE TO THIS EXPANSION.

PARKING SPACES REQUIRED: 463 + 18 = 481
PARKING SPACES PROVIDED: 485

BICYCLE PARKING REQUIRED: 1 SPACE PER 20 CODE REQUIRED AUTO SPACES PER 20.230
463 / 20 = 23 SPACES

BICYCLE PARKING PROVIDED: 23

MOTORCYCLE PARKING REQ'D: 23
MOTORCYCLE PKING PROVIDED: 23

AREAS OF DEMOLITION
40,194 SF RITE AID PORTION OF EXISTING BUILDING
8,489 SF GOODYEAR (SOUTHWEST CORNER OF SITE) (TO BE DEMOLISHED)
29,726 SF STRIP CENTER (WEST EDGE OF SITE) (TO BE DEMOLISHED)
7,182 SF VIDEO STORE (TO BE EXPANDED IN THE FUTURE; NOT PART OF THIS APPLICATION)

AREAS TO REMAIN
26,834 SF OFFICE MAX
7,750 SF FRONT RETAIL (CURRENTLY VACANT)
7,182 SF VIDEO STORE

NEW ADDITIONS
60,500 SF WHOLE FOODS MARKET
10,000 SF RETAIL 2 - WEST OF WFM
2,500 SF RETAIL 1 - WEST OF WFM
7,800 SF VIDEO STORE FUTURE EXPANSION
GRAND TOTAL FOR PROPOSED BUILDING ON SITE 122,584 SF
WFM/OFFICE MAX/RETAIL BUILDING 107,584 SF
EXPANDED VIDEO STORE 15,000 SF

DESCRIPTION: The proposed Whole Foods Market would be located within the existing Rite Aid / Office Max building footprint and expand westward an additional 32,806 sf. Rite Aid currently occupies approximately 40,194 sf and is separated by a demising wall (also shear wall) from Office Max and additional retail spaces, which occupy approximately 26,834 sf and 7,750sf respectively. Two additional buildings on the site would be demolished under the development - the 8,489 sf Goodyear building on the southwest corner of site as well as the 29,726 sf strip center at the west edge of site.

Note: Exterior and interior renovation of the existing Office Max and additional retail building to be completed in future. This work is not a part of this contract.

Designed to conform to 1997 UBC (2001 California Building Code)

BUILDING HEIGHT LIMIT
50 feet or 4 stories, whichever is shorter

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IMPERVIOUS/PERVIOUS AREAS

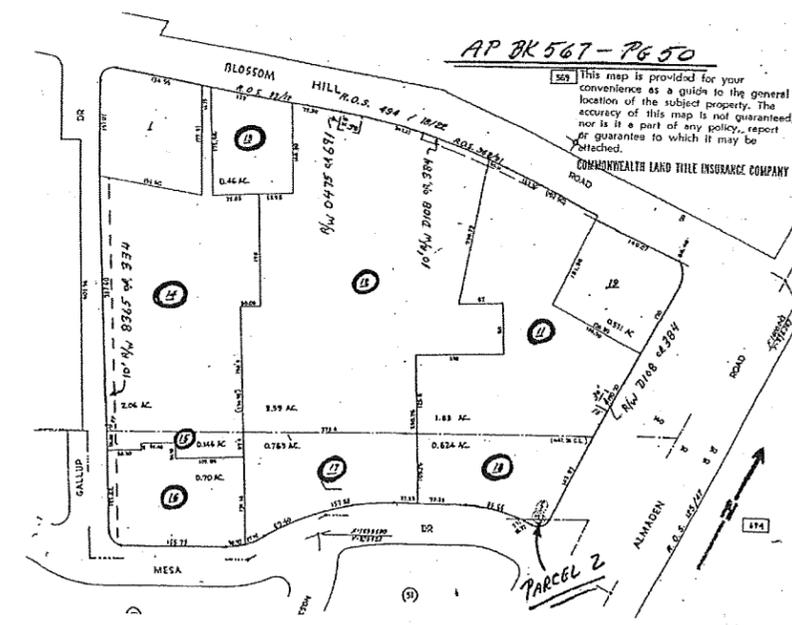
EXISTING AREAS:	
ROOF:	119,997SF
AC PAVEMENT:	263,874
CONCRETE:	21,404
LANDSCAPE:	40,110
TOTAL SITE AREA:	445,385
TOTAL SITE % IMPERVIOUS:	91.0%

PROPOSED AREAS:	
ROOF:	113,339SF
AC PAVEMENT:	234,491
CONCRETE:	26,786
LANDSCAPE:	70,769
TOTAL SITE AREA:	445,385
TOTAL SITE % IMPERVIOUS:	84.1%

SETBACK, BUFFER, AND YARD REQUIREMENTS
ZONING DISTRICT CG - PER TABLE 20.40.200

	SETBACK	BUFFER	YARD
FRONT:	0'-10' MAXIMUM		
STREET SIDE:	0' / 25' - SEE COMMERCIAL DESIGN GUIDELINES	0'	0'
SIDE, INTERIOR:	NONE	0'	0'
SIDE, CORNER:	12.5'	0'	0'
REAR, INTERIOR:	NONE	0'	0'
REAR, CORNER:	NONE	0'	0'

MAXIMUM HEIGHT: 65'
MAXIMUM NUMBER OF STORIES: 8
SITE REZONED FROM COMMERCIAL PEDESTRIAN TO COMMERCIAL GENERAL ZONING DISTRICT, REZONING FILE NO. C07-069



ASSESSOR'S PARCEL MAP

PROJECT DIRECTORY

OWNER
BUTCH HAMANN
19285 Mockingbird Hill Lane
San Jose CA 95120
CONTACT: BUTCH HAMANN
408.813.8676

ASSOCIATE ARCHITECT
FIELD PAOLI
150 CALIFORNIA, 7TH FLOOR
SAN FRANCISCO, CA 94111
CONTACT: DENNIS DORNAN
415.788.6606 X 148

SHELL ARCHITECT
LOWNEY ARCHITECTURE
1440 BROADWAY SUITE 715
OAKLAND, CA 94612
CONTACT: KEN LOWNEY
510.838.5400

CIVIL
KIER AND WRIGHT
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CALIFORNIA 95054
CONTACT: BARRY SCHMITT
408.727.6665

STRUCTURAL ENGINEER
INGRAHAM DEJESSE ASSOCIATES
1629 TELEGRAPH AVE. SUITE 300
OAKLAND, CA 94612
CONTACT: STEPHEN DEJESSE
510.834.1629 X102

MECHANICAL AND PLUMBING
RICE ASSOCIATES INC.
19015 36TH AVE. WEST, SUITE A
LYNNWOOD, WA 98036
CONTACT: RANDY HINTON
425.774.3829

ELECTRICAL
AWA ELECTRICAL CONSULTANTS, INC.
19015 - 36TH AVENUE WEST, SUITE E
LYNNWOOD, WASHINGTON 98036
CONTACT: BRUCE BRAGA
425.775-1799

LANDSCAPE ARCHITECT
LAUDERBAUGH ASSOCIATES
102 PERSIAN DRIVE #202
SUNNYVALE, CA 94089-1517
CONTACT: JIM LAUDERBAUGH
408.745.7380



PROJECT NAME
WHOLE FOODS MARKET BLOSSOM HILL
1140 BLOSSOM HILL RD
SAN JOSE, CA 95118

NOT FOR CONSTRUCTION

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A2.1	ROOF PLAN
A3.1	ELEVATIONS
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NO.	DATE	ISSUES AND REVISIONS	BY
1	04.02.07	PREPLANNING SUBMITTAL	ARB
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4	10.29.07	PLANNING RESUBMITTAL	TV/ARB
5	11.18.07	BUILDING PERMIT SET	TV/ARB/EP
6	01.14.08	PLANNING RESUBMITTAL 2	TV/ARB/EP

DATE: 01.10.08
SCALE:
DRAWN BY: ARB / TV

PROJECT INFORMATION

SHEET NUMBER **A0.0**

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PROJECT NAME
WHOLE FOODS MARKET
BLOSSOM HILL

1140 BLOSSOM HILL RD
SAN JOSE, CA 95118

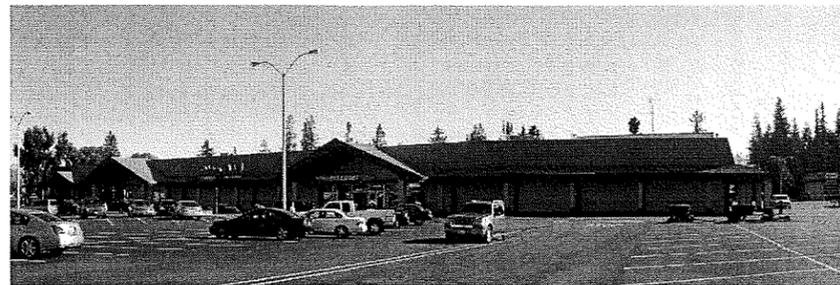
CP07-072



BLOSSOM HILL ROAD ENTRANCE 1



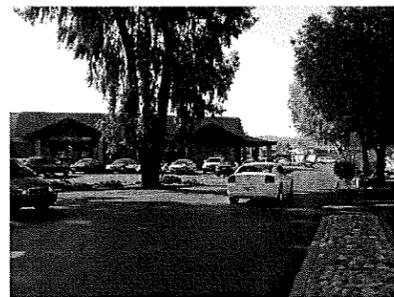
FRONT VIEW OF RITE AID 2



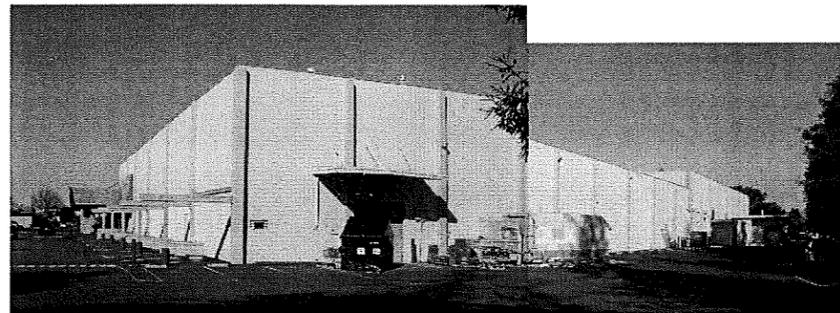
NORTH FACADE 3



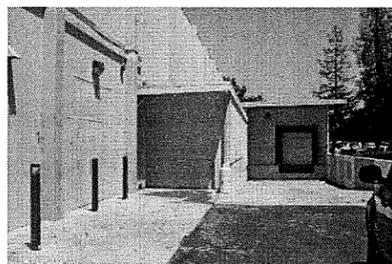
GAS STATION 4



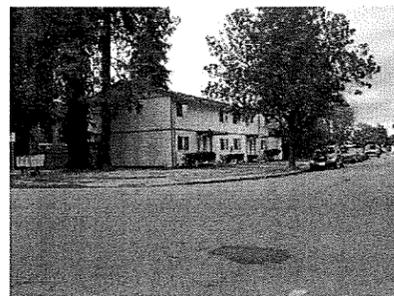
ALMADEN EXPRESSWAY ENTRANCE 5



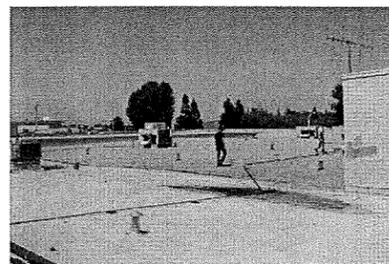
SOUTHWEST CORNER OF RITE AID 6



OFFICE MAX LOADING DOCK 7



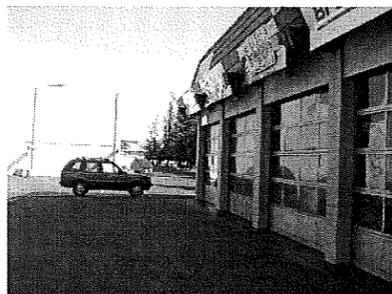
VIEW ACROSS MESA DRIVE 8



VIEW OF ROOF 9



VIEW OF MESA DRIVE FROM ROOF 10



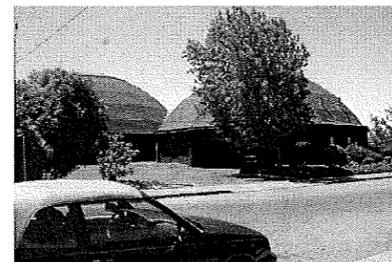
EXISTING CAR SHOP 11



EXISTING STRIP CENTER 12



VIEW ALONG GALLUP DRIVE 13



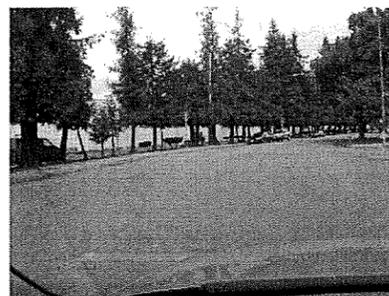
CHURCH ACROSS GALLUP DRIVE 14



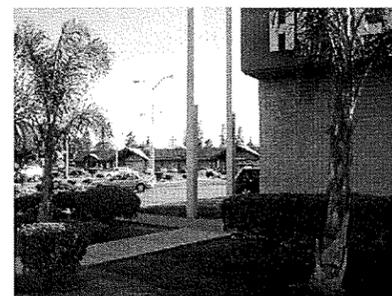
DETAIL OF RITE AID 15



SOUTHEAST CORNER OF OFFICE MAX 16



VIEW ACROSS MESA DRIVE 17



VIEW FROM VIDEO STORE 18



LEGEND

CONSULTANTS

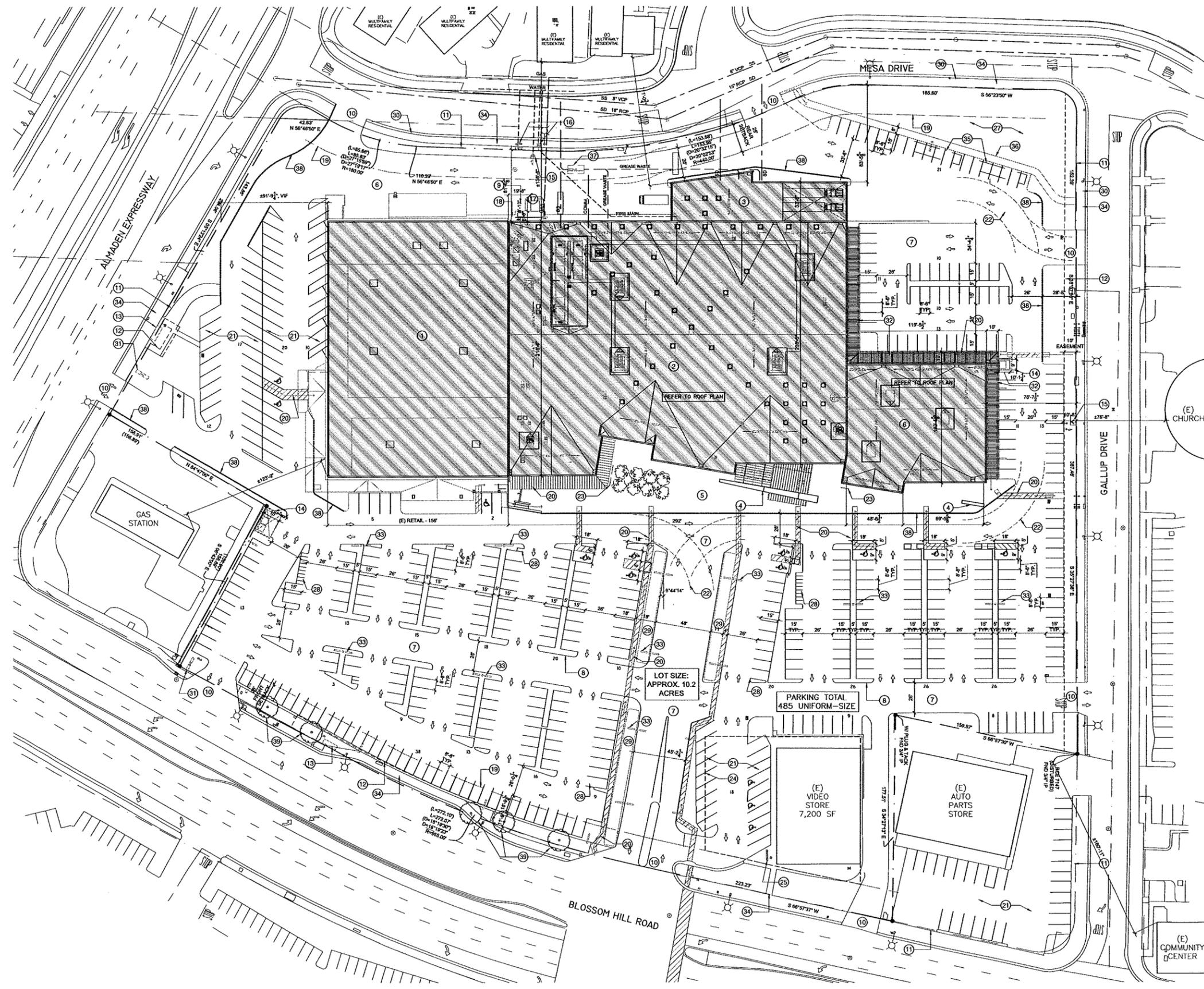
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4	10.29.07	PLANNING RESUBMITTAL	TV / ARB

DATE: 10.29.07
SCALE:
DRAWN BY: ARB / TV

SITE PHOTOS

SHEET NUMBER
A 0.1

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SITE PLAN
1/22" = 1'-0"

SHEET NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL LOCATIONS. ALL DOOR OPENING LOCATION SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT BEFORE PROCEEDING. FLOOR PLAN BY ARCHITECT SUPERSEDES ALL OTHERS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE-PROTECTION CONTRACTORS, AND SUBMIT ALL DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
- PROJECT ELEVATION 0'-0" IS EQUIVALENT TO 192.1', BASED ON CITY DATUM.
- REFER TO LANDSCAPE DRAWINGS FOR SITE DESIGN, PAVING, GRADING, PLANTING, IRRIGATION, AND RELATED DETAILS.
- REFER TO CIVIL DRAWINGS FOR SITE DEMOLITION, UTILITIES, EROSION CONTROL AND RELATED DETAILS ON AND OFF-SITE.



PROJECT NAME
WHOLE FOODS MARKET BLOSSOM HILL
1140 BLOSSOM HILL RD
SAN JOSE, CA 95118

KEY NOTES

- (E) OFFICE MAX BUILDING TO REMAIN - EXTERIOR AND INTERIOR RENOVATION TO BE COMPLETED IN FUTURE
- PROPOSED 60,499 SF WHOLE FOODS MARKET
- LOADING DOCK
- FREESTANDING ENTRY WALL
- SIDEWALK
- PROPOSED 12,500 SF RETAIL
- ASPHALT PAVING
- LANDSCAPED PARKING ISLAND, TYP., SEE LANDSCAPE DRAWINGS
- PG&E TRANSFORMER
- EXISTING DRIVEWAY
- PROPERTY LINE
- EASEMENT
- (E) BUS SHELTER
- TRASH ENCLOSURE, SEE 12/A10.1
- (E) FIRE DEPARTMENT CONNECTION
- (E) WATER METERS
- (E) GAS METER
- ELECTRIC VAULT
- BUILDING SETBACK
- ACCESSIBLE PATH OF TRAVEL, TYP.
- NEW PARKING IN EXISTING LOCATION
- EMERGENCY VEHICLE ACCESS
- BICYCLE PARKING
- POTENTIAL FUTURE VIDEO STORE EXPANSION TO 15,000SF
- NOT USED
- NOT USED
- LANDSCAPED OUTDOOR SPACE, SEE LANDSCAPE DRAWINGS
- 3'x6' MOTORCYCLE PARKING SPACE, TYP.
- BIO-SWALE, SEE CIVIL DRAWINGS
- EXISTING SITE PERIMETER TREES TO REMAIN, TYP. - SEE LANDSCAPE DRAWINGS
- EXISTING FREE-STANDING SIGN TO REMAIN AND BE REUSED BY WHOLE FOODS MARKET, SEE 4/A10.1
- WOOD TRELLIS
- PARKING LOT LIGHTING, REFER TO ELECTRICAL DRAWINGS, TYP.
- EXISTING SIDEWALK TO REMAIN, TYP.
- SEASONAL TRAILER PARKING
- PEDESTRIAN PATH, SEE LANDSCAPE DRAWING
- 3,000 GALLON GREASE INTERCEPTOR
- FIRE LANE CURB TO BE PAINTED RED AND MARKED "FIRE LANE - NO PARKING"
- PROPOSED STREET TREES (5 TOTAL)

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CONSULTANTS



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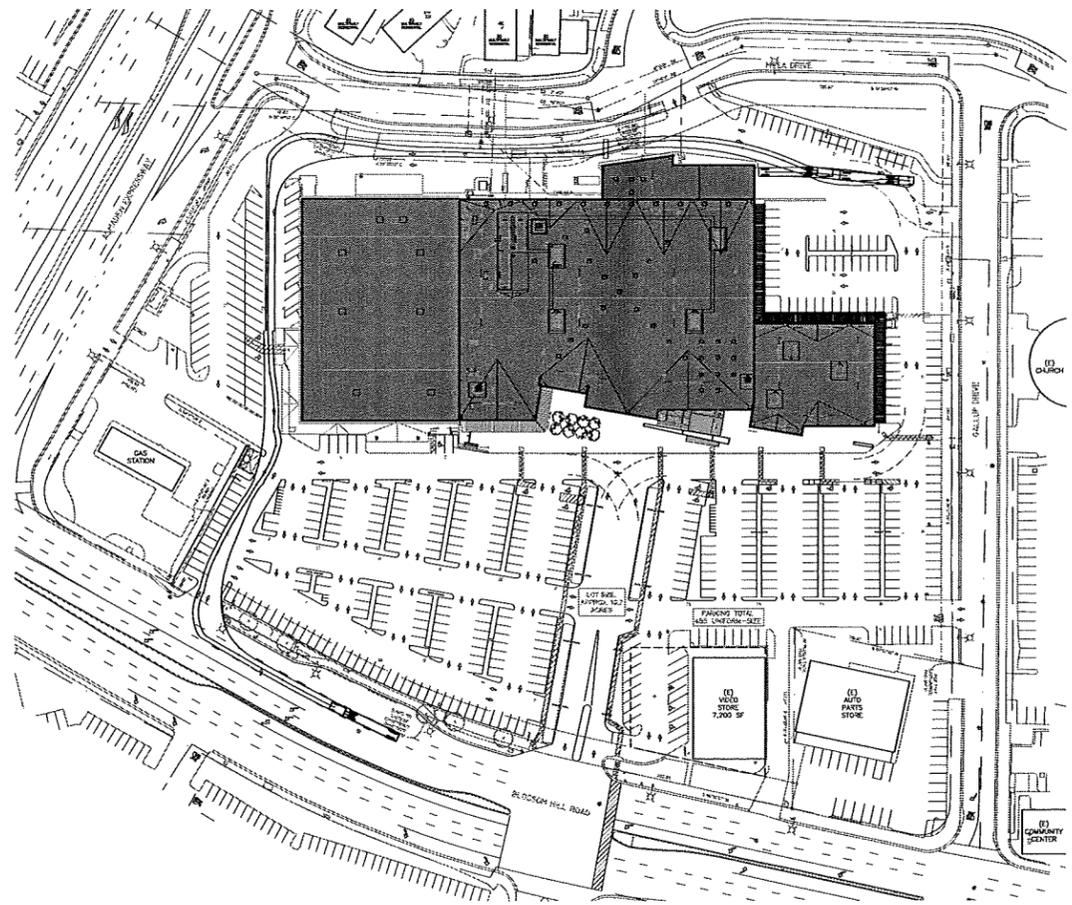
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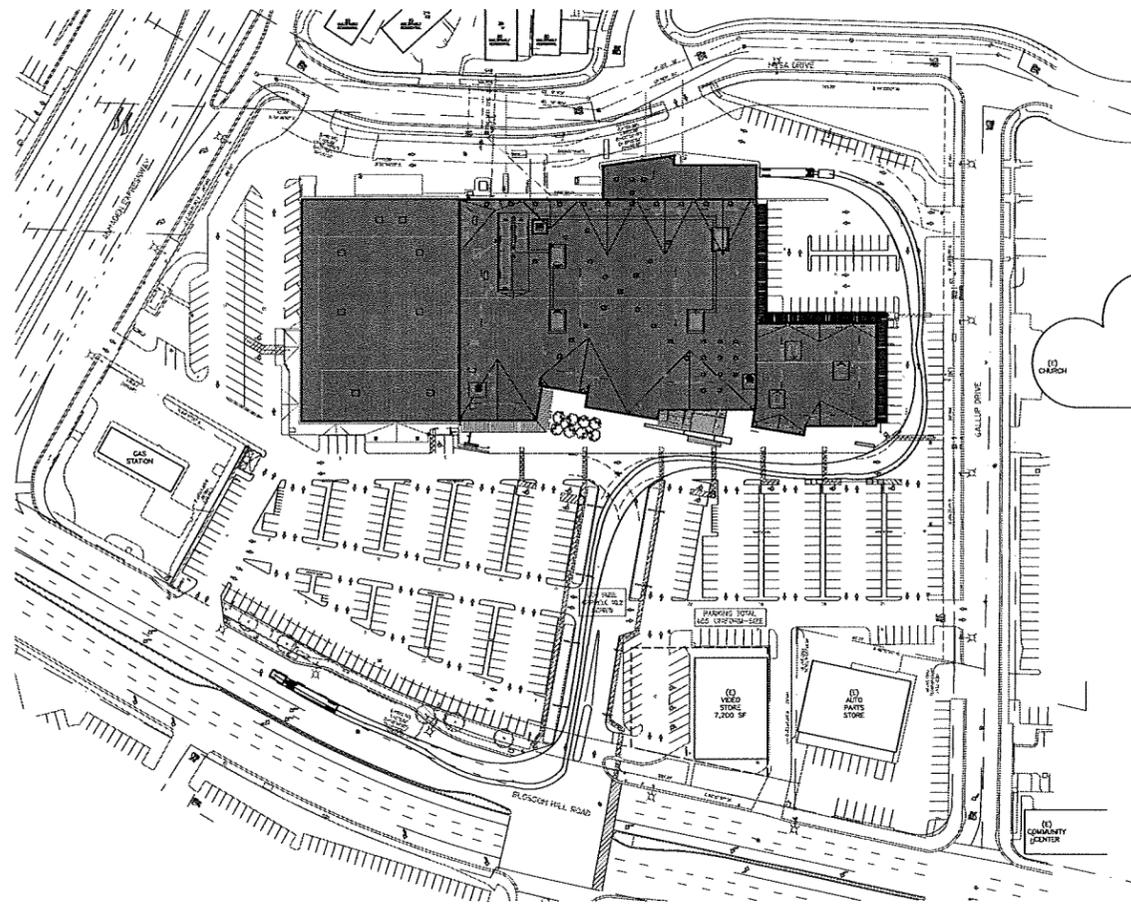
**WHOLE FOODS
MARKET
BLOSSOM HILL**

1140 BLOSSOM HILL RD
SAN JOSE, CA 95118



WB-65 ENTERING SITE
1/8" = 1'-0"

1



WB-65 EXITING SITE
1/8" = 1'-0"

2

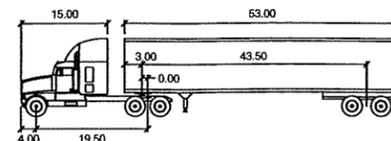
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DATE: 01.10.08
SCALE:
DRAWN BY: ARB/LTV
08.034



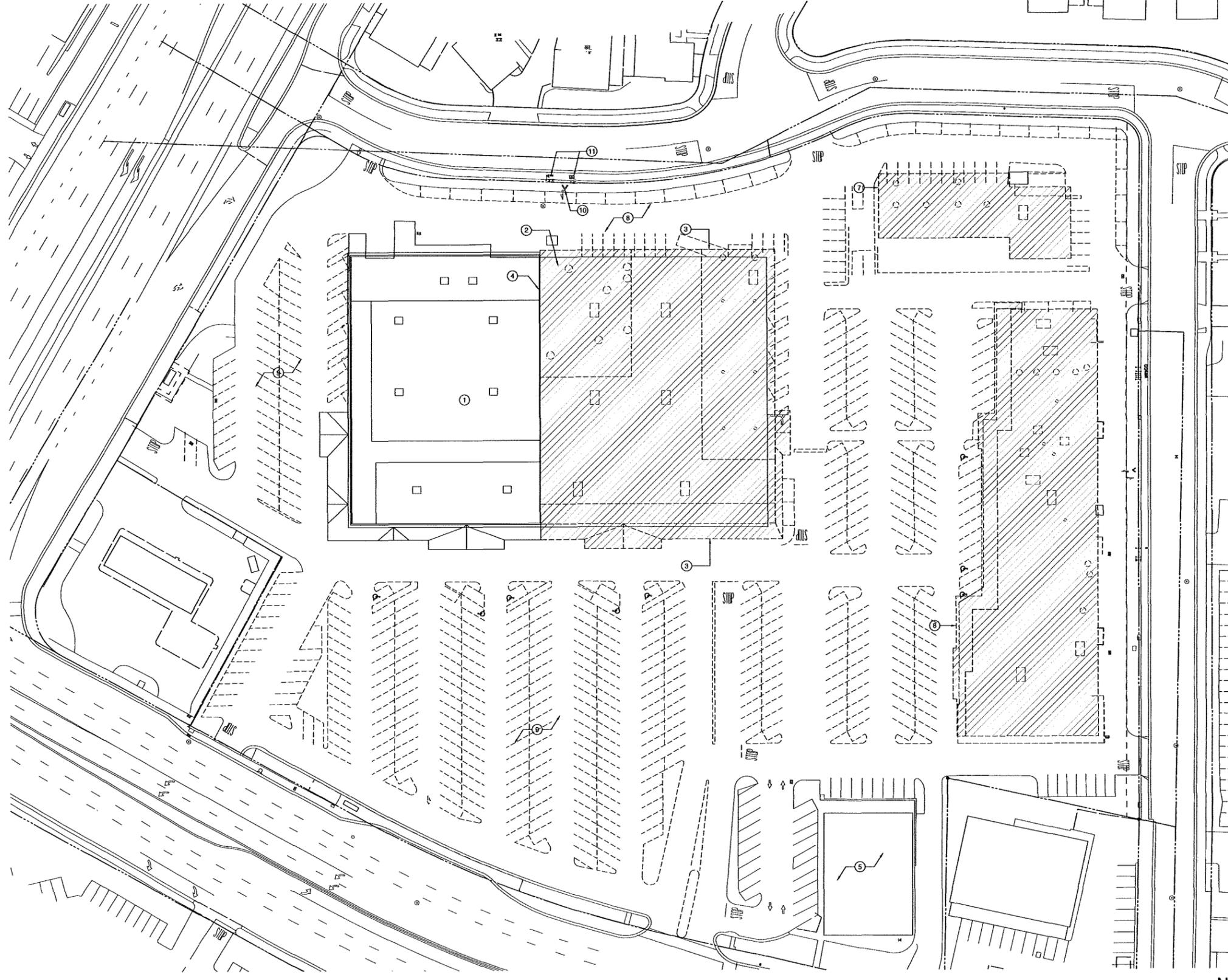
WB-65		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.00
Trailer Width	: 8.50	Steering Angle	: 28.40
Tractor Track	: 8.00	Articulating Angle	: 70.00
Trailer Track	: 8.50		

TRUCK PROFILE

TRUCK ACCESS PLAN

SHEET NUMBER **A1.1**

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KEY NOTES

- ① (E) OFFICE MAX BUILDING TO REMAIN
- ② (E) ELECTRICAL ROOM TO REMAIN IN ORDER TO MAINTAIN ELECTRICAL FOR SERVICE TO ALL EXISTING TENANTS IN THE BUILDING.
- ③ REMOVE (E) RITE AID BUILDING AND ALL RELATED BUILDING SYSTEMS INCLUDING HVAC, PLUMBING, AND ELECTRICAL EQUIPMENT. REMOVE ALL EXISTING UTILITIES BACK TO THEIR POINTS OF CONNECTION IN THE ADJOINING STREETS, INCLUDING CAPPING OFF THE EXISTING SANITARY SEWER THAT RUNS THROUGH THE DEMISING WALL INTO THE OFFICE MAX. PROVIDE NEW SANITARY SEWER FOR THE TENANT'S EXCLUSIVE USE TO THE ADJOINING STREET.
- ④ (E) DEMISING WALL FOR OFFICE MAX AND OTHER RETAIL AREA TO REMAIN. SEPARATE EXISTING ELECTRICAL SERVICE AND ANY OTHER UTILITIES WHICH ARE COMINGLED, IF ANY, WHICH ARE MOUNTED TO THE DEMISING WALL LOCATED BETWEEN THE (E) RITE AID PREMISES AND THE ADJACENT OFFICE MAX PREMISES.
- ⑤ EXISTING VIDEO STORE, PARKING LOT, LANDSCAPING AND LIGHTING TO REMAIN IN PLACE.
- ⑥ NOT USED
- ⑦ REMOVE (E) TIRE SHOP AND ALL RELATED BUILDING SYSTEMS INCLUDING UTILITIES, HVAC, PLUMBING, AND ELECTRICAL EQUIPMENT.
- ⑧ REMOVE (E) RETAIL BUILDING AND ALL RELATED BUILDING SYSTEMS INCLUDING UTILITIES, HVAC, PLUMBING, AND ELECTRICAL EQUIPMENT.
- ⑨ REMOVE (E) ASPHALT PAVING, DRAINAGE, AND LIGHTING. REGRADE AS REQUIRED BY PROPOSED SITE PLAN AND LANDSCAPE PLAN.
- ⑩ EXISTING FIRE STANDPIPE
- ⑪ EXISTING WATER METERS



PROJECT NAME
WHOLE FOODS MARKET BLOSSOM HILL
1140 BLOSSOM HILL RD
SAN JOSE, CA 95118
CP07-072

CONSULTANTS

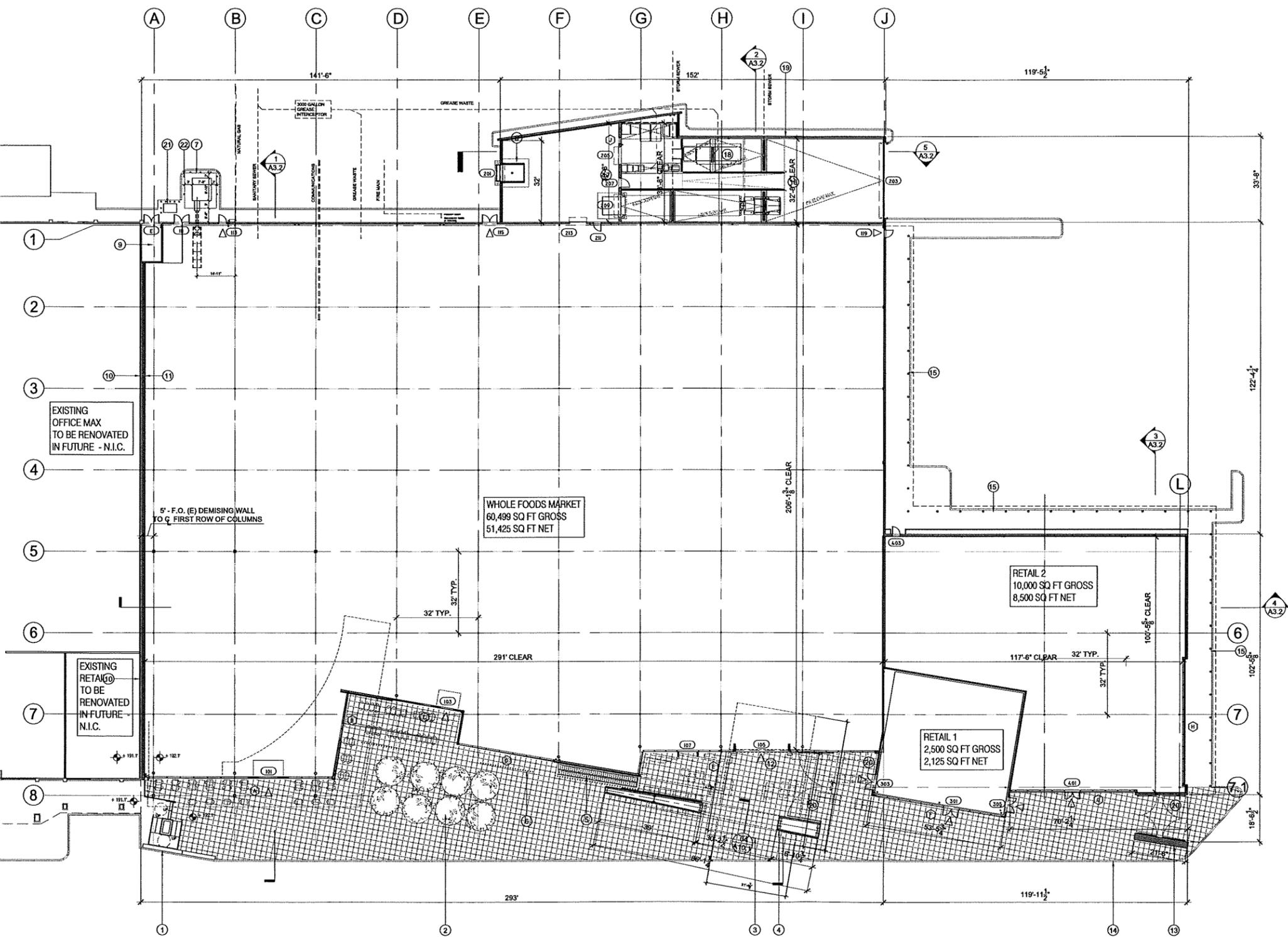
PROJECT NORTH

NO.	DATE	ISSUES AND REVISIONS	BY
1	04.02.07	PRE-PLANNING SUBMITTAL	ARB
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3	10.15.07	40% CDS	TV / ARB
4	10.29.07	PLANNING RESUBMITTAL	TV / ARB

DATE: 10.29.07
SCALE:
DRAWN BY: ARB / TV

DEMOLITION PLAN
SHEET NUMBER
A1.2

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KEY NOTES

- ① STEPS AND RAMP
- ② ORCHARD, SEE LANDSCAPE DRAWINGS
- ③ GLASS CANOPY ABOVE
- ④ WOOD ENTRY WALL
- ⑤ SHOPPING CART CORRAL
- ⑥ WOOD FENCE
- ⑦ NEW TRANSFORMER
- ⑧ LIFT
- ⑨ (E) ELECTRICAL ROOM AND (E) ELECTRICAL PANELS TO REMAIN.
- ⑩ EXISTING OFFICE MAX AND RETAIL SPACE DEMISING WALL TO REMAIN IN PLACE.
- ⑪ NEW WHOLE FOODS MARKET DEMISING WALL
- ⑫ MAIN ENTRY
- ⑬ RETAIL ENTRY WALL
- ⑭ CURB, TYP.
- ⑮ WOOD TRELLIS ABOVE
- ⑯ LOADING DOCK
- ⑰ RECEIVING
- ⑱ TRASH COMPACTOR
- ⑲ LOADING DOCK ENCLOSURE
- ⑳ SWINGING STEEL SECURITY GATE
- ㉑ (E) TRANSFORMER TO REMAIN
- ㉒ REMOVABLE BOLLARDS



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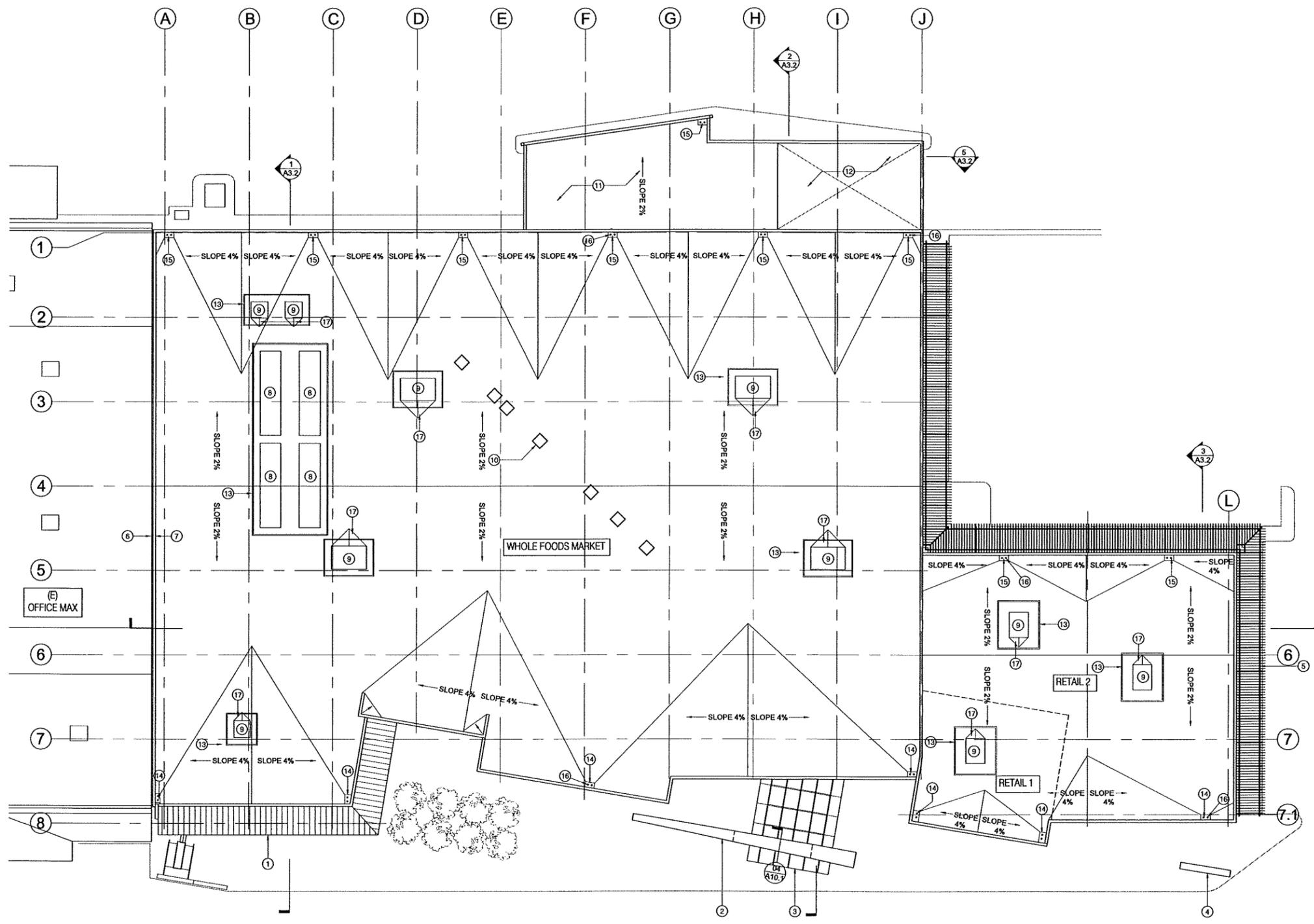
DATE: 10.29.07
 SCALE:
 DRAWN BY: ARB / TV

FLOOR PLAN

SHEET NUMBER
A2.0

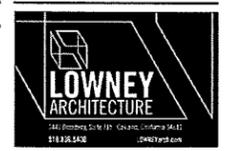
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KEY NOTES

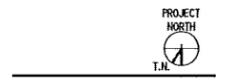
- ① STANDING SEAM METAL CANOPY
- ② WOOD ENTRY WALL
- ③ GLASS CANOPY
- ④ RETAIL ENTRY WALL
- ⑤ WOOD TRELLIS
- ⑥ EXISTING DEMISING WALL BELOW
- ⑦ WHOLE FOODS MARKET DEMISING WALL PARAPET
- ⑧ COOLING UNIT, TYP.
- ⑨ AIR HANDLING UNIT, TYP.
- ⑩ SOLAR TRACKING SKYLIGHT, TYP.
- ⑪ LOADING DOCK ROOF
- ⑫ OPEN TO BELOW
- ⑬ STEEL-FRAMED SCREENING PARTITION
- ⑭ 6" ROOF DRAIN AND OVERFLOW
- ⑮ 4" ROOF DRAIN AND OVERFLOW
- ⑯ OVERFLOW
- ⑰ CRICKET



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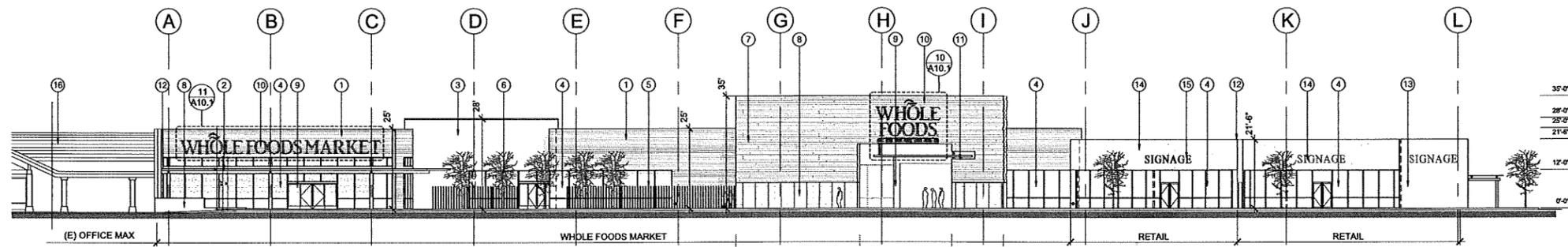
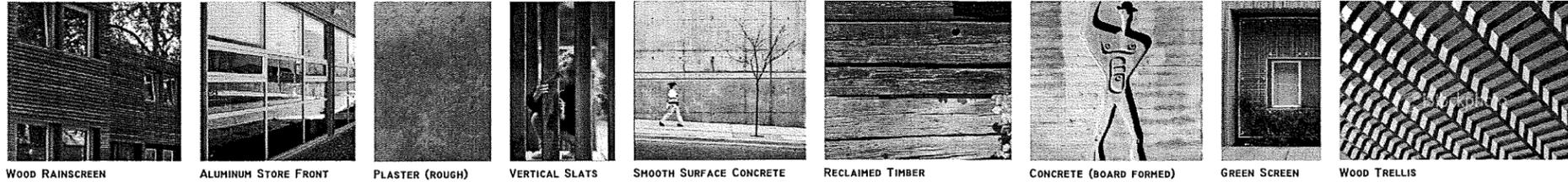
DATE: 10.29.07
 SCALE:
 DRAWN BY: ARB / TV

ROOF PLAN

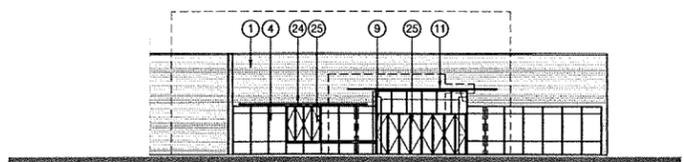
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A2.1

NOT FOR CONSTRUCTION

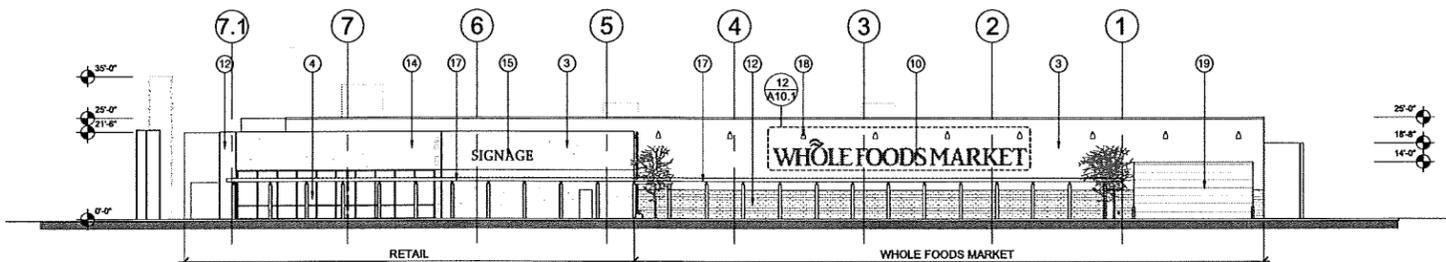
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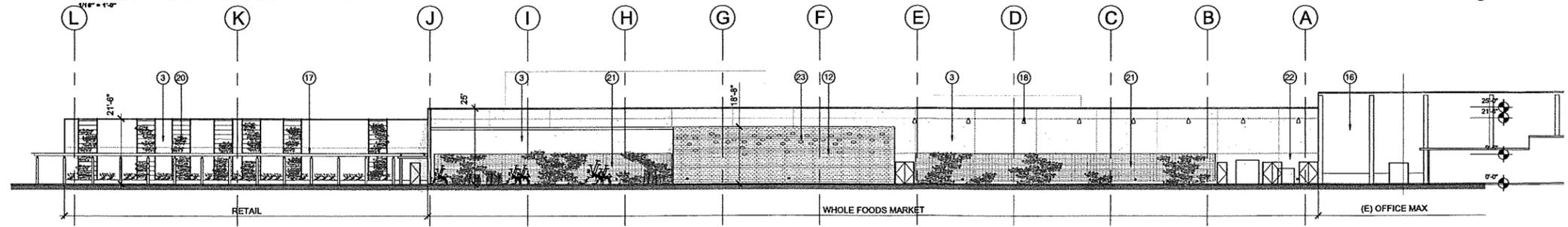
BLOSSOM HILL ROAD ELEVATION
1/8" = 1'-0"



ELEVATION BEHIND WALL
1/8" = 1'-0"



GALLUP DRIVE ELEVATION
1/8" = 1'-0"



MESA DRIVE ELEVATION
1/8" = 1'-0"

- KEY NOTES**
- 1 WOOD COMPOSITE SLATS (ON BLACK RAINSCREEN/ WEATHER BARRIER)
 - 2 METAL CANOPY ON WOOD SUBSTRUCTURE
 - 3 STUCCO (PAINTED, ROUGH FINISH)
 - 4 STOREFRONT WINDOW SYSTEM, TYP.
 - 5 FENCE/ SEMI- WALL (VERTICAL WOODEN SLATS)
 - 6 "ORCHARD" (NON FRUIT BEARING TREES)
 - 7 ENTRY WALL (RECLAIMED TIMBER ON STRUCTURAL STEEL FRAME)
 - 8 CAST-IN-PLACE SMOOTH CONCRETE (ALT. PREFAB CONCRETE PANELS)
 - 9 SOLID WOOD FRAME (IN FRONT OF ENTRANCE/ EXIT)
 - 10 WHOLE FOODS SIGN, (CUSTOM FABR. 5"DEEP ALUM. CHANNEL LETTERS, INTERIOR ILLUMIN.)
 - 11 GLASS CANOPY (HUNG FROM STRUCT. STEEL FRAME)
 - 12 EXPOSED CHU WALL
 - 13 CONCRETE (BOARD-FORMED WITH ROUGH SAWN WOOD PATTERN)
 - 14 STUCCO (PAINTED, SMOOTH FINISH)
 - 15 LOGO/ BRAND (BACKLIT)
 - 16 EXISTING OFFICE MAX AND RETAIL BUILDING TO BE RENOVATED IN FUTURE - NOT IN CONTRACT
 - 17 WOOD TRELLIS
 - 18 LIGHT FIXTURE (WALL MOUNTED, DOWNLIGHT)
 - 19 OVERHEAD DOOR, TYP.
 - 20 GREEN SCREEN (HORIZ. TENSION CABLE SYSTEM)
 - 21 GREEN SCREEN (HORIZ. COMPOSITE WOOD SLATS)
 - 22 TRANSFORMER
 - 23 ROOF OVER FLOWER SALES
 - 24 OPERABLE COUNTER-HEIGHT WINDOWS AT FLOWER SALES COUNTER
 - 25 FOLDING ENTRY DOORS, "NANA" OR APPROVED EQUIVALENT



PROJECT NAME
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DATE: 10.29.07
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ELEVATIONS

SHEET NUMBER

A3.1

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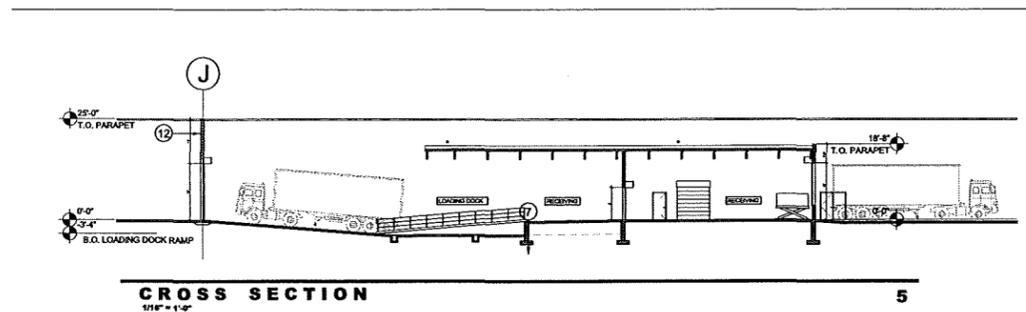
PROJECT NAME
WHOLE FOODS MARKET BLOSSOM HILL

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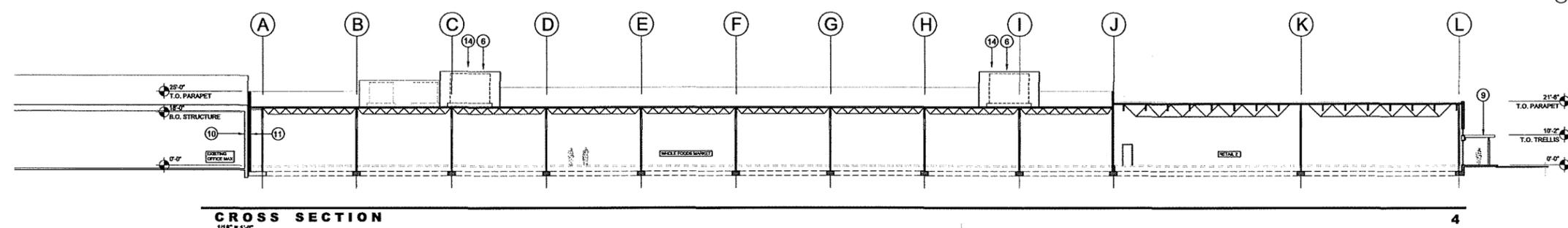
CP07-072

KEY NOTES

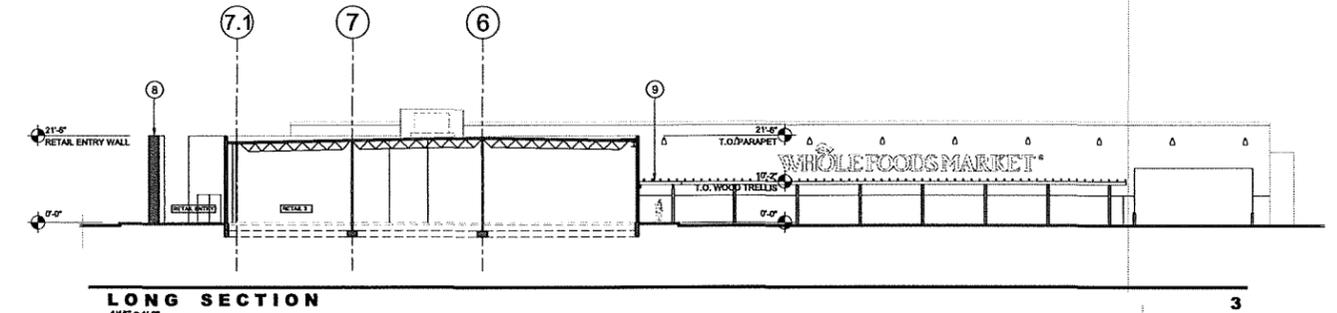
- ① TRANSITION RAMP
- ② STANDING SEAM METAL CANOPY
- ③ COOLING UNIT
- ④ WOOD ENTRY WALL
- ⑤ GLASS CANOPY
- ⑥ AIR HANDLING UNIT
- ⑦ LOADING DOCK ROOF
- ⑧ RETAIL ENTRY WALL
- ⑨ WOOD TRELLIS
- ⑩ EXISTING OFFICE MAX DEMISING WALL
- ⑪ NEW WHOLE FOODS MARKET DEMISING WALL
- ⑫ LOADING DOCK ENCLOSURE
- ⑬ LOADING DOCK RAMP
- ⑭ ROOFTOP EQUIPMENT SCREEN, SEE 09/A10.1



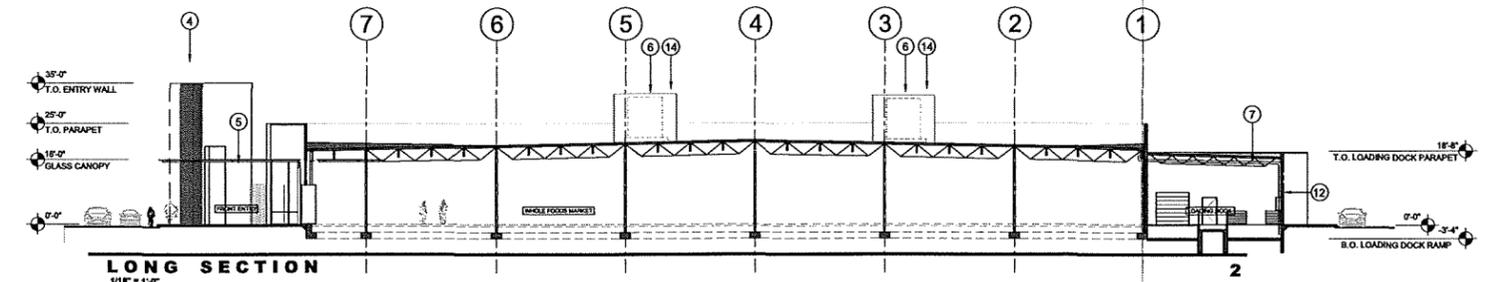
CROSS SECTION 5
 1/8" = 1'-0"



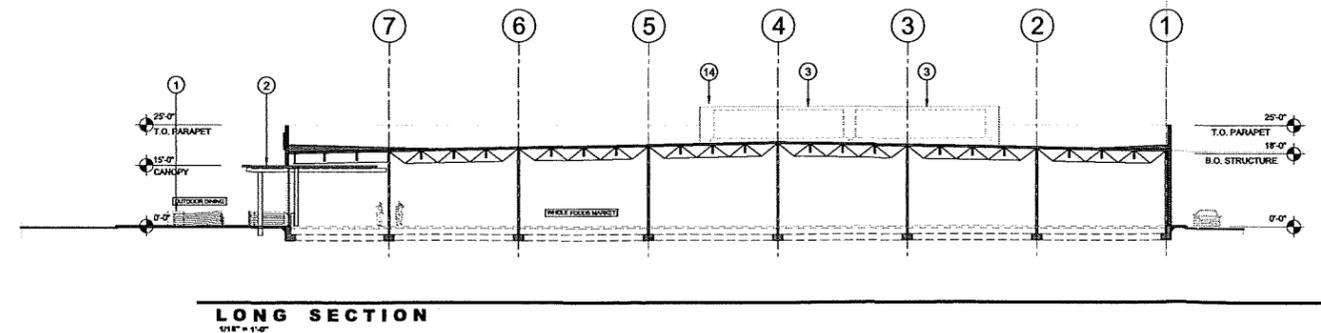
CROSS SECTION 4
 1/8" = 1'-0"



LONG SECTION 3
 1/8" = 1'-0"



LONG SECTION 2
 1/8" = 1'-0"



LONG SECTION 1
 1/8" = 1'-0"

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DATE: 10.29.07
 SCALE:
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SECTIONS

SHEET NUMBER
A3.2

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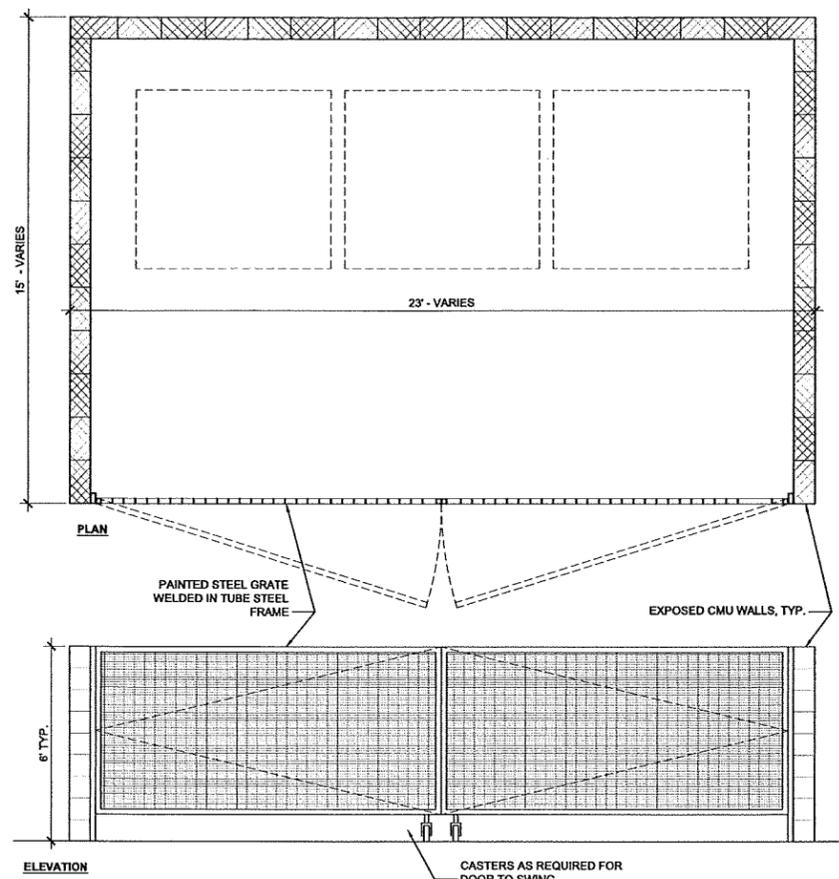
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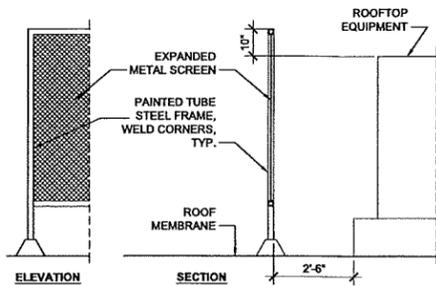
DETAILS

SHEET NUMBER
A 10.1

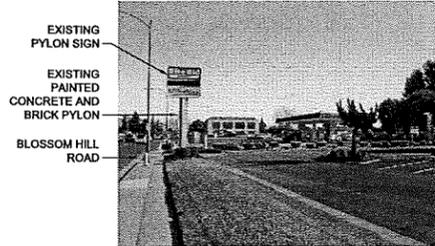
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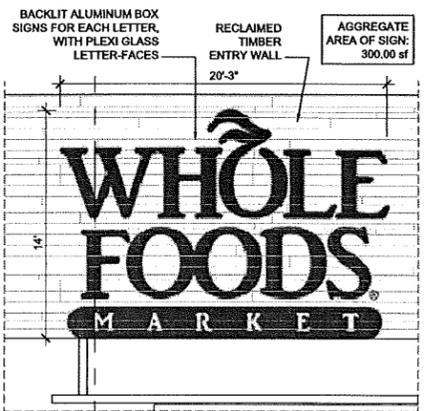
TYPICAL DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0" XX0001 14



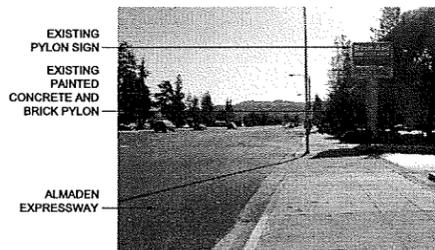
ROOFTOP EQUIPMENT SCREENING DETAIL
 SCALE: 1/2" = 1'-0" XX0001 09



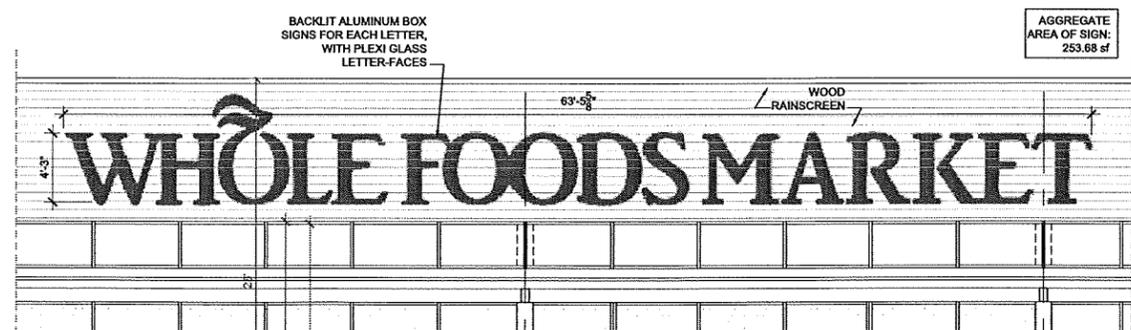
EXISTING BLOSSOM HILL ROAD PYLON SIGN
 SCALE: XX0001 05



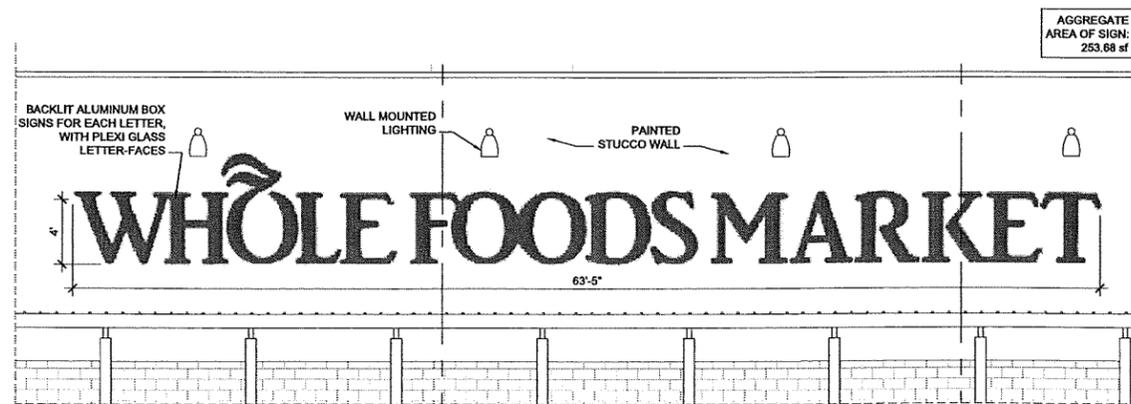
WEST SIGN AT NORTH ELEVATION
 SCALE: 1/4" = 1'-0" XX0001 10



EXISTING ALMADEN EXPRESSWAY PYLON SIGN
 SCALE: XX0001 06



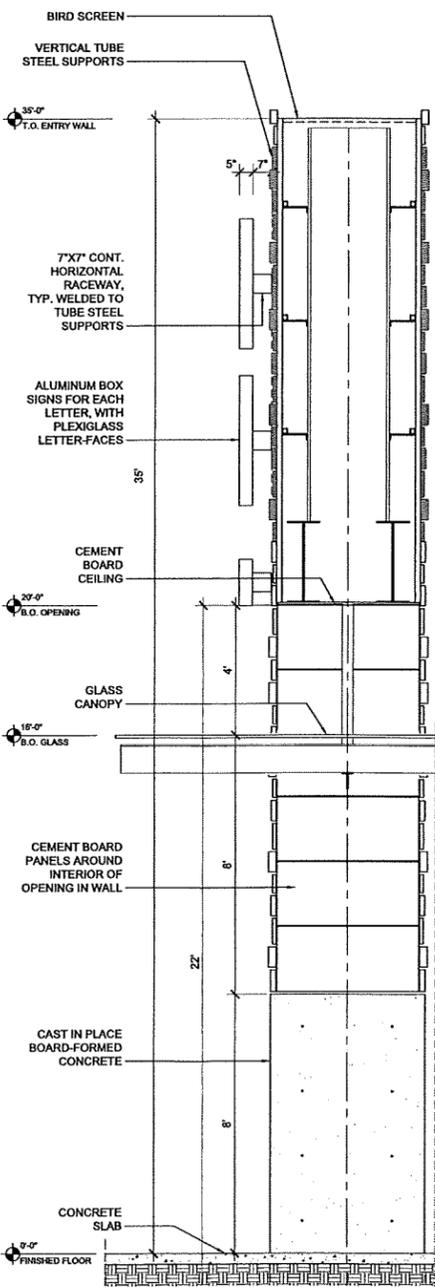
EAST SIGN AT NORTH ELEVATION
 SCALE: 1/4" = 1'-0" XX0001 11



SIGN AT WEST ELEVATION
 SCALE: 1/4" = 1'-0" XX0001 12



PYLON SIGN
 SCALE: 1/2" = 1'-0" XX0001 08



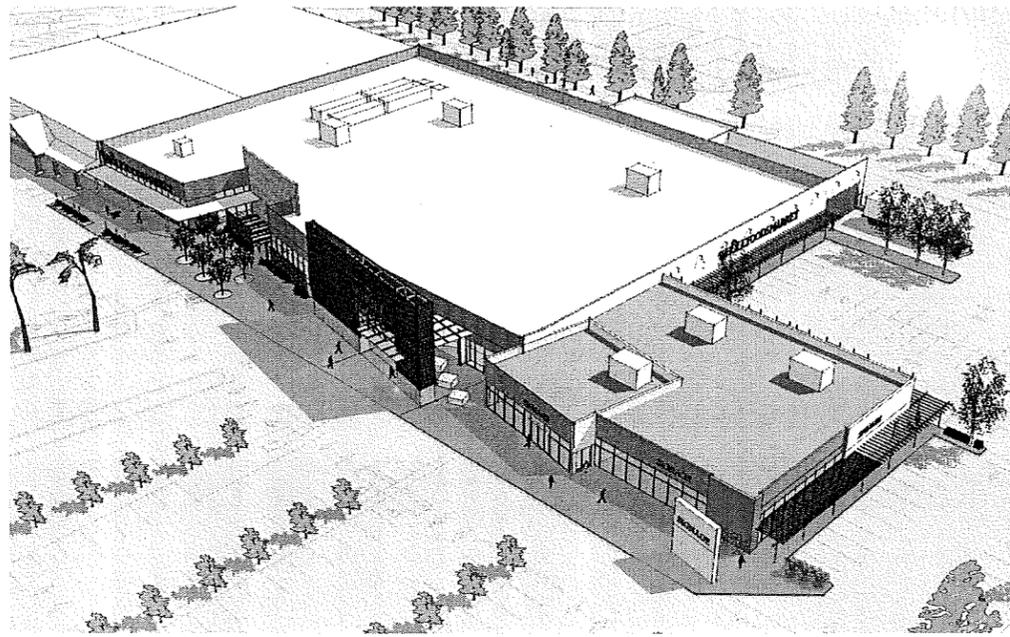
ENTRY WALL SECTION
 SCALE: 1/2" = 1'-0" XX0001 04



PROJECT NAME
**WHOLE FOODS
 MARKET
 BLOSSOM HILL**

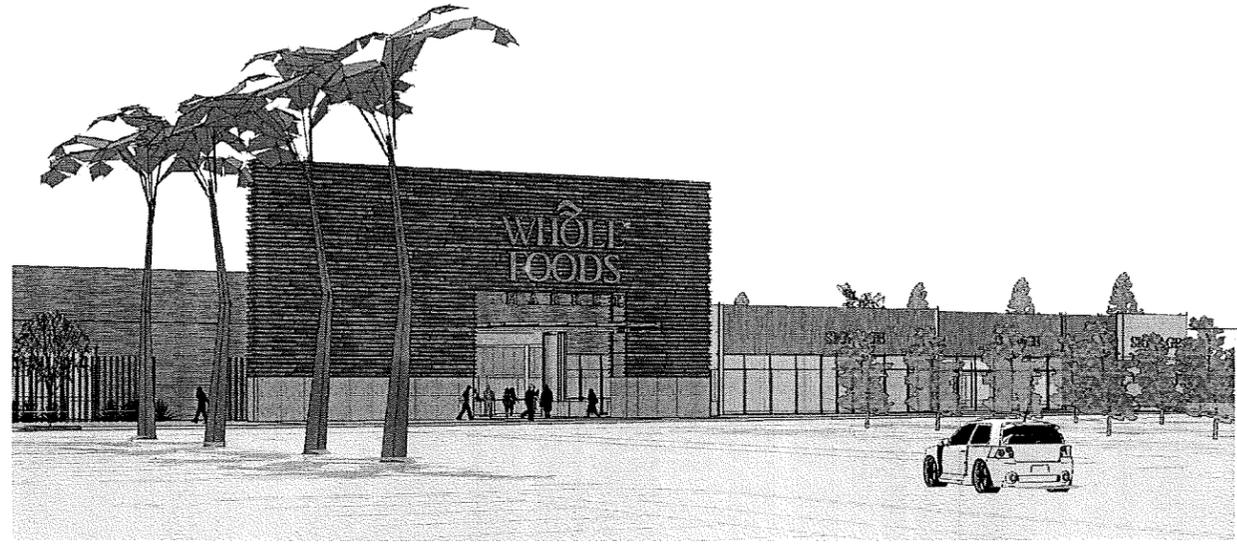
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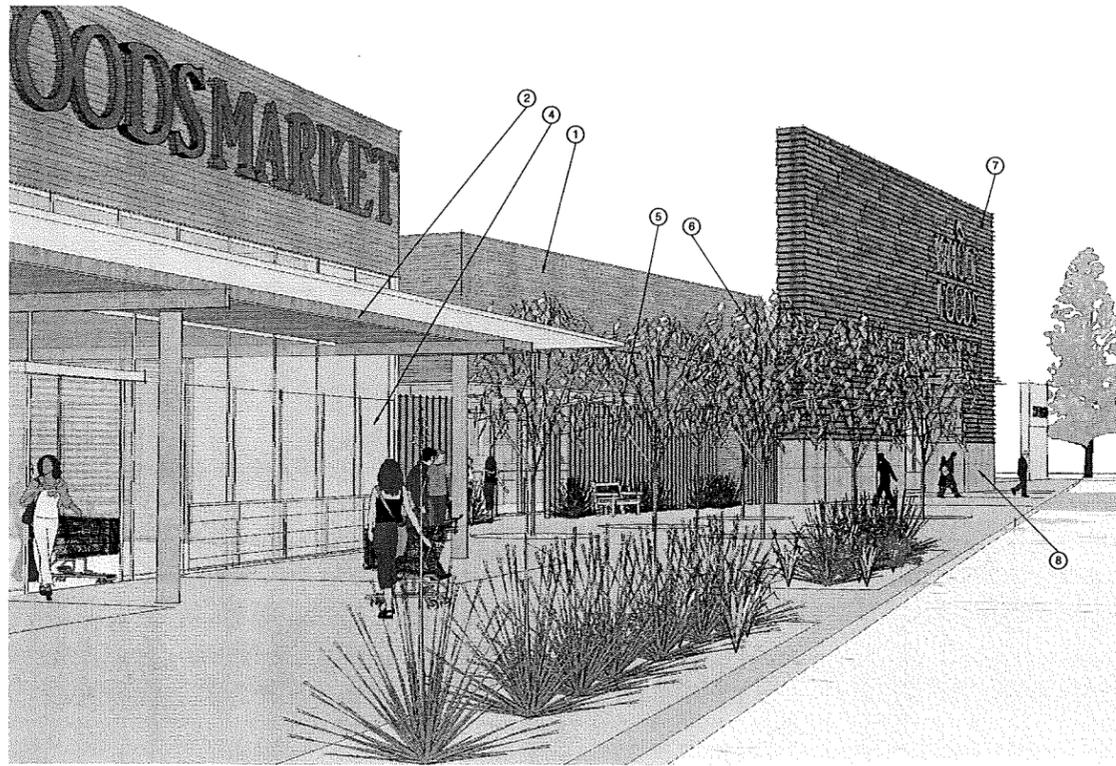
AERIAL VIEW

1



ENTRY WALL

2



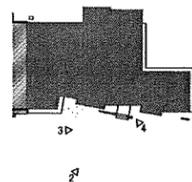
VIEW OF ENTRANCE

3



DETAIL OF ENTRY WALL

4



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06-034

RENDERINGS

SHEET NUMBER

A 12.1

KEY NOTES

- ① WOOD COMPOSITE SLATS (ON BLACK RAINSCREEN/ WEATHER BARRIER)
- ② METAL CANOPY ON WOOD SUBSTRUCTURE
- ④ STOREFRONT WINDOW SYSTEM, TYP.
- ⑤ FENCE/ SEMI- WALL (VERTICAL WOODEN SLATS)
- ⑥ "ORCHARD" (NON FRUIT BEARING TREES)
- ⑦ ENTRY WALL (RECLAIMED TIMBER ON STRUCTURAL STEEL FRAME)
- ⑧ CAST-IN-PLACE SMOOTH CONCRETE (ALT. PREFAC CONCRETE PANELS)
- ⑩ GLASS CANOPY (HUNG FROM STRUCT. STEEL FRAME)

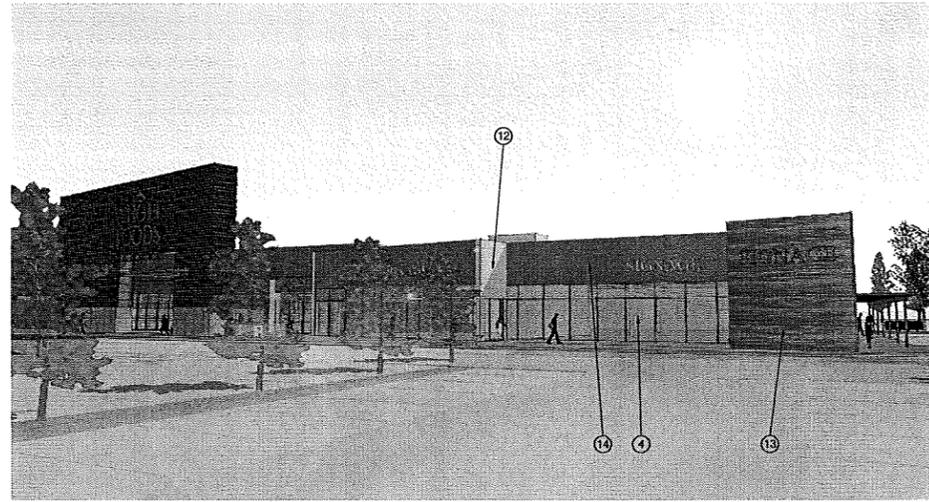
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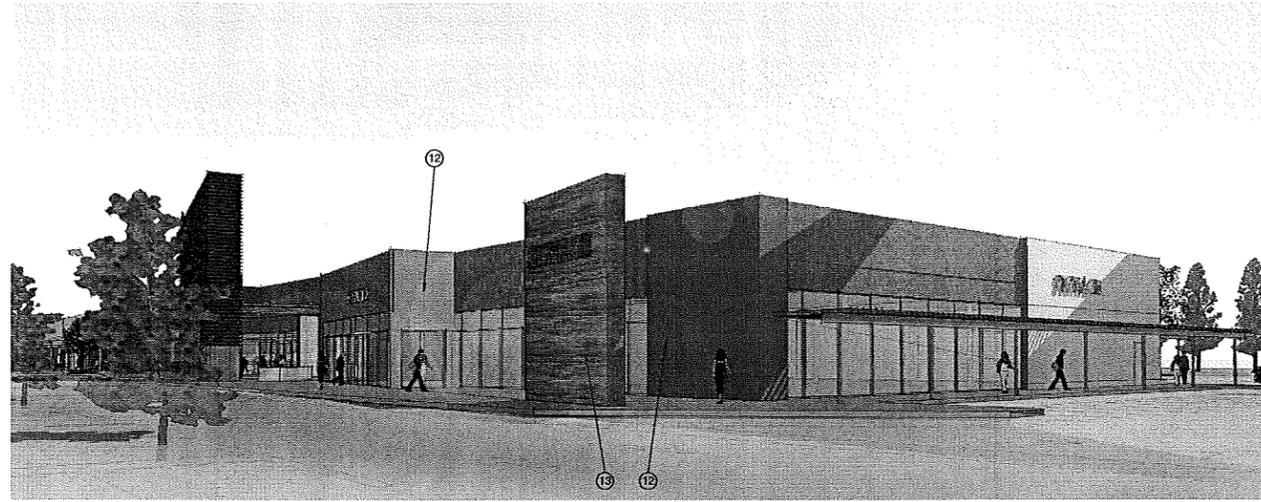
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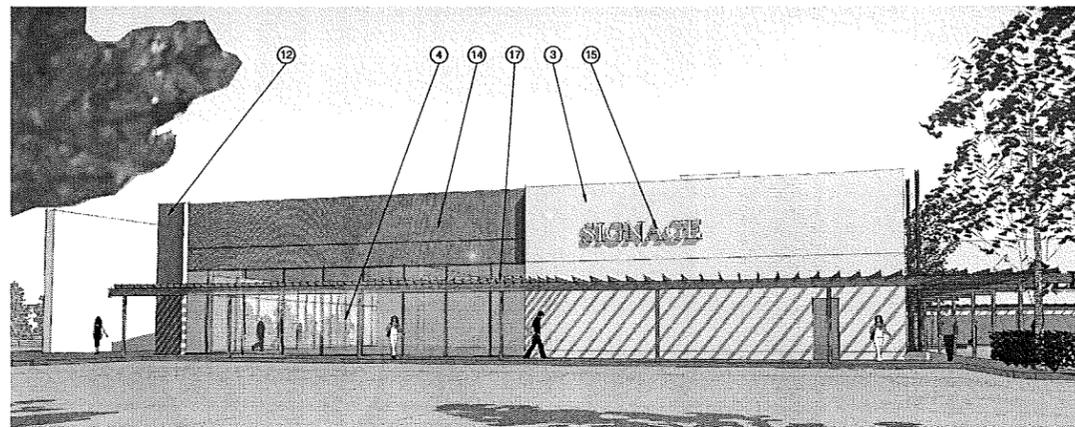
RETAIL SPACE ENTRY

1



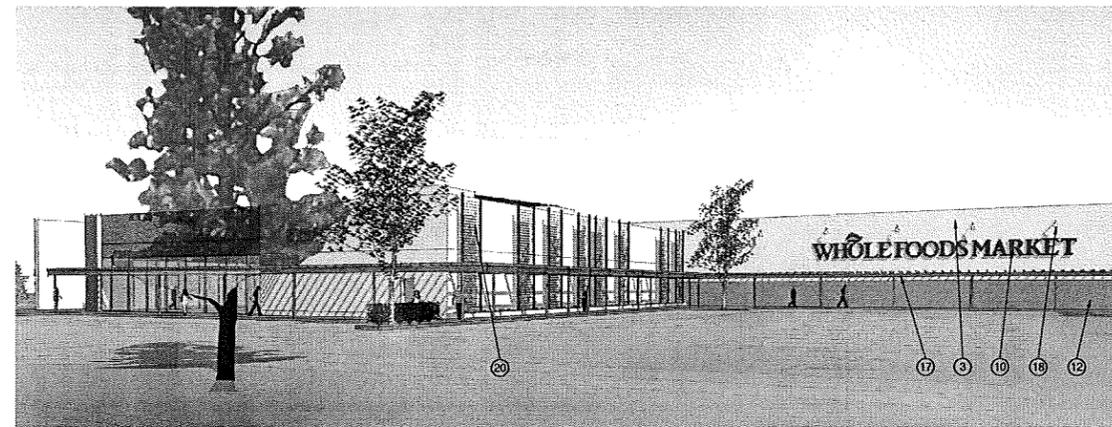
RETAIL SPACE ENTRY

2



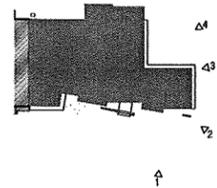
WEST SIDE OF RETAIL SPACE

3



TRELLIS BEHIND RETAIL SPACE

4



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 SCALE:
 DRAWN BY: ARB / TV

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RENDERINGS

SHEET NUMBER

A 12.2

KEY NOTES

- ③ STUCCO (PAINTED, ROUGH FINISH)
- ④ STOREFRONT WINDOW SYSTEM, TYP.
- ⑩ WHOLE FOODS SIGN, (CUSTOM FABR. 5" DEEP ALLM. CHANNEL LETTERS, INTERIOR ILLUMIN.)
- ⑫ EXPOSED CMU WALL
- ⑬ CONCRETE (BOARD-FORMED WITH ROUGH SAWN WOOD PATTERN)
- ⑭ STUCCO (PAINTED, SMOOTH FINISH)
- ⑮ LOGO/ BRAND (BACKLIT)
- ⑰ WOOD TRELLIS
- ⑱ LIGHT FIXTURE (WALL MOUNTED, DOWNLIGHT)
- ⑳ GREEN SCREEN (HORIZ. TENSION CABLE SYSTEM)

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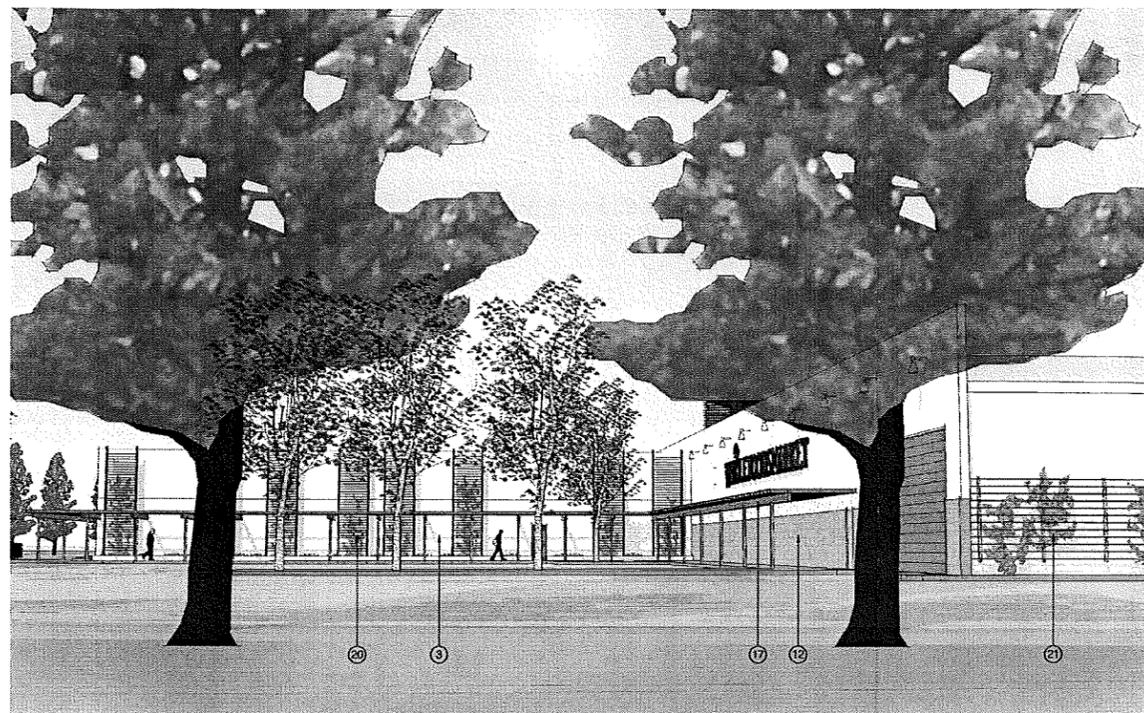
PROJECT NAME
WHOLE FOODS MARKET BLOSSOM HILL

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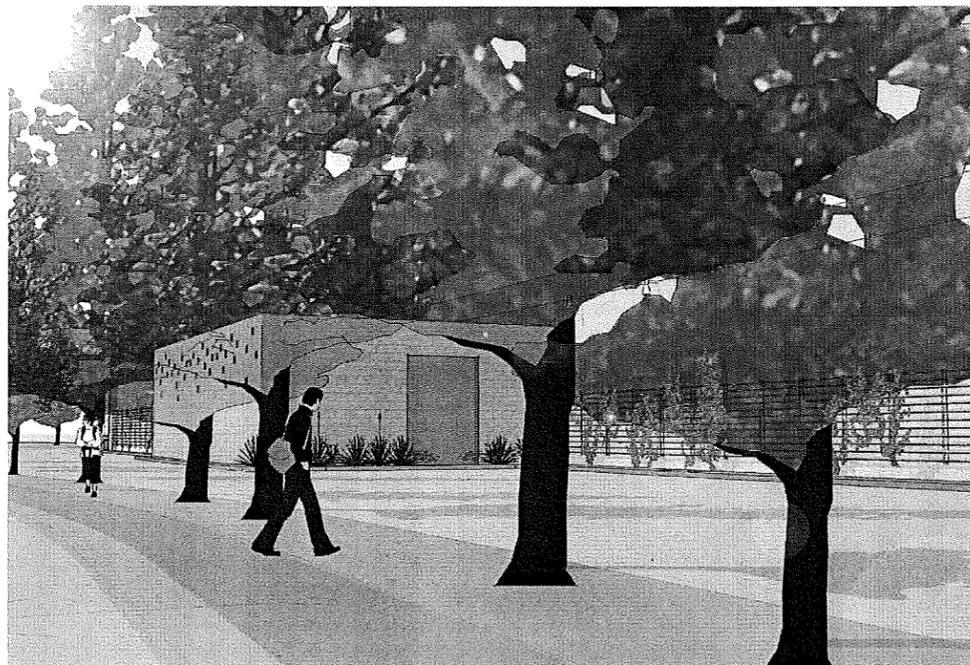
CP07-072



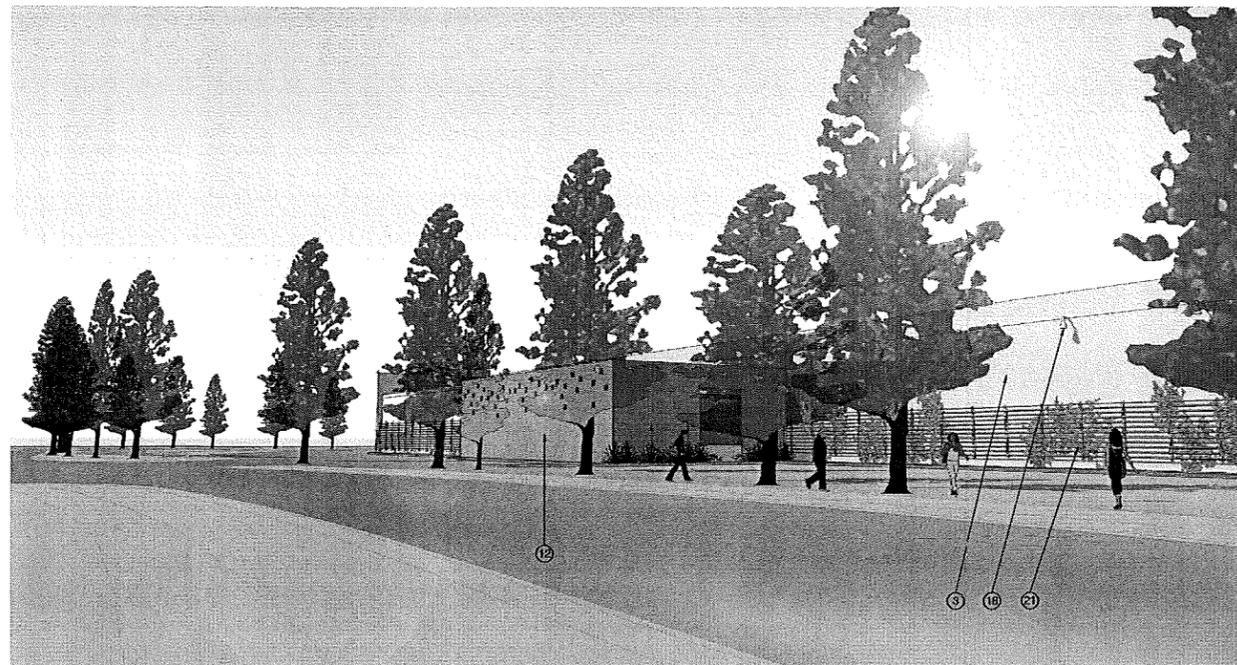
TRELLIS BEHIND RETAIL SPACE 1



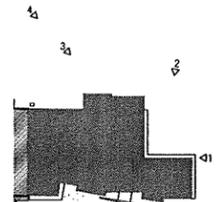
REAR PARKING AND LOADING AREA 2



REAR DRIVEWAY 3



VIEW FROM MESA DRIVE 4



CONSULTANTS

PROJECT NORTH
 T.N.

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RENDERINGS

SHEET NUMBER

A 12.3

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KEY NOTES

- ③ STUCCO (PAINTED, ROUGH FINISH)
- ⑬ EXPOSED CHU WALL
- ⑰ WOOD TRELLIS
- ⑱ LIGHT FIXTURE (WALL MOUNTED, DOWNLIGHT)
- ⑳ GREEN SCREEN (HORIZ. TENSION CABLE SYSTEM)
- ㉑ GREEN SCREEN (HORIZ. COMPOSITE WOOD SLATS)

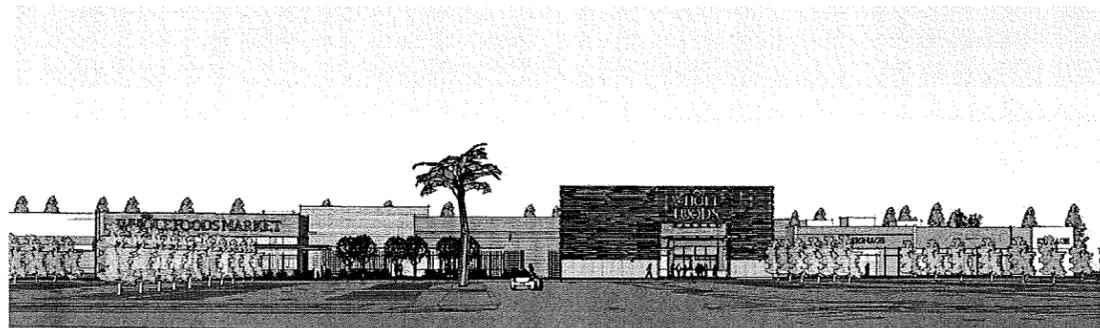
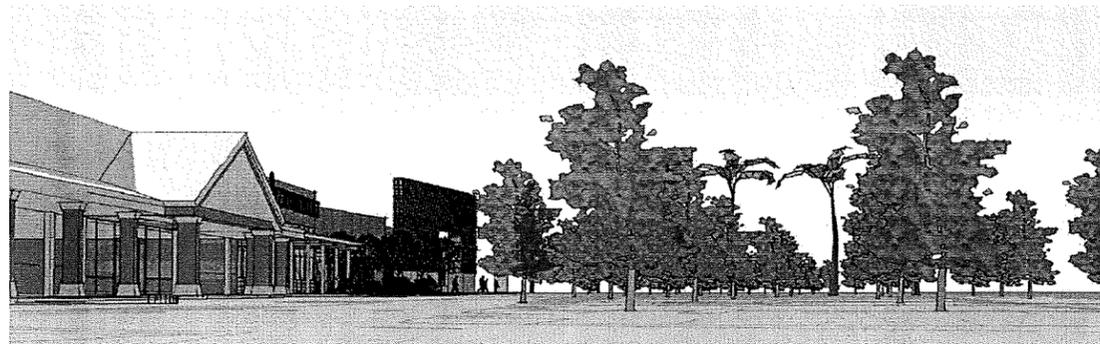


PROJECT NAME

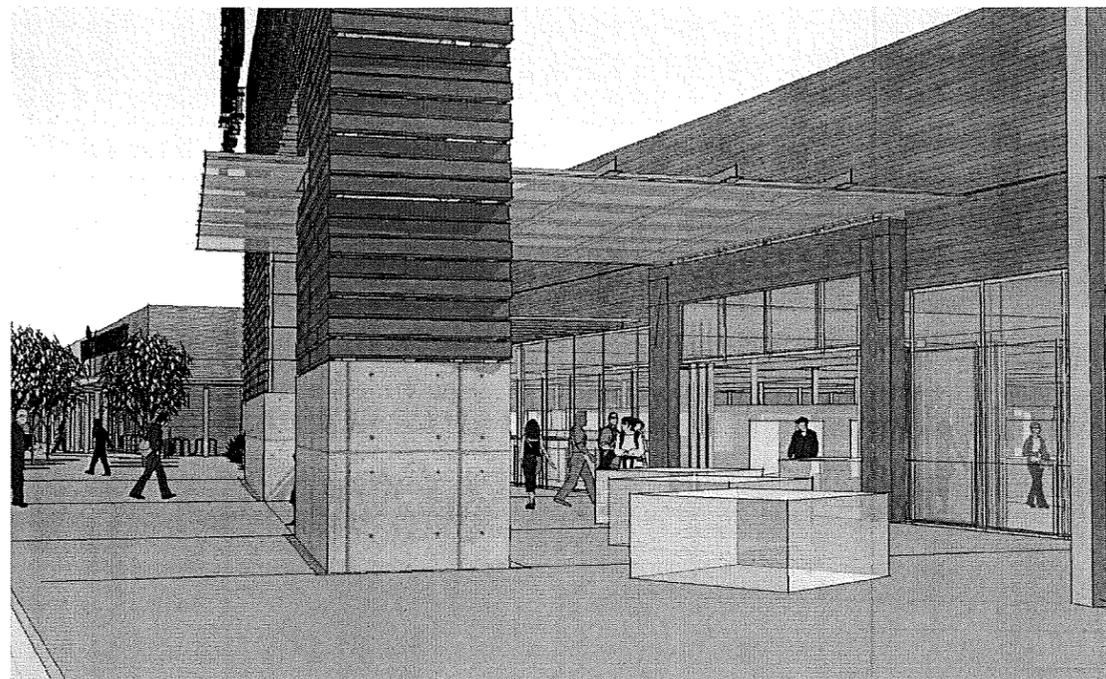
**WHOLE FOODS MARKET
BLOSSOM HILL**

1140 BLOSSOM HILL RD
SAN JOSE, CA 95118

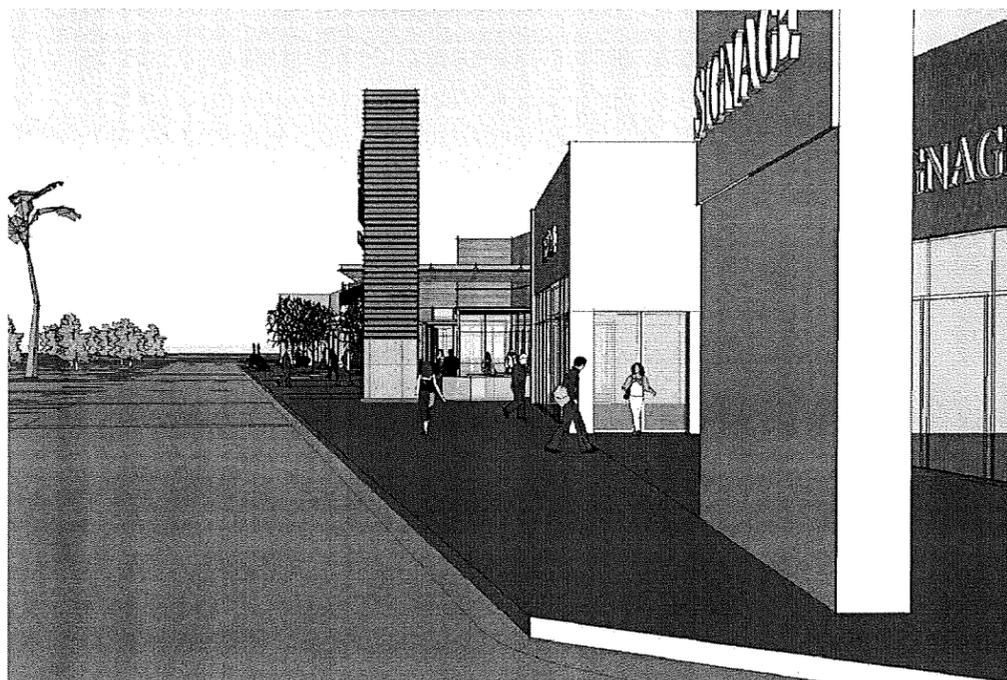
CP07-072



ENTRY WALL - ELEVATION AND VIEW ALMADEN EXPRESSWAY 1



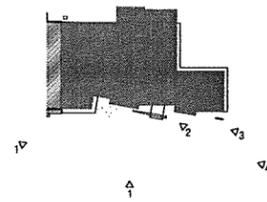
ENTRY WALL - VIEW TOWARDS THE OUTSIDE MARKET 2



ENTRY WALL - VIEW FROM GALLUP DRIVE 3



ENTRY WALL - VIEW FROM GALLUP DRIVE 4



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PROJECT NORTH

NO.	DATE	ISSUES AND REVISIONS	BY
1	04.02.07	PRE-PLANNING SUBMITTAL	ARB
2	08.18.07	PLANNING SUBMITTAL	TV/ARB
3	10.15.07	40% CDS	TV/ARB
4	10.29.07	PLANNING RESUBMITTAL	TV/ARB

DATE: 10.29.07
SCALE:
DRAWN BY: ARB / TV
06-034

ENTRY WALL VIEWS

SHEET NUMBER
A 12.4

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KEY NOTES



PROJECT NAME

**WHOLE FOODS
MARKET
BLOSSOM HILL**

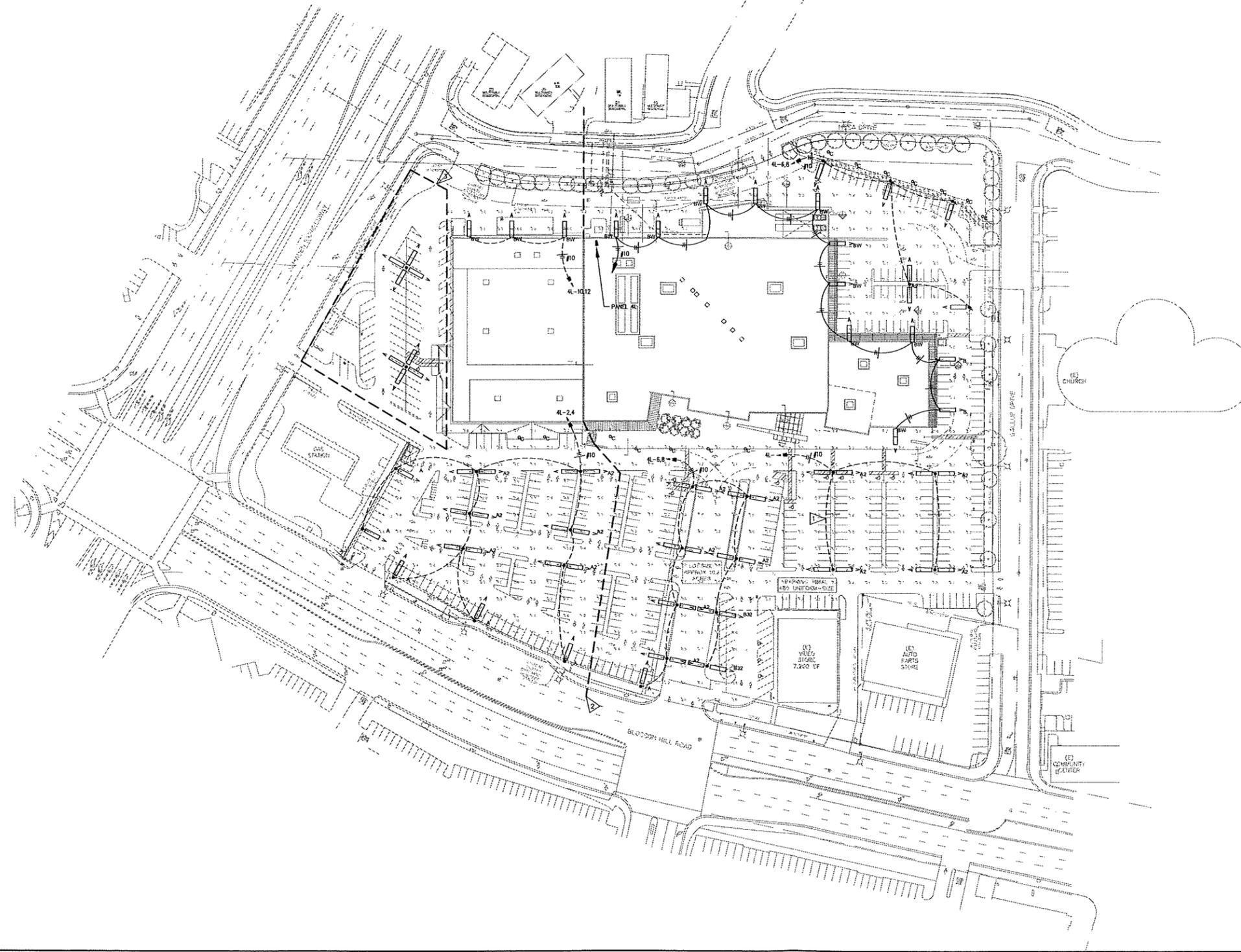
1140 BLOSSOM HILL RD

SAN JOSE, CA 95118

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	UF	Watts
⌋	A	13	LSI: CY2-3-180-LPS-TP / SSSP22	Cypress 180 Watt LPS, Pole Mount @ 25' Mount	1-SOX 180	CY2-3-180-LPS-TP.IES	33000	0.85	208
⌋	A2	21	LSI: CY2-3-180-LPS-TP / SSSP22	Cypress 180 Watt LPS, Pole Mount @ 25' Mount	2-SOX 180	CY2-3-180-LPS-TP.IES	33000	0.90	416
⌋	B	2	LSI: CY2M-FT-180-LPS-TP / SSSP22	Cypress 180 Watt LPS, Pole Mount @ 25' Mount	1-SOX 180	CY2M-FT-180-LPS-TP.IES	33000	0.85	208
⌋	BW	12	LSI: CY2M-FT-180-LPS-TP / SSSP22	Cypress 180 Watt LPS, Pole Mount @ 25' Mount	1-SOX 180	CY2M-FT-180-LPS-TP.IES	33000	0.90	298
⌋	B32	2	LSI: CY2-FT(3)-180-LPS-TP / SSSP22	Cypress 180 Watt LPS, Pole Mount @ 25' Mount	2-SOX 180	[. . .]	33000	0.90	458
○	C	14	LSI: HYPR-70-OMH-MED-MT-OPTX	Cost Hi Performance Metal Halide Ballast	1-WHCT0/A/MP/	HYPR-70-OMH-MED-MT-OPTX.IES	5600	0.60	85

POWER DENSITY STATISTICS				
Name	# Luminaires	Total Watts	Area	Density
Watts FT ²	65	16250.00 W	429733.40 ft ²	0.04 W/ft ²

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calculation @ Ground	+	3.7 fc	17.8 fc	0.8 fc	29.7:1	6.2:1
Pathway	x	4.0 fc	6.6 fc	1.1 fc	6.0:1	3.6:1



- DETAIL NOTES:**
- 1 ALL SITE LIGHTING CONDUCTORS SHALL BE #10 COPPER MINIMUM. TYPICAL.
 - 2 SITE LIGHTING WEST OF DEMARCATION LINE TO BE CIRCUITED TO WHOLE FOODS ELECTRICAL METER. SITE LIGHTING EAST OF LINE TO BE CIRCUITED TO EXISTING ELECTRICAL METER.
 - 3 EXISTING UNDERGROUND CONDUIT & WIRE TO REMAIN. PROVIDE NEW POLES/FIXTURES ON EXISTING CONCRETE BASES & RECONNECT.

CONSULTANTS

PROJECT NORTH

NO.	DATE	ISSUES AND REVISIONS	BY
1	04.02.07	PREPLANNING SUBMITTAL	ARB
2	09.18.07	PLANNING SUBMITTAL	TV/ARB
3	10.12.07	40% SUBMITTAL	

DATE: 10/04/07
SCALE:
DRAWN BY: ARB / TV

**SITE
LIGHTING
PLAN**

SHEET NUMBER

E0.1

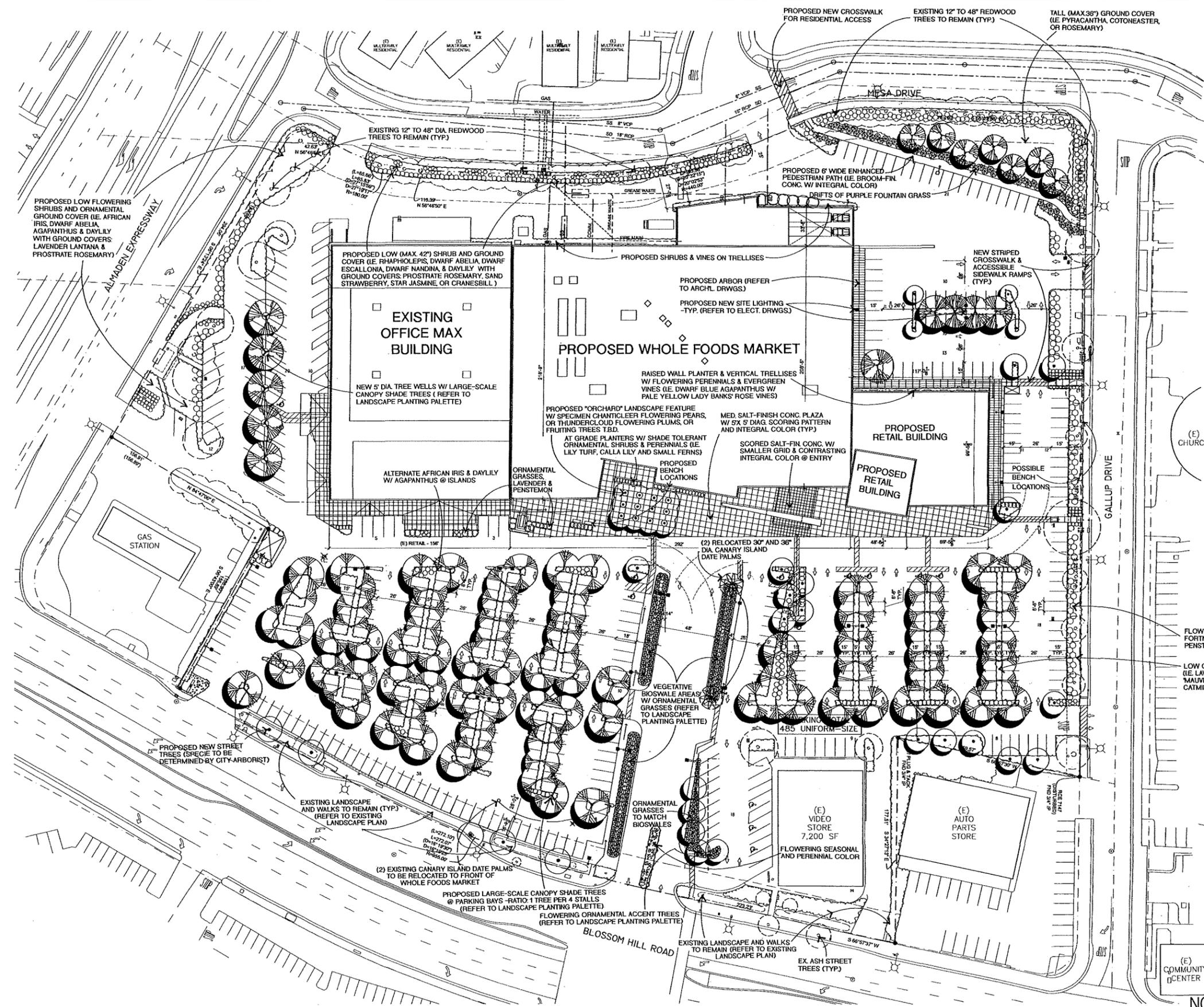
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PROJECT NAME
WHOLE FOODS MARKET BLOSSOM HILL
 1140 BLOSSOM HILL RD
 SAN JOSE, CA 95118

LANDSCAPE PLANTING PALETTE

BOTANICAL NAME	COMMON NAME	SIZE
MEDIUM TO LARGE-SCALE CANOPY SHADE TREES:		
ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	15 GALLON
CELTIS AUSTRALIS	EUROPEAN HACKBERRY	15 GALLON
FRAXINUS 'RAYWOODI'	RAYWOOD ASH	15 GALLON
GINOBIODIUM	WILDINDIAN TREE	24" BOX
PLATANUS ACERIFOLIA 'COLUMBIA'	COLUMBIA STANORE	15 GALLON
SEKOYA SIERRATA	SAWLEAF SEKOYA	15 GALLON
FLOWERING ORNAMENTAL ACCENT TREES:		
LAGERSTROMIA PAURIEI	HYBRID CREEP MYRTLE	15 GALLON
FRAXINUS CERASIFERA 'THUNDERCLOUD'	PURPLELEAF FLOWERING PLUM	24" BOX
FRAXINUS CALLERIANA 'CHANTICLEER'	CHANTICLEER FLOWERING PEAR	24" BOX
ROBINIA 'PURPLE ROBE'	FLOWERING LOCUST	15 GALLON
VEGETATIVE BIOSWALE / ORNAMENTAL GRASSES:		
*DESCHMANNIA CAESITROSA	TUFTED HAIRGRASS	LINERS
HECTOCHLOMIA SUPERBIVIRENS	BLUE OAT GRASS	1 GALLON
*MISCANTHUS SINENSIS 'MORNING LIGHT'	JAPANESE SILVER GRASS	LINERS
*PHEISTOWIA SETACEUM 'RODRON'	PURPLE FOUNTAIN GRASS	5 GALLON
*STIPA PULCHRA	NEEDLEGRASS	LINERS
SHRUBS, VINES, AND PERENNIALS:		
ABELIA 'EDWARD COUCHER'	DWARF ABELIA	5 GALLON
AGAPANTHUS VARIETIES	LILY-OF-THE-PILE	5 GALLON
DIETES BICOLOR	AFRICAN TRIS	5 GALLON
DIETES VEGETA	FORTNIGHT LILY	5 GALLON
ESCALONIA 'PRAESI'	FRANCS ESCALONIA	5 GALLON
ESCALONIA 'NEWPORT DWARF'	DWARF ESCALONIA	5 GALLON
HARDENBERGIA VIOLACEA	LILAC VINE	5 GALLON
HEMEROCALLIS HYBRIDS	HYBRID DAYLILY	5 GALLON
LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	5 GALLON
LAVANDULA 'HUSSEY'	DWARF ENGLISH LAVENDER	5 GALLON
LIRIOPE MUSCARI	BIG BLUE LILY TURF	5 GALLON
NANDINA 'BARBOUR DWARF'	DWARF HEAVELY BAMBOO	5 GALLON
PENSTEMON GLOXINIOIDES	BEARD TONGUE	5 GALLON
LEIOPUS MISCARI	WESTERN SNOWY FERN	5 GALLON
RHAPHIOLEPIS INDICA 'ENCHANTRESS'	INDIA BANTHURDS	5 GALLON
ROSA BANKSIANA 'LUTEA'	YELLOW LADY BANKS' ROSE VINE	5 GALLON
SALVIA LEUCANTHA	MEXICAN ROSE SAGE	5 GALLON
TULBAGHIA VIOLACEA	SOCIETY GARLIC	5 GALLON
SANTALBUMIA ARTHROPODIA	CALLA LILY	5 GALLON
GROUND COVERS:		
COTONNEASTER MICROPHYLLUS	ROCKSPRAY COTONNEASTER	1 GALLON
FRAXINUS CALLERIANA	SAND SPRAWLER	FLATS
GAZANIA 'MITSUNA YELLOW/WHITE'	HYBRID GAZANIA	FLATS
GRANDIUM ITCANUM	CHAMPSILLE	FLATS
LANTANA MONTEVIDEENSIS	LAVENDER LANTANA	1 GALLON
HEPETA PRAESIDENTI	CATMINT	1 GALLON
PIRACANTHIA 'RODY MOON'	FIRETHORN	1 GALLON
ROSMARINUS 'HAWKINGTON CARPET'	PROSTRATE ROSEMARY	1 GALLON
SCAEVOLA 'MAUIVE CLUSTERS'	FANFLOWER	1 GALLON
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GALLON



FLORISSANT ACCENT SHRUBS (IE FORTNIGHT LILY, MEXICAN SAGE, PENSTEMON, SOCIETY GARLIC, ETC.)

LOW ORNAMENTAL GROUND COVERS (IE LAVENDER LANTANA, SCAEVOLA 'MAUIVE CLUSTERS', DWARF LAVENDER, CATMINT, OR GAZANIA HYBRIDS)

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 (408) 745-7383

PROJECT NORTH

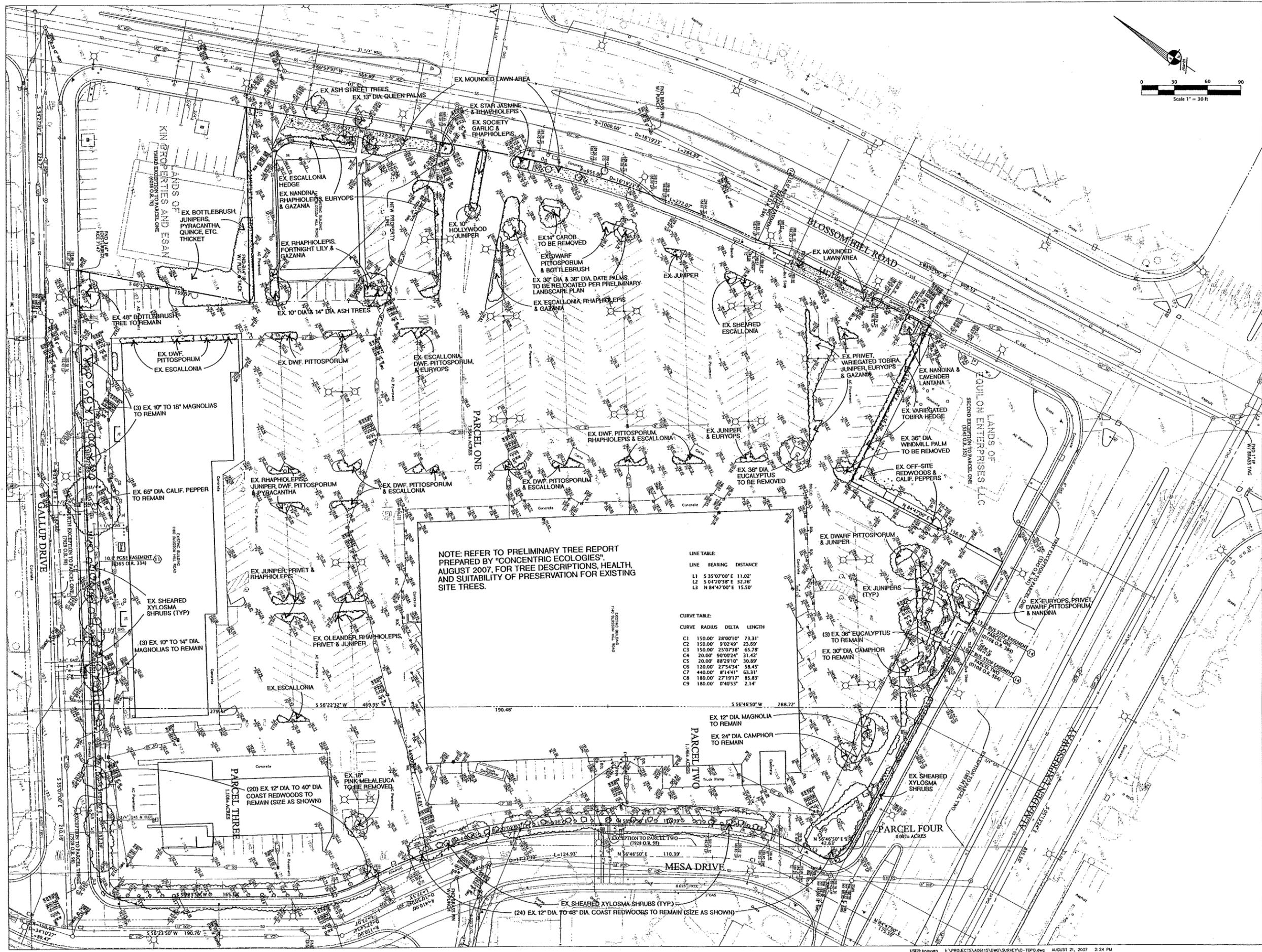
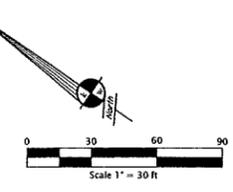
NO. DATE ISSUES AND REVISIONS BY
 102607 CITY PLAN CHECK RESPONSE

DATE: 09/13/07
 SCALE: 1/32" = 1'-0"
 DRAWN BY: JWJ

PROJECT NUMBER:
 SHEET TITLE
PRELIMINARY LANDSCAPE PLAN
 SHEET NUMBER
PL-1

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NOTE: REFER TO PRELIMINARY TREE REPORT PREPARED BY "CONCENTRIC ECOLOGIES" AUGUST 2007, FOR TREE DESCRIPTIONS, HEALTH, AND SUITABILITY OF PRESERVATION FOR EXISTING SITE TREES.

LINE TABLE:

LINE	BEARING	DISTANCE
L1	S 35°07'00" E	11.02'
L2	S 04°27'38" E	32.26'
L3	N 84°47'00" E	15.50'

CURVE TABLE:

CURVE	RADIUS	DELTA	LENGTH
C1	150.00'	28°00'10"	73.31'
C2	150.00'	9°02'49"	23.69'
C3	150.00'	23°07'38"	65.78'
C4	20.00'	9°00'24"	31.42'
C5	20.00'	88°29'10"	30.89'
C6	120.00'	27°54'34"	58.45'
C7	440.00'	8°14'41"	63.31'
C8	180.00'	27°19'17"	85.83'
C9	180.00'	0°40'53"	2.14'

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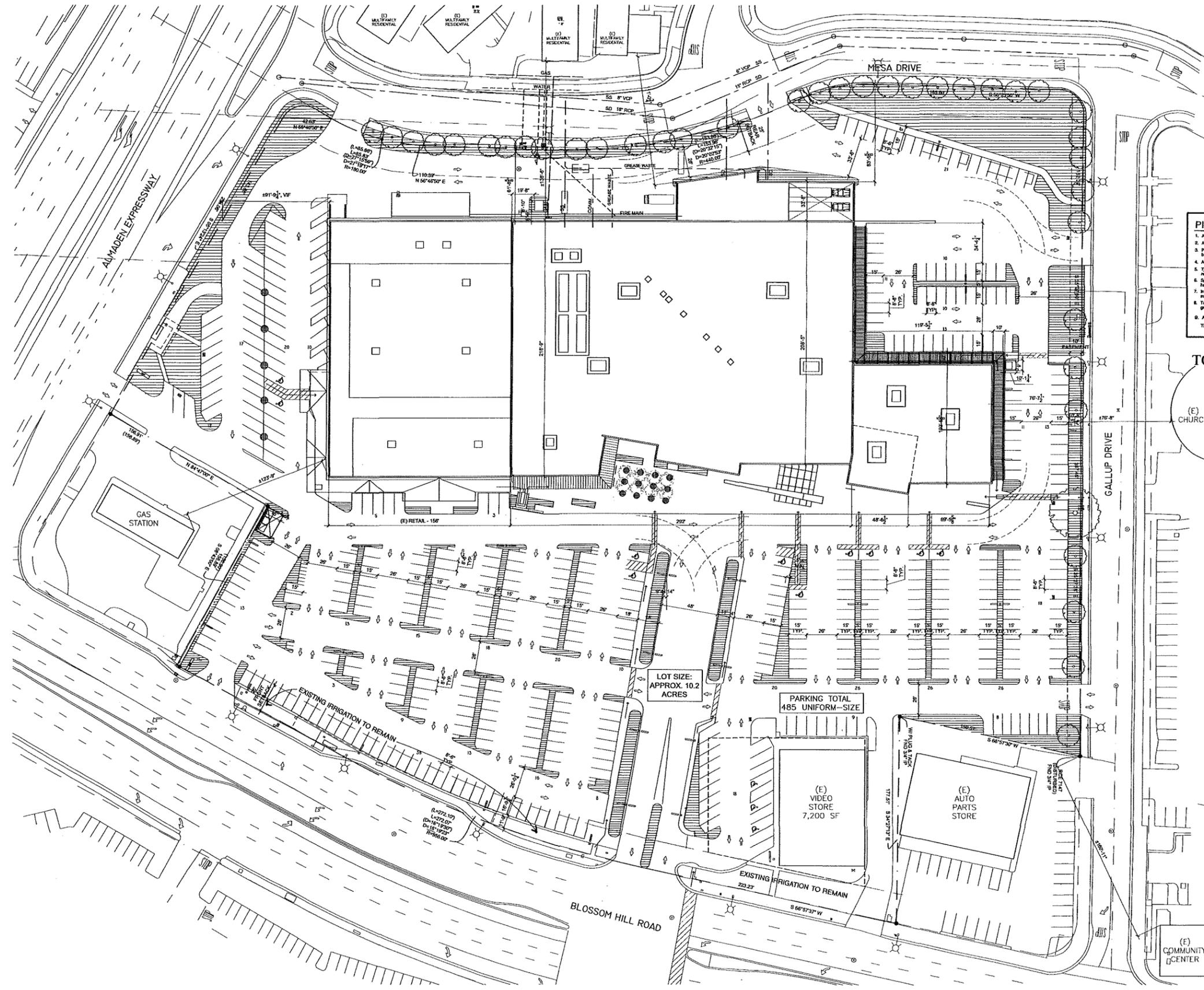
EXISTING SITE LANDSCAPE PLAN
PUEBLO PLAZA SHOPPING CENTER
 ALMADEN EXPRESSWAY & BLOSSOM HILL ROAD
 SAN JOSE CALIFORNIA

DATE: 08/13/07
 SCALE: 1"=30'
 DESIGNER: JML
 DRAFTER: JML
 JOB: 071868
 SHEET: PL-2
 OF: 2 SHEETS

USER: bnguyen E:\PROJECTS\06115\DWG\SURVEY\0-TOP0.dwg AUGUST 21, 2007 2:24 PM



PROJECT NAME
WHOLE FOODS MARKET BLOSSOM HILL
 1140 BLOSSOM HILL RD
 SAN JOSE, CA 95118



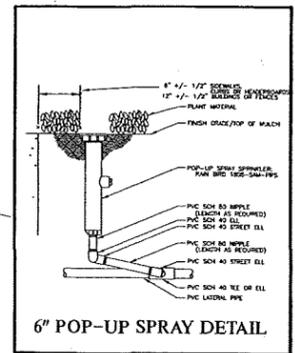
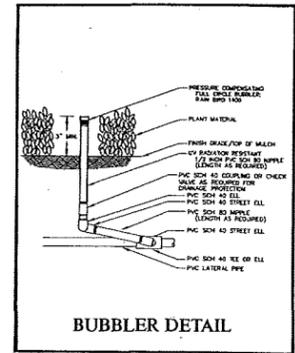
Planting and Irrigation Notes

- All areas within the property line will be maintained privately.
- All trees are to be double staked using 2" stakes for 15 gallon trees.
- Plant locations are diagrammatic and shall be adjusted as determined by the Landscape Architect during construction. Planting shall be scheduled as necessary to screen utilities but not to block sidewalks or traffic access.
- All shrub and ground cover areas shall be top-dressed with a 2" layer of Pine or Fir bark, mulched, free of sticks, dirt, and debris.
- The final location and exact positioning of the automatic controller and backflow preventer shall be approved by the owner's authorized representative prior to installation.
- Sprinklers shall be selected for optimum performance and prevent overspray onto walks and roadways and/or buildings. Pop-up spray heads will be used in the ground cover areas when adjacent to walks.
- Irrigation lines shall run in planting areas where possible. Lines under paving shall be sleeved using schedule 40. All pipe to be a minimum of 12" below grade. Both mainline and lateral line shall be schedule 40 PVC.
- Trees located in the parking lot area shall include a deep watering system to carry water directly to the rootball and promote downward growth. (Do include installation of root barriers, where required)
- ALL LANDSCAPING, IRRIGATION & MAINTENANCE OF SAME SHALL CONFORM TO THE CITY OF SAN JOSE, LANDSCAPE & IRRIGATION GUIDELINES

TOTAL LANDSCAPE AREA : 70,769 SQ. FT.

IRRIGATION ZONE LEGEND

- BUBBLERS @ 3' O.C. MAXIMUM
- 6" POP-UP SPRAYS 15' O.C., MAXIMUM



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PROJECT NORTH

NO.	DATE	ISSUES AND REVISIONS	BY
1	04.02.07	PRE-PLANNING SUBMITTAL I/ARB	
2	09.18.07	PLANNING SUBMITTAL IV/ARB	
3	10.15.07	40% CDs	IV/ARB
1026.07 CITY PLAN CHECK RESPONSE			

DATE: 10/26/07
 SCALE: 1/32" = 1'-0"
 DRAWN BY: JWL

CONCEPTUAL IRRIGATION ZONE PLAN
 SHEET NUMBER **PL-3**

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